FLORIDA DEPARTMENT of STATE

RON DESANTIS
Governor

CORD BYRD
Secretary of State

Julia Carrie Walker
U.S. Department of Transportation
Federal Transit Administration
230 Peachtree Street N. W., Suite 1400
Atlanta, Georgia

June 7, 2024

RE: DHR Project File No.: 2024-004B/ Received by DHR: August 30, 2021
Broward Commuter Rail, Broward and Miami Dade Counties, Florida

Ms. Walker:

Our office received and reviewed the above referenced project for possible effects on historic properties listed, or eligible for listing, on the *National Register of Historic Places* (NRHP). The review was conducted in accordance with Section 106 of the *National Historic Preservation Act of 1966*, as amended, and its implementing regulations in *36 CFR Part 800: Protection of Historic Properties.*

In June 2023, Janus Research conducted the above referenced cultural resources assessment survey on behalf of the Federal Transit Administration. The historic resources survey identified and evaluated 15 previously identified structures, five previously identified resource groups and 54 newly identified structures within the project APE. Four of the resources are considered eligible or are listed on the NRHP. The Hollywood Boulevard Commercial Historic District (8BD3284) is listed on the NRHP. Two of its contributing resources are found within the APE, Broward Building (8BD4087) and Ingram Arcade (8BD574). The buildings are eligible as contributors to the district and are not individually eligible. Additionally, the FEC Railway (8BD4087) has been determined eligible and runs the length of the project corridor. The remaining resources are determined ineligible for listing in the NRHP. This office concurs with these determinations. Based on a review of the project activities, our office also concurs with the finding of no adverse effects to the four eligible/listed resources.

Based on the information provided, our office concurs with the recommendation of no effect to historic properties listed, or eligible for listing, on the NRHP, and we find the submitted report complete and sufficient in accordance with Chapter 1A-46, *Florida Administrative Code.* If you have any questions about this letter, please feel free to contact Alyssa McManus at *Alyssa.mcmanus@dos.fl.gov*.

Sincerely,

Alissa Slade Lotane, SHPO

Alissa Slade Lotane
Director, Division of Historical Resources
and State Historic Preservation Officer

BROWARD COMMUTER RAIL (BCR) SOUTH
PROJECT DEVELOPMENT & ENVIRONMENT (PD&E) STUDY

Cultural Resource Assessment Survey

Project Development and Environment (PD&E) Study

Broward Commuter Rail South

Broward County, Florida

April 2024

Financial Project ID: 452240-1
Prepared by: Janus Research

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Cultural Resource Assessment Survey

1.0 Introduction

The Federal Transit Administration (FTA) is the lead Federal agency and has determined that the proposed project is an undertaking per 36 CFR Part 800. This study is currently in the FTA's Project Development (PD) phase, and an Environmental Assessment (EA) is being prepared. As part of the EA, a Cultural Resource Assessment Survey (CRAS), was prepared by Secretary of the Interior (SOI) qualified staff, for the proposed Broward Commuter Rail (BCR) South study. Study area is in Broward and Miami-Dade Counties. The current study is being prepared by Janus Research on behalf of the Florida Department of Transportation (FDOT), Broward County, and the FTA.

The project limits extend for approximately 11.5 miles from Fort Lauderdale in Broward County to Aventura in Miami-Dade County. The project area includes unincorporated Broward County and the cities of Aventura, Dania Beach, Hollywood, and Hallandale Beach in Broward County. The BCR South mainline is located in Sections 15, 22, 23, 26, 27, and 34, of Township 50 South, Range 42 East, Sections 3, 10, 15, 16, 22, 27, and 34 of Township 51 South Range 42 East, and Section 3 of Township 52 South, Range 42 East on the North Miami (1994) and Fort Lauderdale South (1994) United States Geological Survey (USGS) 7.5-minute quadrangle maps. The proposed stations are in Sections 15, 22, 23, 26, 27, and 34 of Township 50 South, Range 42 East, and Sections 10, 15, and 16 of Township 51 South Range 42 East.

The objectives of this CRAS are to identify cultural resources, assess their eligibility for listing in the National Register of Historic Places (National Register) according to the criteria set forth in 36 CFR Section 60.4, and to evaluate the effects of the proposed project on historic properties. This assessment complies with Section 106 of the *National Historic Preservation Act* (NHPA) *of 1966* (Public Law 89-665, as amended), as implemented by 36 CFR 800 -- *Protection of Historic Properties* (incorporating amendments effective August 5, 2004); Section 102 of the *National Environmental Policy Act* (NEPA) *of 1969*, as amended (42 USC 4321 et seq.), as implemented by the regulations of the Council on Environmental Quality (CEQ) (40 CFR Parts 1500–1508); Section 4(f) of the *Department of Transportation Act of 1966*, as amended (49 USC 303 and 23 USC 138); the revised Chapters 267 and 373, *Florida Statutes (F.S.);* and the standards embodied in the Florida Division of Historical Resource's (FDHR) *Cultural Resource Management Standards and Operational Manual* (February 2003), and Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code*. In addition, this report was prepared in conformity with standards set forth in Part 2, Chapter 8 (*Archaeological and Historical Resources*) of the FDOT *PD&E Manual* (effective July 1, 2023).

The work conforms to professional guidelines set forth in the *Secretary of Interior's Standards and Guidelines for Archaeology and Historic Preservation* (48 FR 44716, as amended and annotated). Historic linear resource evaluation was conducted in accordance with the FDOT *Historic Linear Resource Guide*. Principal investigators meet the *Secretary of the Interior's (SOI) Professional Qualification Standards* (48 FR 44716) for archaeology, history, architecture, architectural history, or historic architecture. Ms. Amy Streelman and Ms. Ginny Jones wrote and reviewed the historic resources portions of the report and Mr. James Pepe and Mr. Rudy Westerman wrote and reviewed the archaeological resources portions of the report. Resumes for these SOI-qualified personnel are included in Appendix A.

1.1 Project Overview

The proposed BCR South project will add commuter rail service to the existing freight rail and intercity passenger rail services that currently operate on the FECR corridor between the City of Aventura, located in Miami-Dade County and the City of Fort Lauderdale, located in Broward County, approximately 11.5 miles. Please note that in this report the historic Florida East Coast (FEC) company is referred to as FEC and the current company is referred to as FECR, to differentiate between the historic company and the modern company. The project proposes three new passenger stations along the corridor depicted on **Figure 1** and at the following locations:

- Hollywood (between Tyler Street and Taylor Street)
- Fort Lauderdale-Hollywood International (FLL) Airport
- South Fort Lauderdale (between SW 15th Street and SW 17th Street)

The BCR South project entered FTA's PD phase in December of 2022.

Figure 1: BCR South Project Location and Alignment Map

1.2 Summary of Findings

Background research identified no previously recorded archaeological sites within the archaeological Area of Potential Effect (APE). One approximately 620-foot-long segment at the northern end of the archaeological APE for the South Fort Lauderdale Station is within an area designated by the City of Fort Lauderdale as part of the South Bank New River – Tarpon River Archaeological Zone (City of Fort Lauderdale 2017). This part of the archaeological APE is entirely within the existing active railroad right-of-way (ROW), and subsurface utilities are also present. No subsurface archaeological testing could be conducted during this survey due to the presence of the existing railroad, roads, airport, buildings, stormwater facilities, berms, other hardscape, and buried utilities and drainage systems. The archaeological APE outside of the locally designated South Bank New River – Tarpon River Archaeological Zone is considered to have low potential to contain intact archaeological resources based on the extent of previous disturbance and past environmental variables. However, because the South Bank New River – Tarpon River Archaeological Zone has been locally designated as having elevated archaeological potential, archaeological monitoring of ground disturbing activities within the archaeological zone is recommended to occur during construction.

The historic resources survey and background research resulted in the identification and evaluation of 15 previously identified structures, five previously identified resource groups, and 54 newly identified structures within the project APE. Four of the resources are National Register listed or determined National Register eligible. The Hollywood Boulevard Commercial Historic District (8BD3284) is listed on the National Register under Criterion A in the areas of Commerce, and Community Planning and Development. Two contributing resources to the District, Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574), are located within the project APE. The two contributing resources to the District are not individually eligible for the National Register. The fourth significant resource is the Florida East Coast (FEC) Railway (8BD4087), which has been determined National Register eligible under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. The FEC Railway (8BD4087) extends along the entire project corridor. Please note that in this report the historic FEC company is referred to as FEC and the current company is referred to as FECR, to differentiate between the historic company and the modern company. The Florida Master Site File (FMSF) forms for these four resources were not updated because their evaluations are not changing.

The remaining resources are determined or considered National Register ineligible due to a lack of significant historical association or lack of integrity. One of the previously identified resources within the APE, the Hollywood Publishing Company/219 N. 21st Avenue (8BD376) is locally

designated by the City of Fort Lauderdale but is recommended National Register ineligible. Another previously identified resource, the (former) Fort Lauderdale Antique Car Museum/1527 SW 1st Avenue (8BD8182) has been identified by the City of Fort Lauderdale as a potential local landmark but is recommended National Register ineligible. The resources are recommended ineligible, individually and as contributing resources to a historic district, due to a lack of significant historical associations and a lack of integrity due to alterations. FMSF forms were completed for previously recorded resources that required updates and all newly identified resources. The FMSF forms are located in **Appendix B**.

Table 1 shows the previously identified historic resources organized by type and whether they required updated FMSF forms. The last column provides the total number of resources determined or recommended National Register eligible in the current document.

Table 1: Summary of Previously Recorded Historic Resources Within the Project APE

Resource Type	Number of Resources Identified	Number of Resources with Updated FMSF Forms	Number of Resources Determined or Recommended National Register Eligible, or Listed on the National Register*
Structures	15	9	2
Resource Groups	5	3	2
Bridges	0	0	0
Cemeteries	0	0	0
Total Number of Resources	20	12	4

*The determinations of eligibility are based on the current FMSF data. These evaluations may change. The recommendations of eligibility are not final until SHPO concurrence and thus may change.

Table 2 shows the site file numbers and names of the previously recorded resources organized by resource type. The previous State Historic Preservation Officer (SHPO) determinations and the recommended eligibility evaluations for unevaluated resources are provided in the last column. Resources determined or recommended National Register-eligible are highlighted in the table. **Table 3** shows the newly identified historic resources organized by type. The recommended eligibility evaluations for the resources are provided in the last column. All newly identified resources have FMSF forms completed (**Appendix B**). **Table 4** provides the FMSF numbers and other information on the newly identified resources organized by resource type. Resources recommended National Register eligible are highlighted in the table. The recommendations in **Tables 1, 2, 3, and 4** are not final until SHPO concurrence of the current document.

Table 2: Previously Recorded Resources Within the Current Project APE

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
Structures				
8BD375	American Legion Post 92/205-207 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1926	Considered National Register Ineligible

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD376	The Hollywood Publishing Company/219 N. 21st Avenue	Commercial/ Masonry Vernacular	1924	Considered National Register Ineligible; Locally Designated by the City of Fort Lauderdale
8BD381	921 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1926	Considered National Register Ineligible
8BD383	109-111 1/2 S. Dixie Highway	Commercial	ca 1926	Considered National Register Ineligible
8BD414	Watson, Jack Residence/2140 Fillmore Street	Single-Family Residence/ Frame Vernacular	ca 1926	Considered National Register Ineligible
8BD573	Broward or Kington Building/2032-2050 Hollywood Boulevard	Commercial/ Masonry Vernacular	1924	Listed on the National Register as a Contributing Resource to the Hollywood Boulevard Historic Business District
8BD574	Ingram Arcade/2033-2051 Hollywood Boulevard	Commercial/ Masonry vernacular	1921	Listed on the National Register as a Contributing Resource to the Hollywood Boulevard Historic Business District
8BD888	2135 Taylor Street	Single-Family Residence/ Frame Vernacular	ca 1926	Considered National Register Ineligible
8BD4425	Back and Neck Pain Center/1627 S. Andrews Avenue	Commercial/ Masonry Vernacular	ca 1955	Determined National Register Ineligible

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD5684	Firestone/106 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1967	Determined National Register Ineligible
8BD5893	Maritime Professional Training/1909 1st Avenue	Commercial/ Masonry Vernacular	ca 1950	Determined National Register Ineligible
8BD5897	East Coast Battery and Electric/100 SW 17th Street	Commercial/ Masonry Vernacular	ca 1952	Determined National Register Ineligible
8BD5898	Southport Auto Repair/101 SW 17th Street	Commercial/ Masonry Vernacular	ca 1959	Determined National Register Ineligible
8BD8176	205 SW 17th Street	Single-Family Residence/ Mid-Century Modern	1945	Considered National Register Ineligible
8BD8182	(former) Antique Car Museum/1527 SW 1st Avenue	Commercial/ Moderne	ca 1950	Considered National Register Ineligible/ Recommended for Local Designation
Resource Groups				
8BD3284	Hollywood Boulevard Historic Business District.	FMSF Building Complex	1921-1946	Listed on the National Register
8BD4087	FEC Railway	Linear Resource	1896-1959	Determined National Register Eligible
8BD4227	Dixie Highway	Linear Resource	1915-1947	Considered National Register Ineligible Within the Current Project APE

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD4373	Federal Highway	Linear Resource	1927-1959	Considered National Register Ineligible Within the Current Project APE
8BD4776	SR-A1A	Linear Resource	1925-2010	Considered National Register Ineligible Within the Current Project APE

*The determinations of eligibility are based on the current FMSF data. These evaluations may change. The recommendations of eligibility are not final until SHPO concurrence and thus may change.

Table 3: Summary of Newly Identified Historic Resources

Resource Type	Number of Resources Identified	Number of Resources with FMSF Forms	Number of Resources Recommended National Register Eligible*
Structures	54	54	0
Resource Groups	0	0	0
Cemeteries	0	0	0
Bridges	0	0	0
Total Number of Resources	54	54	0

*The recommendations are not final until SHPO concurrence and thus may change.

Table 4: Newly Identified Historic Resources

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
Structures				
8BD08252	100 SW 15th Street	Commercial/ Masonry Vernacular	ca 1973	Considered National Register Ineligible

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD08254	1417 SW 1st Avenue	Commercial/ Masonry Vernacular	ca 1972	Considered National Register Ineligible
8BD08255	201 SW 15th Street	Commercial/ Masonry Vernacular	ca 1969	Considered National Register Ineligible
8BD08256	209 SW 15th Street	Commercial/ Masonry Vernacular	ca 1945	Considered National Register Ineligible
8BD08259	200 SW 14th Court (Building 1)	Commercial/ Masonry Vernacular	ca 1968	Considered National Register Ineligible
8BD09326	211 SW 16th Street (Building 1)	Commercial/ Masonry Vernacular	ca 1968	Considered National Register Ineligible
8BD09327	211 SW 16th Street (Building 2)	Commercial/ Masonry Vernacular	ca 1969	Considered National Register Ineligible
8BD09330	200 SW 16th Court (Building 1)	Commercial/ Masonry Vernacular	ca 1954	Considered National Register Ineligible
8BD09331	200 SW 16th Court (Building 2)	Commercial/ Masonry Vernacular	ca 1954	Considered National Register Ineligible
8BD09332	100 SW 16th Street	Commercial/ Masonry Vernacular	ca 1957	Considered National Register Ineligible
8BD09333	1605 & 1611 SW 1st Avenue	Commercial/ Masonry Vernacular	ca 1950	Considered National Register Ineligible
8BD09334	1611 S Andrews Avenue	Commercial/ Masonry Vernacular	ca 1959	Considered National Register Ineligible

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD09335	1623 S Andrews Avenue	Commercial/ Masonry Vernacular	ca 1958	Considered National Register Ineligible
8BD09336	17 SW 17th Street/Farm Stores	Commercial/ Masonry Vernacular	ca 1963	Considered National Register Ineligible
8BD09337	201 SW 20th Street	Commercial/ Industrial Vernacular	ca 1959	Considered National Register Ineligible
8BD09338	3318 SW 2nd Avenue	Masonry Vernacular	ca 1952	Considered National Register Ineligible
8BD09339	2038 Hayes Street	Commercial/ Masonry Vernacular	ca 1960	Considered National Register Ineligible
8BD09342	505 N 21st Avenue	Commercial/ Masonry Vernacular	ca 1956	Considered National Register Ineligible
8BD09343	510 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1952	Considered National Register Ineligible
8BD09344	2121 Fillmore Street	Commercial/ Masonry Vernacular	ca 1944	Considered National Register Ineligible
8BD09345	2125 Fillmore Street	Single-Family Residence/ Masonry Vernacular	ca 1954	Considered National Register Ineligible
8BD09346	2129 Fillmore Street	Single-Family Residence/ Masonry Vernacular	ca 1952	Considered National Register Ineligible
8BD09347	2139 Fillmore Street	Single-Family Residence/ Frame Vernacular	ca 1932	Considered National Register Ineligible

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD09348	2143 Fillmore Street	Single-Family Residence/ Masonry Vernacular	ca 1949	Considered National Register Ineligible
8BD09349	2205 Fillmore Street	Multi-Family Residence/ Masonry Vernacular	ca 1964	Considered National Register Ineligible
8BD09350	2206 Fillmore Street (Building 1)	Multi-Family Residence/ Masonry Vernacular	ca 1959	Considered National Register Ineligible
8BD09411	2216 Fillmore Street	Apartment Laundry/ Masonry Vernacular	ca 1955	Considered National Register Ineligible
8BD09412	2205-2207 Taylor Street	Residential/ Tudor Revival	ca 1950	Considered National Register Ineligible
8BD09413	2209-2211 Taylor Street	Multi-Family Residential/ Masonry Vernacular	ca 1974	Considered National Register Ineligible
8BD09414	Four Star Auto Sales and Body/400 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1967	Considered National Register Ineligible
8BD09415	2113 Taylor Street	Multi-Family Residential/ Masonry Vernacular	ca 1940	Considered National Register Ineligible
8BD09416	2121 Taylor Street	Multi-Family Residential/ Masonry Vernacular	ca 1951	Considered National Register Ineligible

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD09417	2129 Taylor Street	Residential/ Frame Vernacular	ca 1925	Considered National Register Ineligible
8BD09418	Classic Collision/338 N Dixie Highway	Commercial/ Mid-Century Modern	ca 1955	Considered National Register Ineligible
8BD09419	Skin and Body/2040 Polk Street	Commercial/ Masonry Vernacular	ca 1945	Considered National Register Ineligible
8BD09420	City Glass/200 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1966	Considered National Register Ineligible
8BD09421	Clark Acupuncture Associates/130-132 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1957	Considered National Register Ineligible
8BD09422	Area 51 Smoke Shop/128 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1958	Considered National Register Ineligible
8BD09423	Title Services/126 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1959	Considered National Register Ineligible
8BD09424	2100-2112 Tyler Street	Commercial/ Masonry Vernacular	ca 1966	Considered National Register Ineligible
8BD09425	2116-2124 Tyler Street	Commercial/ Masonry Vernacular	ca 1956	Considered National Register Ineligible
8BD09426	2126 Tyler Street	Commercial/ Masonry Vernacular	ca 1959	Considered National Register Ineligible
8BD09427	2134 Tyler Street	Commercial/ Masonry Vernacular	ca 1960	Considered National Register Ineligible

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*
8BD09428	2140-2154 Tyler Street	Commercial/ Masonry Vernacular	ca 1968	Considered National Register Ineligible
8BD09429	110 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1964	Considered National Register Ineligible
8BD09430	127 S 21st Avenue	Commercial/ Mission Revival	ca 1948	Considered National Register Ineligible
8BD09431	2032 Harrison Street	Commercial/ Masonry Vernacular	ca 1955	Considered National Register Ineligible
8BD09432	113-117 S 21st Avenue	Commercial/ Masonry Vernacular	ca 1947	Considered National Register Ineligible
8BD09459	514-516 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1949	Considered National Register Ineligible
8BD09460	520 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1950	Considered National Register Ineligible
8BD09461	524 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1941	Considered National Register Ineligible
8BD09462	526-530 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1948	Considered National Register Ineligible
8BD09463	505-515 N. 21st Avenue	Commercial/ Masonry Vernacular	ca 1956	Considered National Register Ineligible
8BD09468	1506 SW 1st Avenue	Commercial/ Masonry Vernacular	ca 1958	Considered National Register Ineligible

The recommendations are not final until SHPO concurrence and thus may change.

Finding of Effects:

Following the assessment of effects presented in **Section 11** of this report, it is recommended that the proposed project will have no adverse effect on the four National Register-eligible or listed cultural resources identified in the project APE. The four eligible or listed resources are: the FEC Railway (8BD4087), Hollywood Boulevard Commercial Historic District (8BD3284) and two contributing resources to the District: Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574).

The proposed activities at the FEC Railway (8BD4087) will maintain the railway and return the railway to its original configuration and use. The railway was originally constructed with two-tracks that carried freight and passenger rail. In the mid-twentieth century the tracks were altered to remove one set of tracks and to remove passenger rail service. In the early twenty-first century, the railway was again double-tracked and passenger rail was returned to the railway. The project activities with the previous undertaking were determined to have no adverse effect to the FEC Railway (8BD4087). The resource is not sensitive to indirect effects such as noise and vibration, and the direct activities are restoring the resource to its original use (passenger rail). Therefore, the current proposed project will have no adverse effect on the FEC Railway (8BD4087).

The Hollywood Boulevard Commercial Historic District (8BD3284) and two contributing resources to the District that are within the current APE: Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574) are located over 40 feet from the existing railway ROW and are in an area that is commercial-use. The proposed project activities, the construction of a new station, parking garage, and shifting of the rail tracks, will not have a direct impact on the eligible resources. The location, design, materials, workmanship, feeling, setting, association, and access for the resources will not change as result of the proposed project. The project area is in an intensively developed commercial area that decreases the impacts of project activities. In relation to indirect effects, noise and vibration studies found that the District and the two contributing resources within the APE are not within the area for potential noise or vibration impacts. Therefore, the proposed project will have no adverse effect on historic properties. The proposed improvements at each station are described in **Section 2.0**.

2.0 Detailed Project Description

2.1 General

The Build Alternative includes rail track modifications along the corridor length, new commuter rail stations, and commuter parking improvements. Three stations are proposed along the corridor with the northern termini occurring at the South Fort Lauderdale (SFTL) Station in Broward County. The BCR South platforms will be located next to sidings/dwell tracks, not on the mainline.

2.1.1 Stations

The proposed BCR South stations include:

- Hollywood Station located between Fillmore Street and Tyler Street
- Fort Lauderdale-Hollywood International Airport (FLL) Station located between the two Terminal Drive overpasses that access the airport from I-595 and US 1
- SFTL Station located between SW 15th Street and SW 17th Street

All three stations include the following amenities:

- Ticket Zone with at least two Ticket Vending Machines (TVM) (Operator Specific)
- Staff Information Booth
- Americans with Disabilities Act (ADA)-compliant clear zone(s)
- Fixed Canopy
- Benches for seating compliant with Department of Justice 28 CFR Part 36 ADA Standards for Accessible Design
- Lighting (direct with minimum 5-foot candles (FC) on all portions of platform and off-platform areas)
- Information sign(s) (e.g., passenger information, logo, route maps, and schedules)
- Station stop ID sign(s)
- Trash receptacle(s)
- Hose bibs along platform for maintenance
- Emergency fire hydrant
- Wayfinding totem
- Public-Address System (Operator Specific)
- Emergency Call Boxes
- Closed-circuit television (CCTV; Operator Specific)
- Wi-Fi access
- Handrails as necessary along platform, ramps, and sloping sidewalk

- Inter-track fence
- Level-boarding platform (Operator Specific)
- Staff and Customer bathroom facilities

2.1.2 Track Work

The corridor consists of existing double mainline tracks previously constructed by FECR and Brightline for freight and intercity passenger service. Track work proposed includes adding sidings for the station platform locations and mainline track shifts at Hollywood Station. The sidings run the length of the stations and extend an addition to the length needed to tie back into the mainline double tracks. Crossovers are included in the vicinity of the stations to allow for flexibility of train operations as the commuter trains approach the stations.

The existing Brightline and planned NEC commuter station and tracks at Aventura will remain with no additional construction required for the BCR South service stop. The Aventura station is a proposed commuter rail station to be constructed by Miami-Dade County as part of the NEC. The BCR South project would be an extension of the same service north with three proposed stations.

2.1.3 Parking

Provisions for commuter parking at two of the three stations proposed were also examined in developing the Build Alternative. These parking alternatives are further described below in detailing proposed station improvements.

The following Sections describe the Build Alternative in detail at each station.

2.2 Hollywood Station

The Hollywood Station is located between Filmore Street and Tyler Street in Hollywood, FL, west of downtown. At this station the rail corridor is bordered by N 21st Avenue to the east and Dixie Highway to the west.

The station concept includes providing the following:

- Two track sidings with two mainline track shifts to center the tracks and platforms within the FECR ROW.
- Two 17-foot-wide by 500-foot-long side platforms.
- 150-foot-long bus drop-offs along N 21st Avenue and Dixie Highway (south of Fillmore Street).
- 100-foot-long vehicle drop-offs along N 21st Avenue and Dixie Highway (south of Fillmore Street).

- Sidewalk connectivity between the parking garage alternatives, the bus drop-off, and the vehicle drop-offs; this includes existing sidewalk repairs or reconstruction along the route and ADA ramps at the intersections along the route.
- Two lanes, one-way traffic on reconstructed N 21st Avenue and Dixie Highway between Fillmore Street and Tyler Street to accommodate bus and vehicle drop-offs.
- Mill and overlay work at all at-grade highway-rail grade crossings.
- Pedestrian access via Filmore Street and Tyler Street highway-rail grade crossings (no pedestrian overpass). Platform will be end loaded 17-foot-wide platforms.
- The City's Complete Streets program was reviewed, and the station concept should accommodate future City construction without having to impact the main BCR South features.

2.2.1 Track Layout

Due to the close highway-rail grade crossing spacing, the siding/dwell tracks are extended south of Van Buren/Harrison Street before they can connect back to the mainline tracks. To accommodate the four tracks in the station area, the existing FECR mainline tracks will be shifted to be centered within the FECR ROW. Crossovers are proposed on either side of the stations to provide flexibility on accessing either siding for passenger service.

The Hollywood Station track schematic is shown below in **Figure 2**. Refer to the Preliminary Engineering Report (PER) for Attachment H-1 for track layout details, Attachment H-2 for roadway detailed layouts and dimensioning, and Attachment H-3 & H-4 for typical sections, also included as **Appendix C** of this report.

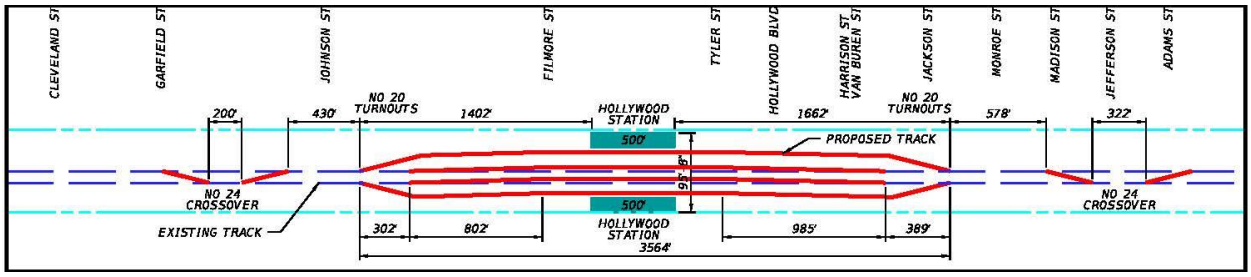

Figure 2: Hollywood Station Track Schematic

2.2.2 Parking

The City of Hollywood has indicated they can provide the BCR South parking spaces with their University Station project jointly developed by the city and private sector for attainable housing and 15,000 square feet of retail space for Barry University's College of Health Sciences. No

additional improvements to the parking garage shown in purple in **Figure 3** are proposed as part of this project.

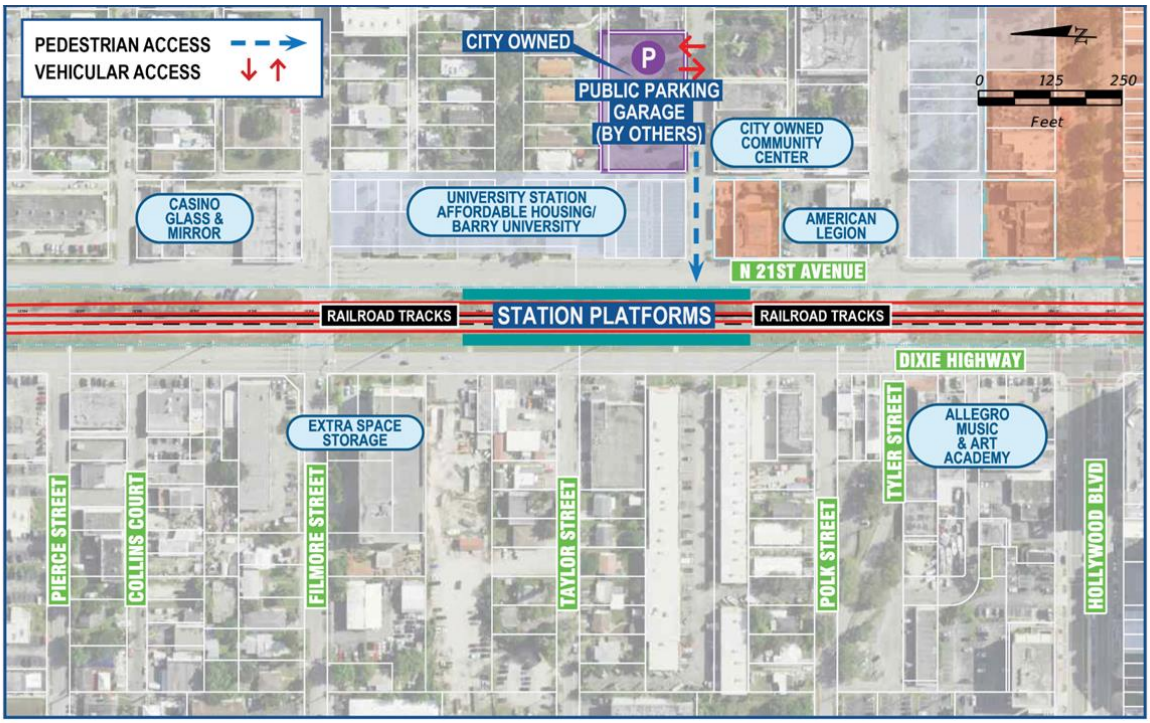

Figure 3: Hollywood Station Parking Build Alternative

The proposed project includes additional ADA parking spaces provided on either side of Polk Street just east of the N 21st Avenue intersection. Pedestrian connectivity between parking areas and the station is included as part of the project.

2.2.3 Bus Stops/Vehicle Drop-offs

Any new or relocated bus stops for BCR South will meet the same style as the recently constructed Hollywood Boulevard Complete Streets project, if practicable. The following is a summary of the bus stops near Hollywood Station.

- The Hollywood Boulevard complete streets eastbound (EB) and westbound (WB) bus stops just west of Dixie Highway will remain.
- A southbound (SB) bus stop will be added at Dixie Highway on the far side of Fillmore Street.
- To provide for passenger and ride share vehicles, a drop-off is proposed on the far side of the new Dixie Highway bus stop.

- The existing northbound (NB) bus stop along N 21st Avenue on the near side of Fillmore Street will be moved to the far side to allow for the left turn lane on the narrower N 21st Avenue Complete Streets roadway section at the station.
- A new N 21st Avenue NB vehicle drop-off will be located on the far side of Polk Street.

2.2.4 Railroad Crossings

The proposed project includes upgraded highway-rail grade crossings at Filmore Street, Tyler Street, Hollywood Boulevard and Van Buren/Harrison Street, including:

- New and reconstructed sidewalks for station access and connectivity.
- Additional railroad crossing panels for siding and on mainline FECR tracks.

2.3 Fort Lauderdale-Hollywood International Airport (FLL Airport) Station

The curved platform will be elevated with a pedestrian walkway to connect to the bus drop-off area on the west side of the tracks, shown in **Figure 4**. See PER Attachment A-2, included in this report as **Appendix D** for roadway concept and dimensions.

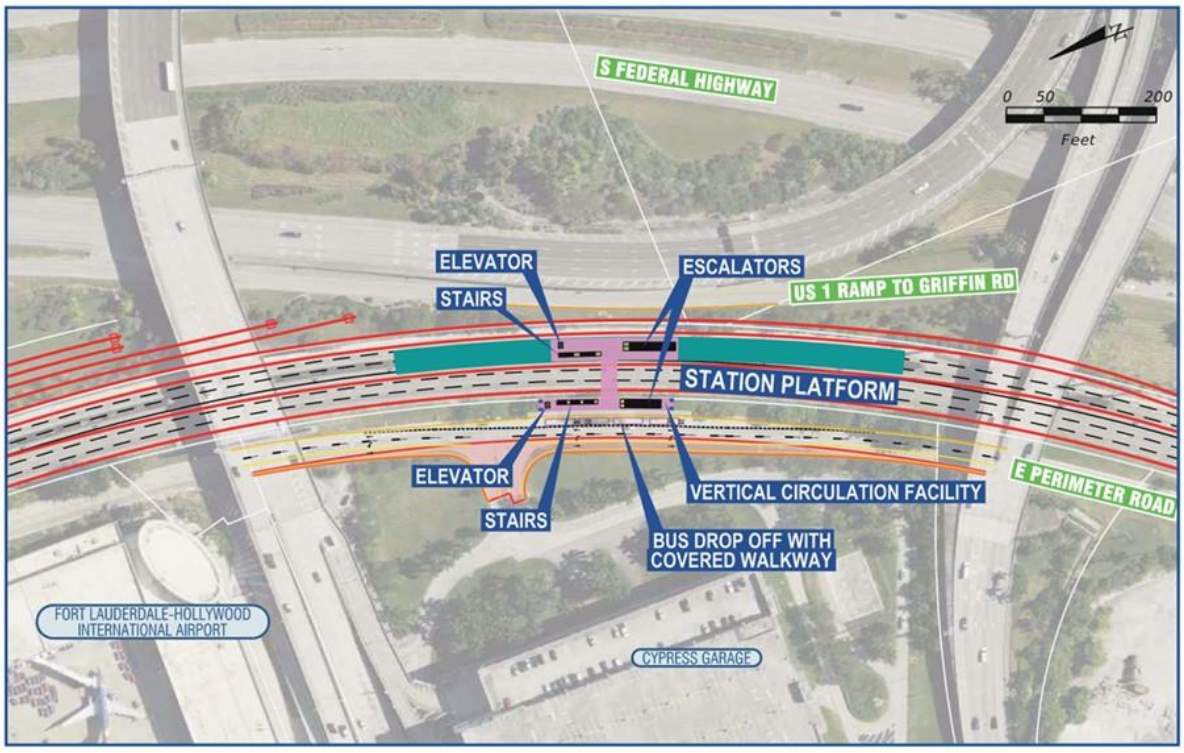

Figure 4: FLL Station Layout (No Parking)

The station concept includes providing the following:

- A single 30-foot-wide, 675-foot-long station platform centered between sidings/dwell tracks.
- Relocated freight storage tracks via several ladder tracks north of WB Terminal Drive bridge to offset the storage lost from introducing the platform and sidings/dwell tracks.
- Reconfigured existing stormwater pond due to relocated freight storage tracks.
- Vertical circulation on platform to/from pedestrian overpass (escalator, stairs, elevator)
- Pedestrian overpass (23'-6" vertical clearance over tracks, 58-foot span, 20 feet wide)
- Staff parking spaces next to the bus drop-off.
- Sidewalk connectivity to the airport terminals is being evaluated for potential inclusion.
- Widening of Perimeter Road between Terminal Drive overpasses to accommodate bus drop-off lane.
- Shuttle bus drop-off facility with vertical circulation (escalator, stairs, elevator) includes 195-foot bus drop-off lane along Perimeter Road.
- Upgraded highway-rail grade crossing at Griffin Road due to mainline track shifts.
    - New railroad flashers/gates on the east and west sides.
    - New or relocated advance warning devices (signs, detectable warning surface, etc.).
    - Additional railroad crossing panels for mainline FECR track shifts.
    - Other safety features to be determined from Safety Analysis Memorandum and coordination with FECR, Brightline and FRA.

2.3.1 Track Layout

Refer to the PER Attachment A-1 for more detailed track layouts with dimensions and stationing and Attachment A-3 and A-4 for typical sections, included herein as **Appendix D**.

The station work and existing bridge piers will require the existing FECR storage tracks to be reconfigured. Refer to **Figure 5** for a schematic of track work.

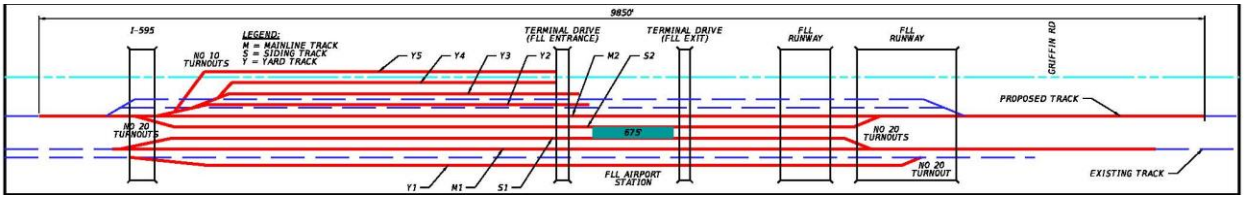

Figure 5: FLL Station Track Layout

To accommodate the storage track reconfiguration, the following will be provided:

- Proposed single storage track 14 feet to the west of the west Mainline track.
- Continuation of the northeast ladder storage tracks to the east to add four new storage tracks at 14-foot centers. These storage tracks will be stubbed out prior to the passenger station area near the Terminal Drive Overpass.
- Crash protection walls will be provided at the Terminal Drive overpass structures and under I-595, as required.
- The additional ladder storage tracks will require the modification of the existing US 1 pond on the east side of tracks to fill in more to the south infield area. The offset storage will be achieved by expanding the pond to the south and reconnecting the airport's irrigation facilities. See **Figure 6** for the pond modifications and ladder track layout.

2.3.2 Parking

Parking will not be provided at the FLL Airport Station.

2.3.3 Bus Stops/Vehicle Drop-offs

Pedestrians will only be able to take a designated shuttle bus circulating to and from the platform to the airport terminals.

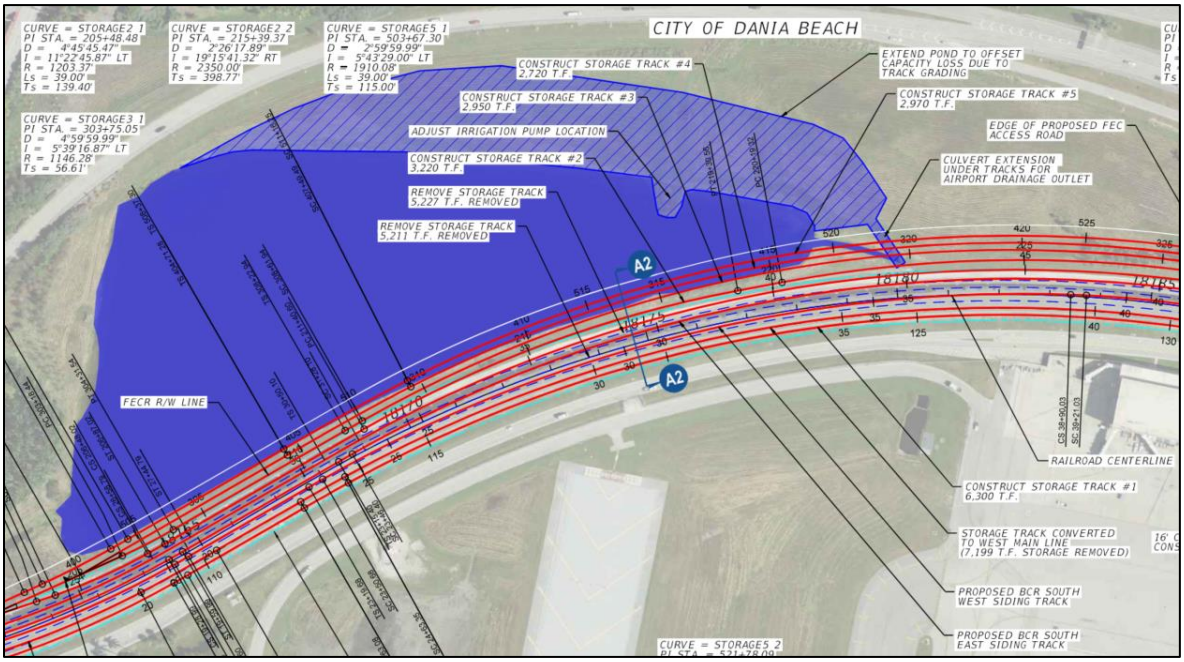

Figure 6: FLL Station Pond Modification

2.3.4 Traffic Signals/Crosswalks

There are no existing traffic signals nor crosswalks in the vicinity of the FLL Airport Station.

2.3.5 Railroad Crossings

There are no railroad crossings in the vicinity of the FLL Airport Station. However, the Griffin Road highway-railway grade crossing, south of the FLL Airport, will have profile adjustments related to the main track shifts.

2.4 South Fort Lauderdale Station (SFTL Station)

The SFTL Station is located between SW 15th Street and SW 17th Street in Fort Lauderdale, south of downtown. The platform is centered on SW 16th Street between Flagler Avenue and the FECR tracks. Flagler Avenue remains an alley from SW 16th Street to SW 17th Street.

The station concept includes providing the following:

- A single 17-foot-wide by 500-foot-long side platform on the east side.
- A temporary dwell track extension of the siding on the east side of mainline tracks, all within existing rail ROW.
- Separate 150-foot bus drop-off lane either along Andrews Avenue or SW 1st Avenue (Broward County is holding internal transit meetings to determine various services).
- 100-foot vehicle drop-off along SW 16th Street circular drive.
- Parking garage with access from SW 1st Avenue.
    - Turn lane into the proposed SW 1st Avenue parking garage.

2.4.1 Track Layout

A single platform and siding/dwell track are proposed on the east side of the mainline tracks. An 845-foot dwell track (575 feet of functional length) stub out will be provided on the north side of the station north of SW 15th Street. See **Figure 7** for the track schematic and refer to the PER Attachment F-1 for full track layout details, Attachment F-2 for roadway layout details, and Attachment F-3 & F-4 for typical sections. These PER Attachments are included in this report as **Appendix E**.

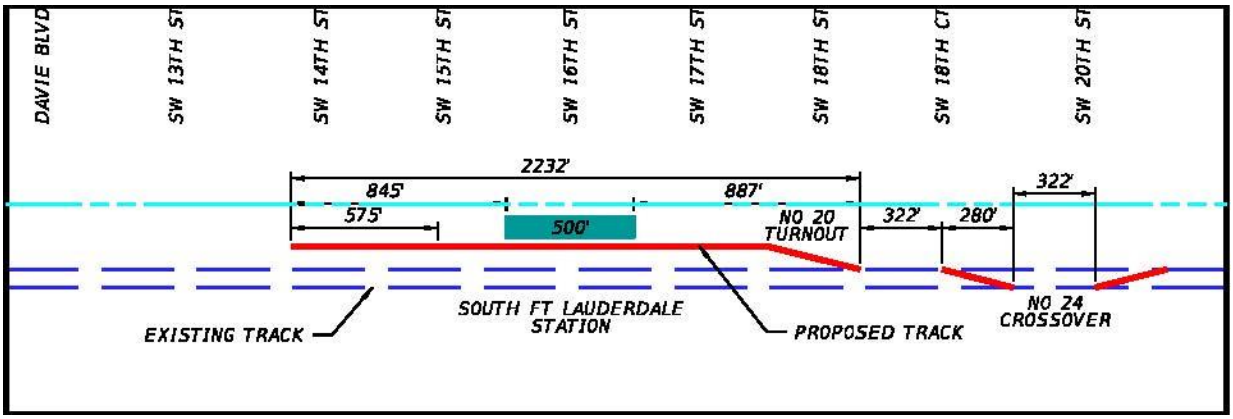

Figure 7: SFTL Station Track Schematic

2.4.2 Parking

The City of Fort Lauderdale does not have any large public parking facilities within the ¼-mile area of the station, only on-street parking. Therefore, parking alternative screening was analyzed for this station. Two candidate sites within ¼ mile of the station location were identified that could be developed as parking structures and are shown in **Figure 8**. Both sites screened and evaluated can accommodate the required parking for the station. Note that each parking optionsite will be accommodated within the current zoning height of 100 ft.

Parking Option 1: Parking Option 1 is located between SW 1st Avenue and Flager Ave alley close to the station platform in the block south of SW 16th Street (shown in purple). A new proposed parking garage would be located on this site to accommodate the required parking. This potential parking site has no historic resources, has one property owner, and would require the relocation of two separate business tenants.

Parking Option 2: Option 2 is located between Andrews Avenue and SW 1st Avenue and is farther away from the station platform in the block south of SW 16th Street (shown in yellow). This potential parking site is accessible from SW 17th Street via SW 1st Avenue entrance. This potential parking site has no historic resources, has three property owners, and may require two business relocations. Most of the site is fenced off for future construction and is owned by Broward Health, who are considering a development to include parking.

A Parking Screening Memorandum was prepared for the SFTL Station that reflected both sites as being viable for parking. The recommended option will be selected in the near future subsequent to additional coordination.

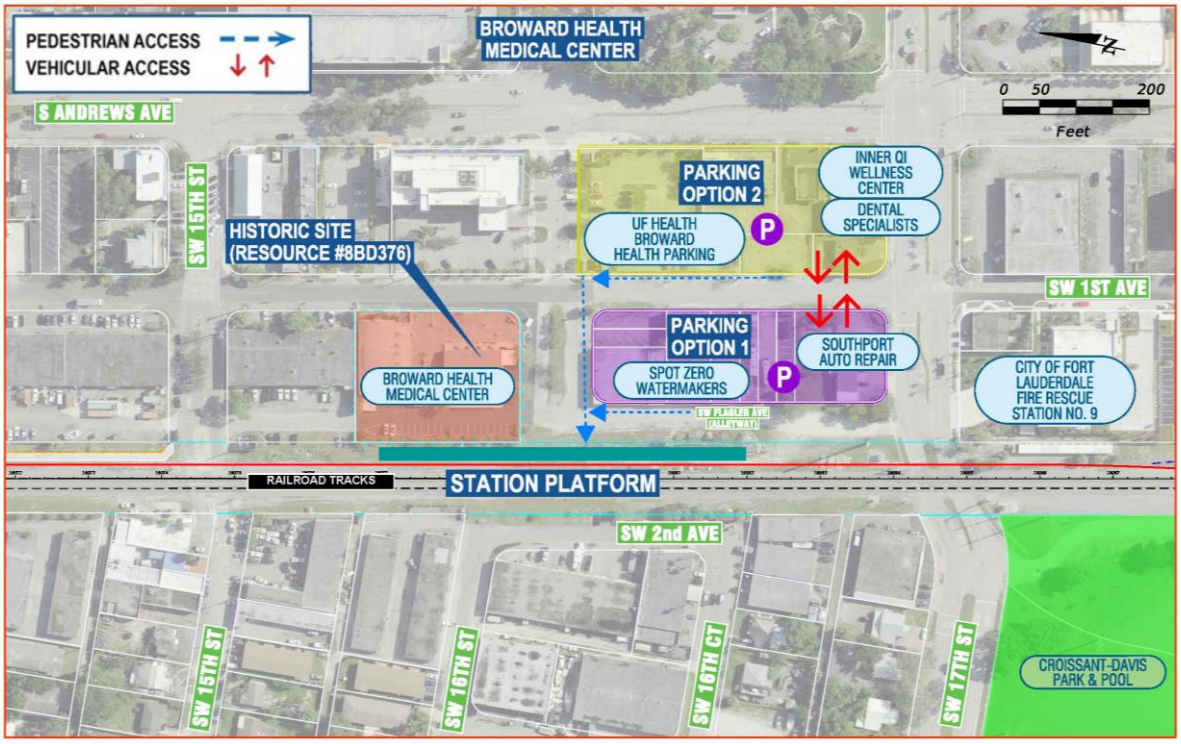

Figure 8: SFTL Station Location and Parking Options

2.4.3 Bus Stops/Vehicle Drop-offs

The following is a summary of the bus stops and new vehicle drop-offs near the SFTL Station.

- New NB and SB bus stops may be added at SW 1st Avenue on the far side of SW 16th Street (BCT is developing a revised regional transit operation plan).
- New vehicle drop-offs will be accommodated along the reconstructed SW 16th Street as a horseshoe turn around with a pedestrian plaza in the median.

2.4.4 Traffic Signals/Crosswalks

The existing traffic signals will remain along Andrews Avenue and SW 17th Street in the project vicinity. The following crosswalks will be included in the project:

- Potential new mid-block pedestrian signal and crosswalk on Andrews Avenue to the north of SW 16th Street to provide pedestrian connectivity between the station and Broward Health complex.

- Potential new pedestrian signal and crosswalk on SW 17th Street at SW 1st Avenue to provide connectivity between the station and Poinciana Crossings affordable housing site.
- Potential modifications or new traffic signal interconnection with railroad active warning device systems, existing fire station emergency signal and new pedestrian signal.

2.4.5 Railroad Crossings

Upgraded highway-rail grade crossings at SW 15th Street and SW 17th Street, including:

- Additional railroad crossing panels for siding and on mainline FECR tracks.

3.0 Area of Potential Effect (APE)

As part of the Section 106 process, an APE is established to determine the physical area in which cultural resources will be identified.

According to 36 CFR 800.16(d), the APE is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties, if such properties exist. The APE is influenced by the scale and nature of the undertaking, as well as its geographical setting.

On March 6, 2023, representatives from the FDOT District Four, Broward County, and their consultants participated in a meeting with FTA to discuss the proposed APE. The preliminary APE presented in the meeting was approved by FTA and was used in the current effort. The SHPO and the federally recognized Native American Tribes and Organizations who have interest in the region were notified of the proposed APE on March 29, 2023. No objections have been received.

3.1 Archaeological APE

The archaeological APE typically focuses on identifying and evaluating resources within the geographic limits of the proposed improvements and associated ground disturbing activities. The archaeological APE includes the limits of ground disturbing activities, including the construction of improvements to track infrastructure and passenger platforms/facilities, as well as site grading and utility relocations and installations. The archaeological APE also contains the footprint of any potential property acquisition, such as that which may be needed for parking areas. Most of the proposed improvements are within the already disturbed FECR ROW. The archaeological APE includes the limits of construction and proposed parking areas as shown in **Figures 9a-9i** and later figures.

3.2 Historic Resources APE

The historic resources APE typically focuses on the area of the proposed improvements, while also considering the potential for visual effects and the potential for effects resulting from noise, traffic, light, and vibration. Generally, most of the project area corresponds with the existing FECR corridor, currently used by freight and intercity passenger trains. The commercial, industrial, and residential buildings that surround the rail corridor range from single story structures to multi-story residential buildings with fewer than 20 floors. Typically, buildings on smaller residential-use parcels tend to be more sensitive to visual, noise, and vibration impacts than larger commercial-use structures. The rail corridor traverses

an urbanized environment that is predominantly developed and densely populated. The roadways have been modernized with markings, signage, and signalization.

Besides the three new passenger stations and associated parking, no new visual elements will be introduced along the project corridor. Small areas of marking and signalization are proposed. The most prominent change in the current conditions for most of the project corridor will be additional trains during peak hours. The stations will be constructed within the FECR ROW, which is already a transportation route with existing train noise and passing trains. For this reason, and because the surrounding area is urbanized, no new visual intrusions are anticipated. Parking to support the project will be located outside of the FECR ROW, therefore the APE includes buffers around the proposed parking options to address any potential effects. Adjacent available parcels are being considered for surface parking and existing parking facilities are readily accessible at some locations.

The potential visual impacts of the proposed project are minor. Considering the current use and density of development in the current corridor, the proposed historic resources APE extends 50 feet from all proposed construction, stations, additional rail, and parking lots. An APE of 150 feet was used around proposed relocations. For areas of marking and signalization, the APE was the footprint of improvements. The historic resources APE is shown in **Figures 9a-9i**.

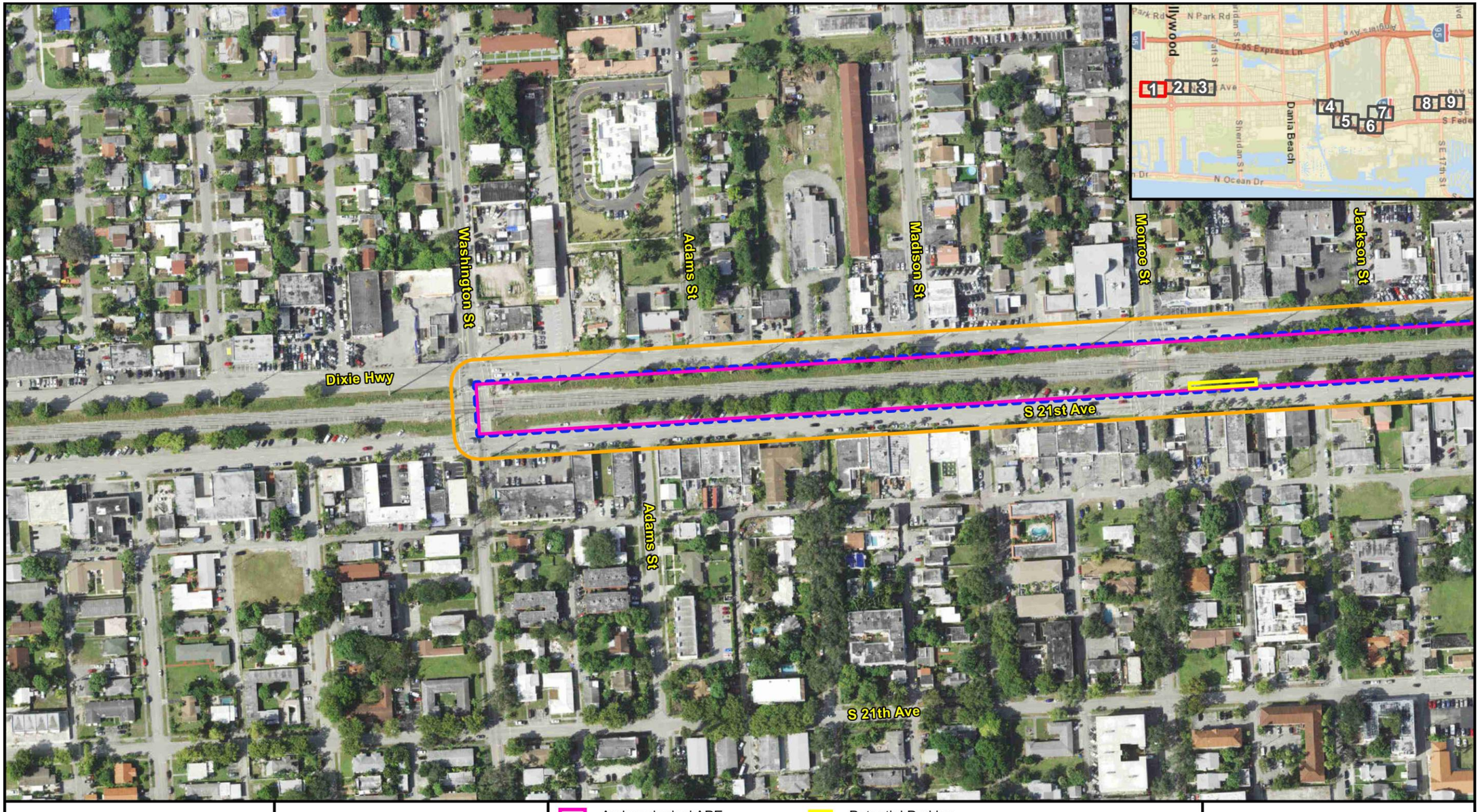

Figure 9a: Area of Potential Effects (APE) (Map 1 of 9)

Broward Commuter Rail South

- Archaeological APE
- Historic Resources APE
- Station Platform
- Potential Parking
- Limits of Construction

Broward County

Feet
0
250

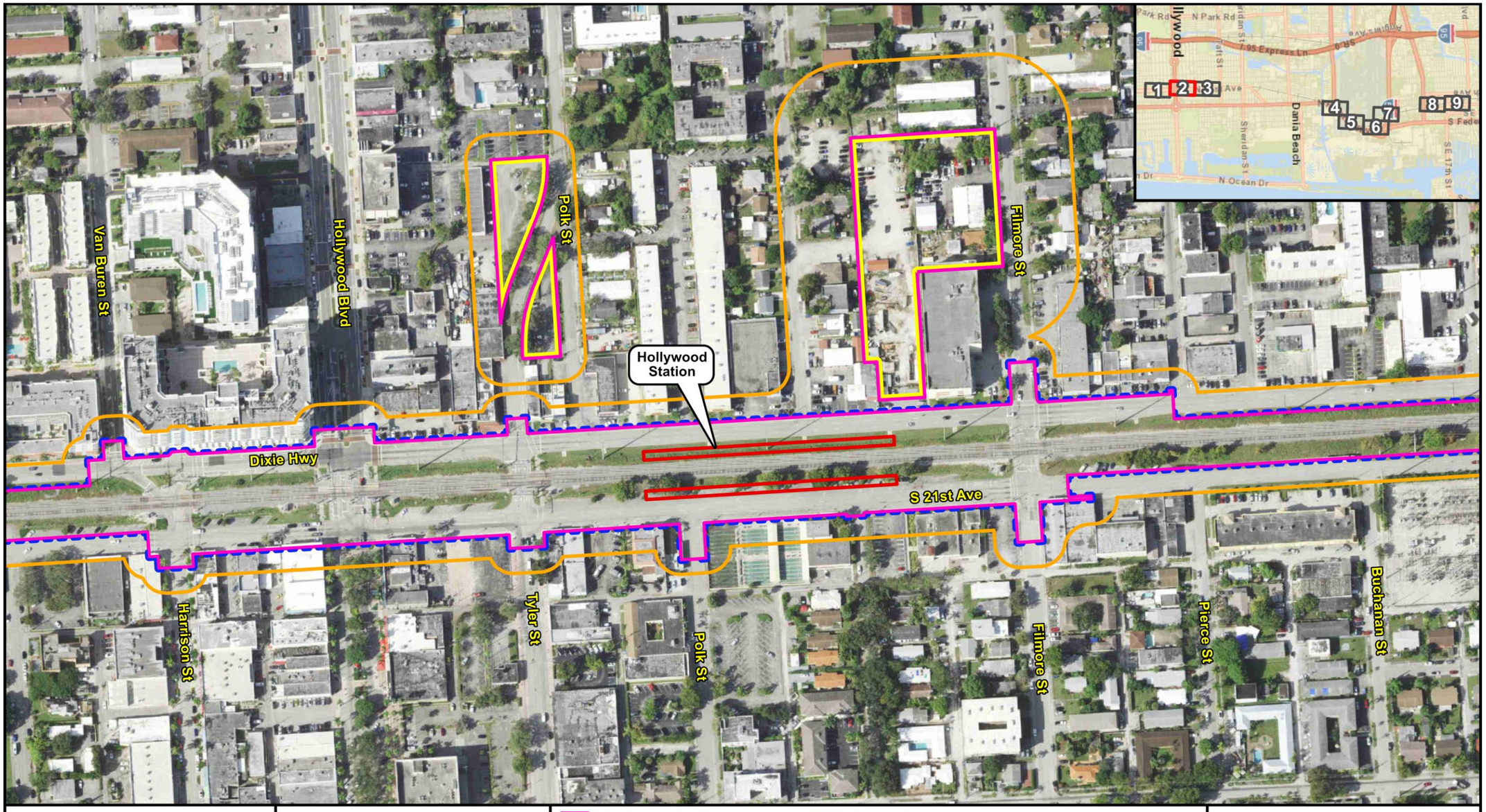

Figure 9b: Area of Potential Effects (APE) (Map 2 of 9)

Broward Commuter Rail South

Archaeological APE
Historic Resources APE
Station Platform
Potential Parking
Limits of Construction

Broward County

0 250 Feet

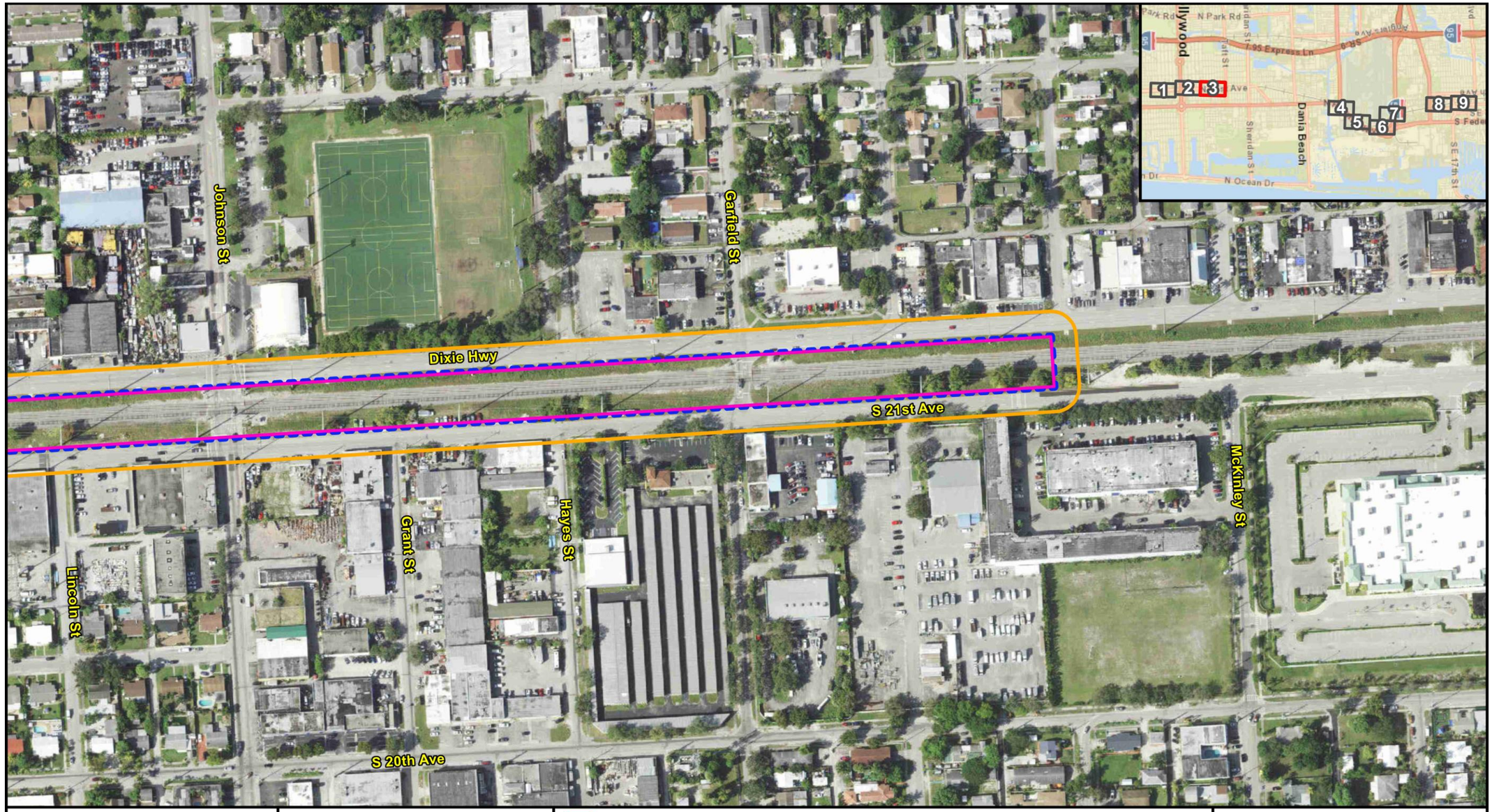

Figure 9c: Area of Potential Effects (APE) (Map 3 of 9)

Broward Commuter Rail South

Archaeological APE
Historic Resources APE
Station Platform
Potential Parking
Limits of Construction

Broward County

Feet
0
250

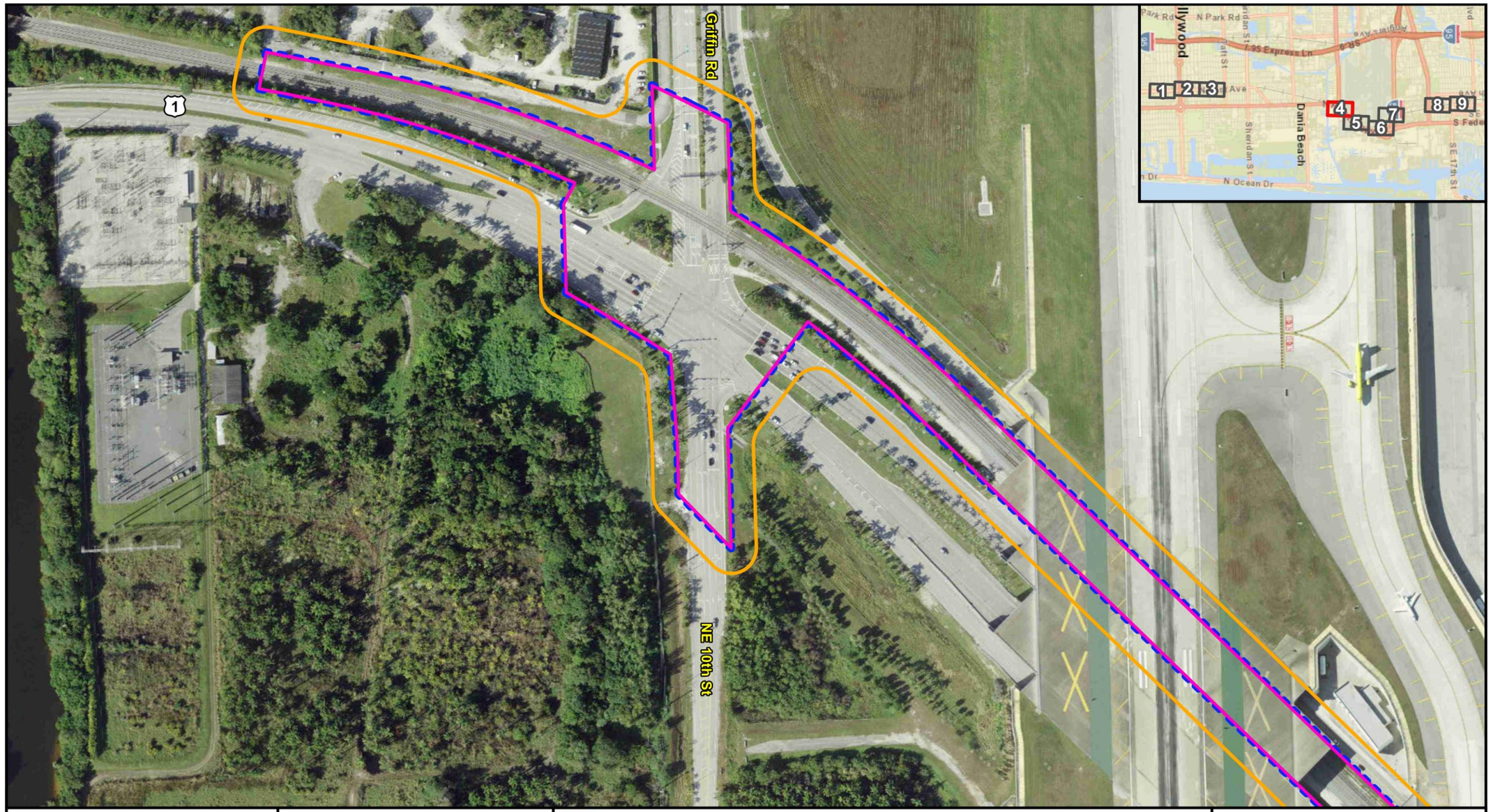

Figure 9d: Area of Potential Effects (APE) (Map 4 of 9)	*Broward Commuter Rail South*	Archaeological APE Historic Resources APE Station Platform Potential Parking Limits of Construction	**Broward County** 0 250 Feet

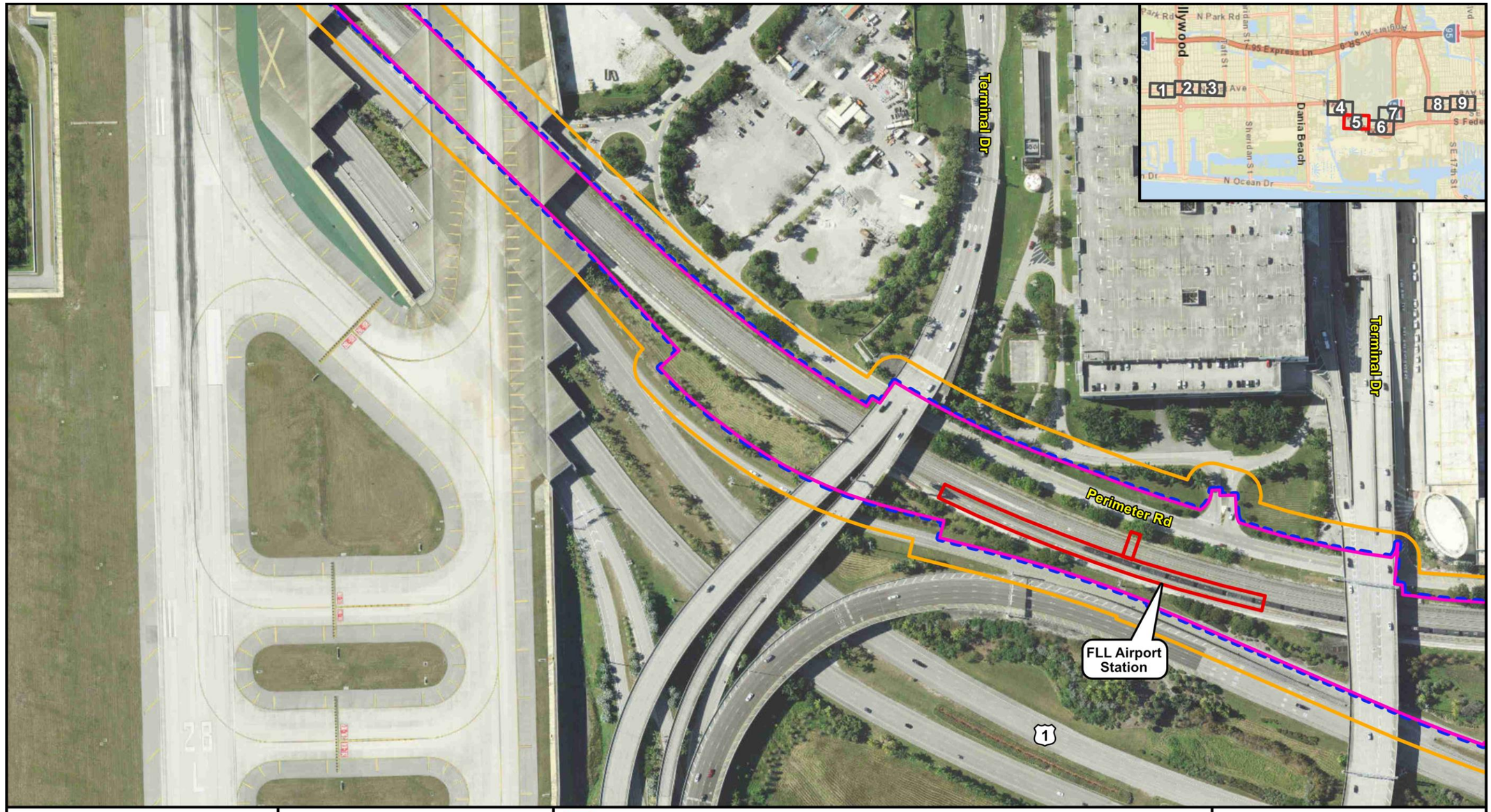

Figure 9e: Area of Potential Effects (APE) (Map 5 of 9)

Broward Commuter Rail South

Archaeological APE
Historic Resources APE
Station Platform
Potential Parking
Limits of Construction

Broward County

0 250 Feet

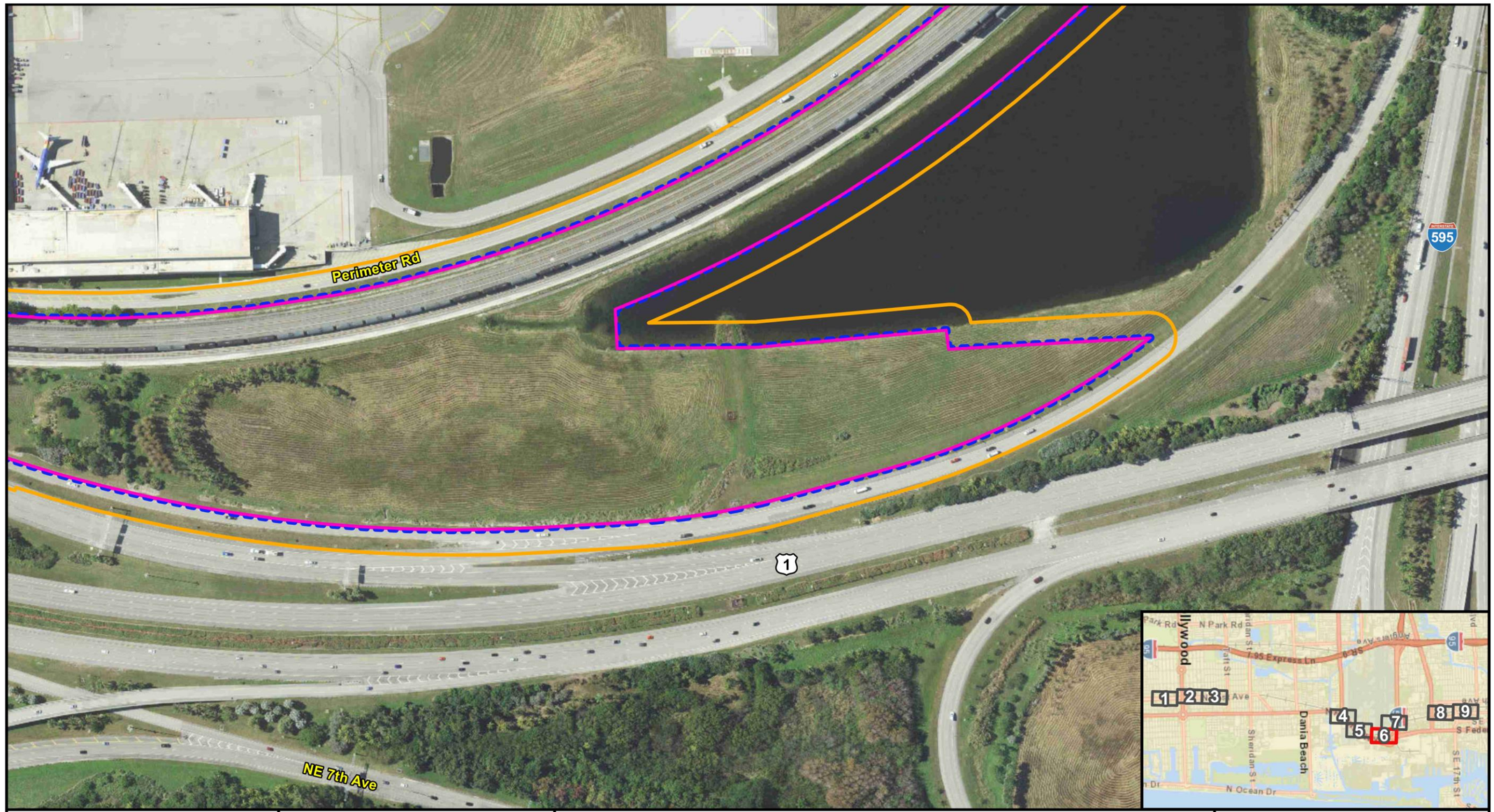

Figure 9f: Area of Potential Effects (APE) (Map 6 of 9)

Broward Commuter Rail South

Archaeological APE
Historic Resources APE
Station Platform
Potential Parking
Limits of Construction

Broward County

Feet
0
250

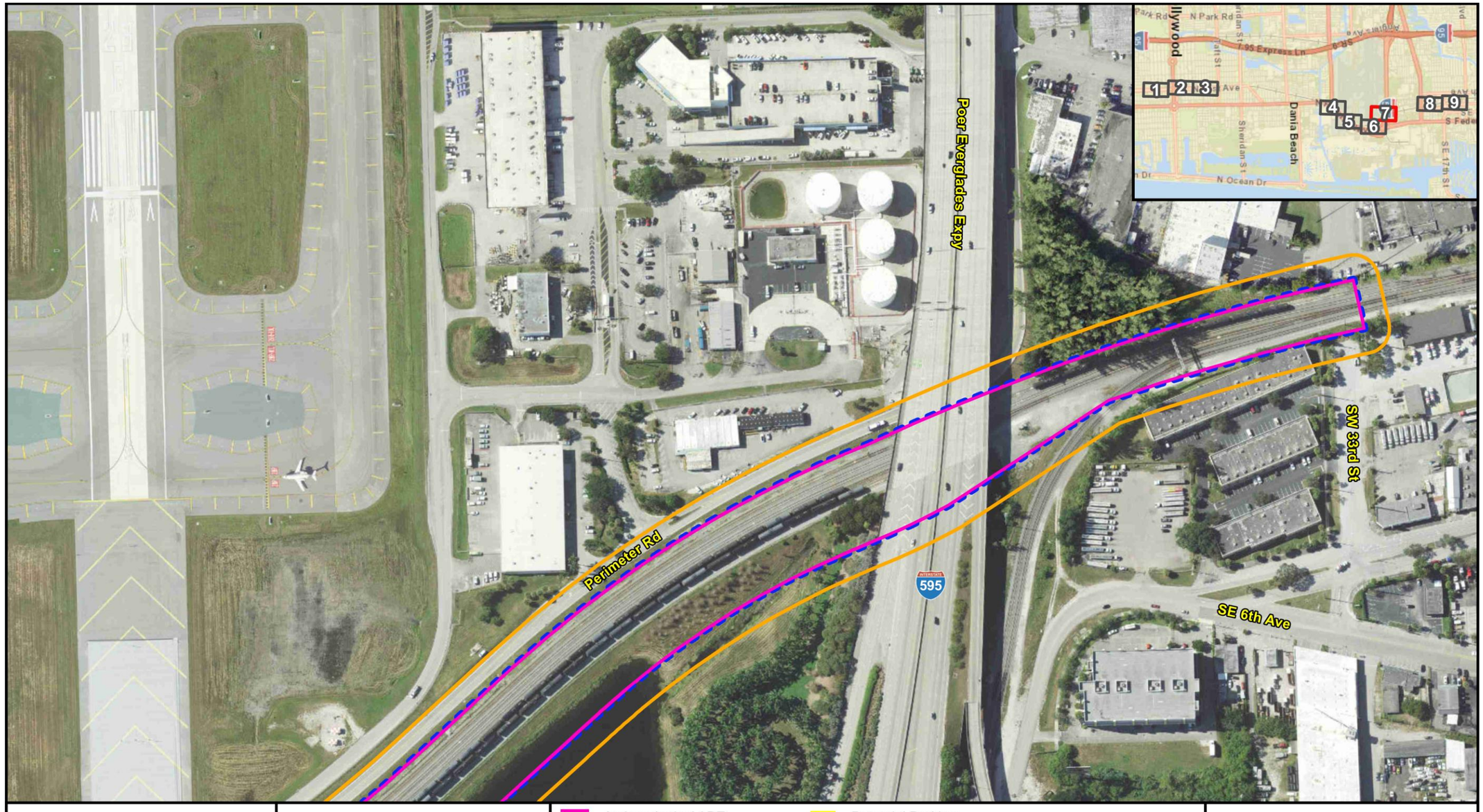

Figure 9g: Area of Potential Effects (APE) (Map 7 of 9)

Broward Commuter Rail South

Archaeological APE
Historic Resources APE
Station Platform
Potential Parking
Limits of Construction

Broward County

0 250 Feet

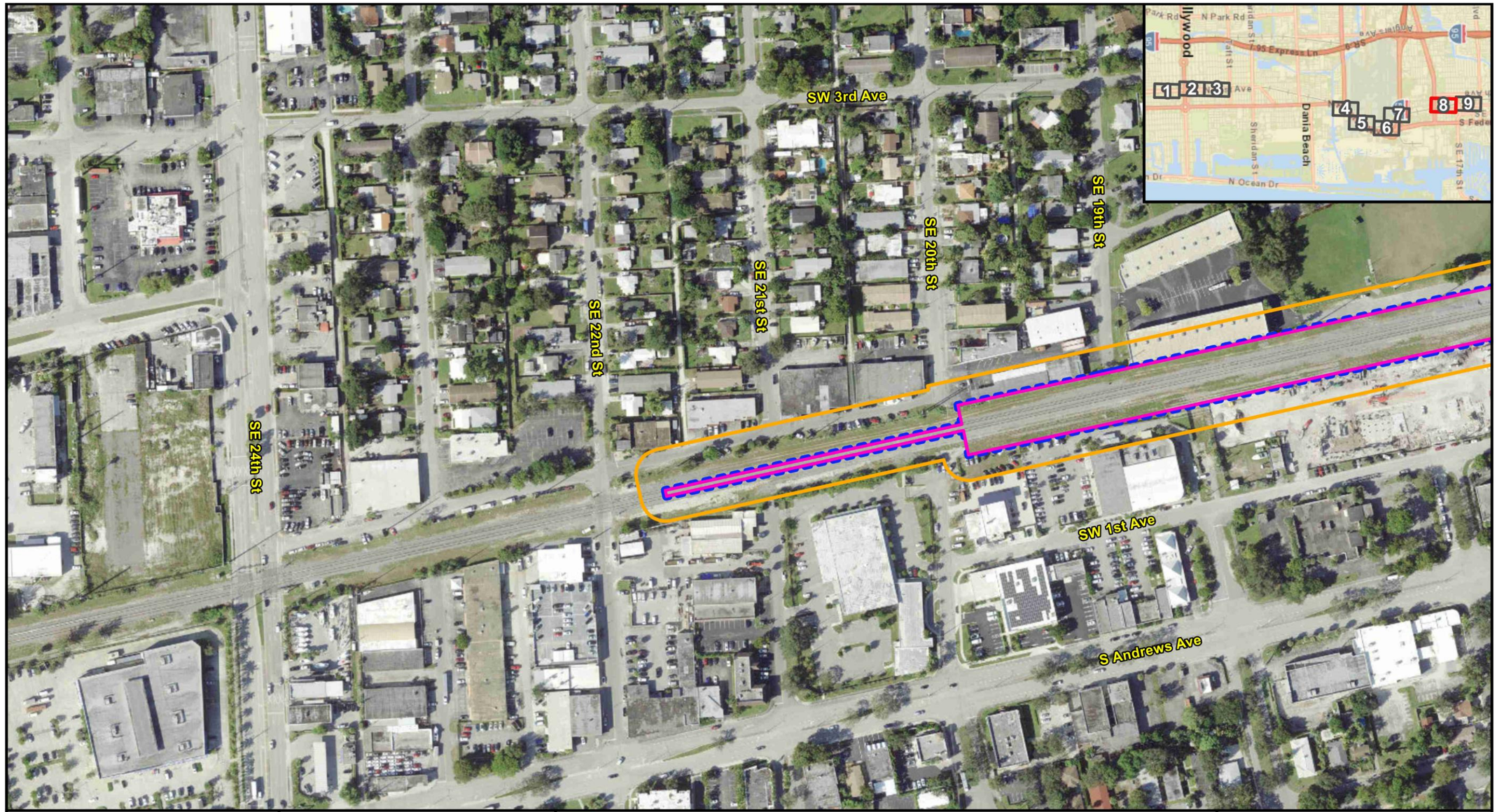

Figure 9h: Area of Potential Effects (APE) (Map 8 of 9)

Broward Commuter Rail South

- Archaeological APE
- Historic Resources APE
- Station Platform
- Potential Parking
- Limits of Construction

Broward County

0 250 Feet

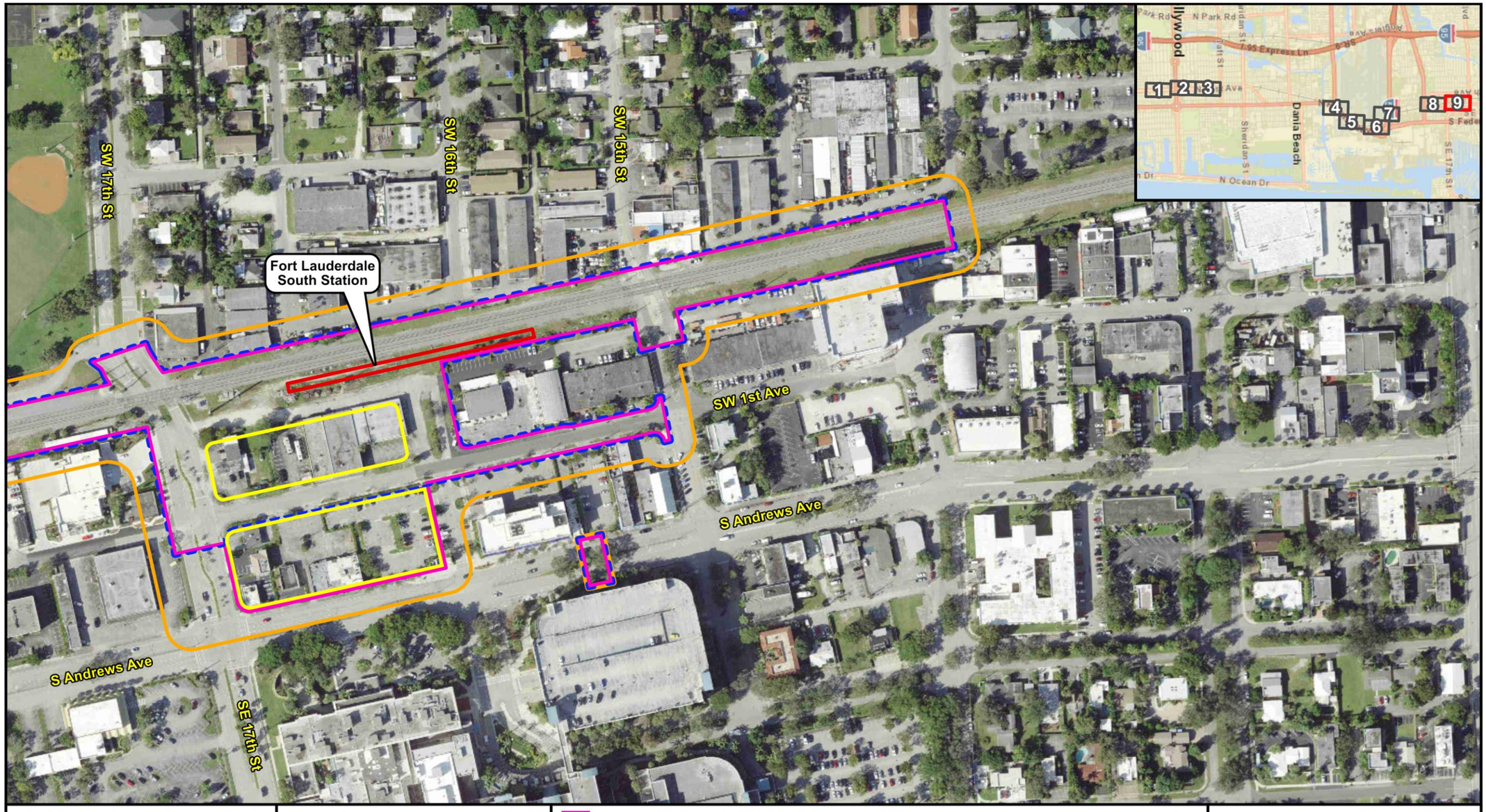

Figure 9i: Area of Potential Effects (APE) (Map 9 of 9)

Broward Commuter Rail South

- Archaeological APE
- Historic Resources APE
- Station Platform
- Potential Parking
- Limits of Construction

Broward County

0 250 Feet

4.0 Environmental Setting

Environmental and ecological factors through time have had a direct influence on the choice of occupation sites by pre-Columbian populations and early historic settlers. Therefore, factors such as geologic, hydrologic, and meteorological processes that may have affected the project corridor and its biotic resources are important elements in the formulation of a settlement/subsistence model for precontact and early historic peoples. Present day environmental variables are used to reconstruct past conditions that influenced early human occupation of the project area, and so are included in this study.

4.1 Paleo-Environment and Macro-Vegetational Change

Since the termination of the Pleistocene Epoch at the end of the Wisconsin glaciation, roughly 11,550 BC, Florida has undergone significant climatic and environmental change. Notable changes in climate and subsequently in flora and fauna required human groups to adapt to their surroundings. These adaptations resulted in cultural changes in hunting/foraging strategies and seasonal migration patterns. In the archaeological record, these changes can be seen in different settlement patterns, midden composition, refuse disposal patterns, and the kinds of stone tools or pottery made.

Although Florida was not glaciated, the glacial conditions associated with the Laurentide ice sheet to the north affected the paleoclimates of Florida. Paleobotanical evidence suggests that between 31,050 and 11,550 BC, Florida was dry, windy, and cool (Whitehead 1973). During the late Pleistocene, sea levels were more than 70 m lower than they are today, and the coastline of Florida extended many miles beyond its current location (Hine et al. 2017:475). During the Pleistocene-Holocene transition, sea levels rose dramatically as the continental ice sheets retreated and melted. By the early Holocene, (approximately 11,550 BC) the climate became warmer and wetter as sea levels rose, and precipitation increased, contributing to rising groundwater tables and the filling of shallow lakes (Hine et al. 2017: 457,477).

The Holocene Climatic Optimum (also referred to as the Hypsithermal Interval), a time of warmer and drier environmental conditions, occurred during the Archaic period (Anderson et al. 1996:3-7). Pine species replaced oak as the dominant forest element (Watts 1975; Delcourt and Delcourt 1981, 1983, 1985, 1987). This implies that the availability of acorns and the animals that fed on those acorns would have been more restricted. Water was more plentiful, but only in rivers and springs fed by the Floridan Aquifer or at sinkholes. By Late Archaic times, sea levels had risen to within a few meters of their current levels (Griffin 1988). Increased rainfall resulted in the formation of Lake Okeechobee, the Everglades, and other modern ecosystems (Watts and Stuiver 1980;

Brooks 1984:38; Gleason et al. 1984:311). Around 750 BC, some modern beach ridges in southern Florida, like Cape Sable, began to form. Increased precipitation in the interior made cypress common in many areas, including the Big Cypress Swamp, and made droughts in the Everglades less common (Griffin 1988). The southern rim of Lake Okeechobee reached its maximum height about this time (Brooks 1984:38). Vegetation reached its present distributional patterning and estuaries were fully formed and supplied by enough freshwater drainage to become highly productive (Widmer 1988; Griffin 1988).

4.2 Regional Environment

The project APE is located within the Atlantic Coastal Ridge physiographic region. The Atlantic Coastal Ridge is characterized by low, poorly drained flatlands that represent the shallow, flat bottoms of ancient seas. Several linear sand ridges that parallel the coast are present within the region, which are remnants of ancient shorelines, dunes, or offshore bars (White 1970). Elevation along the Atlantic Coastal Ridge averages approximately 10–15 feet (3–4.5 meters) above mean sea level (amsl). Elevations within most of eastern Broward County are low and nearly level with elevations between 2 and 10 feet (0.6–3 meters) amsl.

Prior to rapid and dense urban development, Broward County consisted of former sawgrass marsh and low, sandy, flatwoods ridges with pine, palmetto, and native grasses. Major rivers and streams include the North and South Fork of the Middle River and the New River tidal estuary. However, much of the drainage within the county moves from west to east into the Atlantic Ocean via canals (United States Department of Agriculture [USDA] 1984:4). Water resources consist of both ground and surface water. Surface sand deposits contain the surficial aquifer, which is recharged through local rainfall. The groundwater aquifer can be accessed at sinkholes (Lane 1980; Lane et al. 1980). Outcrops of silicified limestone, or chert, which were sought out as raw material sources for precontact stone tool manufacturing, do not occur in this area or elsewhere south of the Peace River in central Florida (Lane et al. 1980; Scott 1978; Upchurch et al. 1982).

4.3 Physical Environment of the APE

A review of the General Land Office (GLO) historic plat maps and surveyor's notes (Florida Department of Environmental Protection [FDEP] 1870a, 1870b, 1870c, and 1870d) was conducted to help determine the environmental conditions within the project area prior to development. The archaeological APE is depicted on available historic plat maps in **Figures 10a** and **10b**. No military forts, roads, encampments, battlefields, or historical Native American villages or trails were noted within the APE on the historic plat maps or described in the surveyors' notes.

Within Township 51 South, Range 42 East, the archaeological APE for the Hollywood Station is described in the surveyor's notes (FDEP 1870a) as containing pine and scrub vegetation, as well as some swampy areas. A hammock was noted to the west of the section line between Sections 15 and 16. The archaeological APE appears to be partly forested on the GLO map (**Figure 10a**; FDEP 1870b). Glades are depicted approximately 1,400 meters to the west of the archaeological APE and wet savannah approximately 1000 meters to the east of the archaeological APE.

The northern and southern ends of the archaeological APE at the FLL Airport Station are depicted as sawgrass marsh on the GLO map (**Figure 10b**; FDEP 1870c) and surveyor's notes (FDEP 1870d). The eastern side of the archaeological APE, including the area proposed for the station itself, also appears to be wet and is described as a savannah. The archaeological APE also crosses a strip of dry land between these two wet areas. The northern dry area in section 22 of Township 50 South, Range 42 East is described as pine land. Toward the south end of this part of the archaeological APE in Sections 27 and 34, the archaeological APE crosses a hammock environment containing Spanish oak according to the surveyor's notes (FDEP 1870d). The former hammock is no longer visible within the archaeological APE, where the airport, the intersection of US 1/North Federal Highway and Griffin Road, and the FEC corridor are today.

The GLO map (FDEP 1870c) for Township 50 South, Range 42 East depicts a sawgrass marsh associated with a small tributary of the New River immediately adjacent to the northern end of the archaeological APE at the SFTL Station (**Figure 10b**). Surveyors' notes (FDEP 1870d) describe pine vegetation in the surrounding area.

Historic aerials from 1940 **(Figures 11a-c)**, 1947, 1949, 1958 **(Figures 12a-c)**, 1968 **(Figures 13a-c)**, and 1973 (FDOT Office of Surveying and Mapping 2023; University of Florida, George A. Smathers Libraries 1999–2023) were reviewed to examine land use and potential features indicative of increased archaeological site potential.

In the Hollywood Station archaeological APE, the railroad and adjacent road were already present by 1940, and adjacent development had also commenced. The surrounding area had already been cleared and platted, as well as partly developed (**Figure 11a**). Near the FLL Airport Station, the railroad was in its old alignment at the time of the 1940 aerial (**Figure 11b**), and most of the archaeological APE was used for agriculture. The southern and northern ends of the FLL Airport Station archaeological APE joined with the original alignment of the railroad. Some additional development is visible near the north and south ends of this part of the archaeological APE, and construction of the airport had begun to the west. A small remnant of the hammock on the south end of the archaeological APE at the FLL Airport appears to have remained, but clearing in that area also seems to have begun. The earliest available aerial of the SFTL Station area from 1940 shows the railroad in use within the archaeological APE **(Figure 11c)**. The surrounding area was

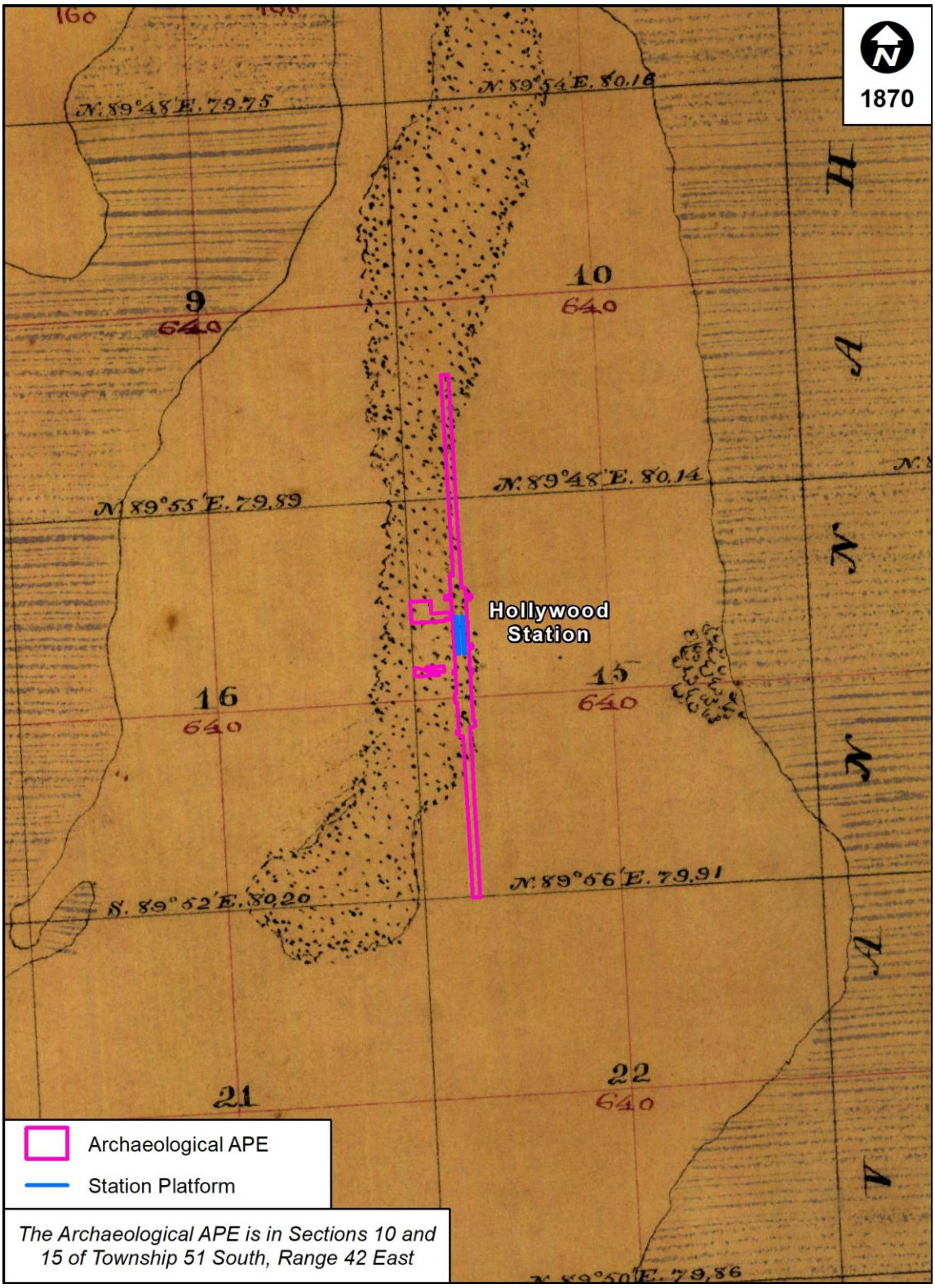

Figure 10a: 1870 GLO Map Showing the Proposed Hollywood Station Archaeological APE

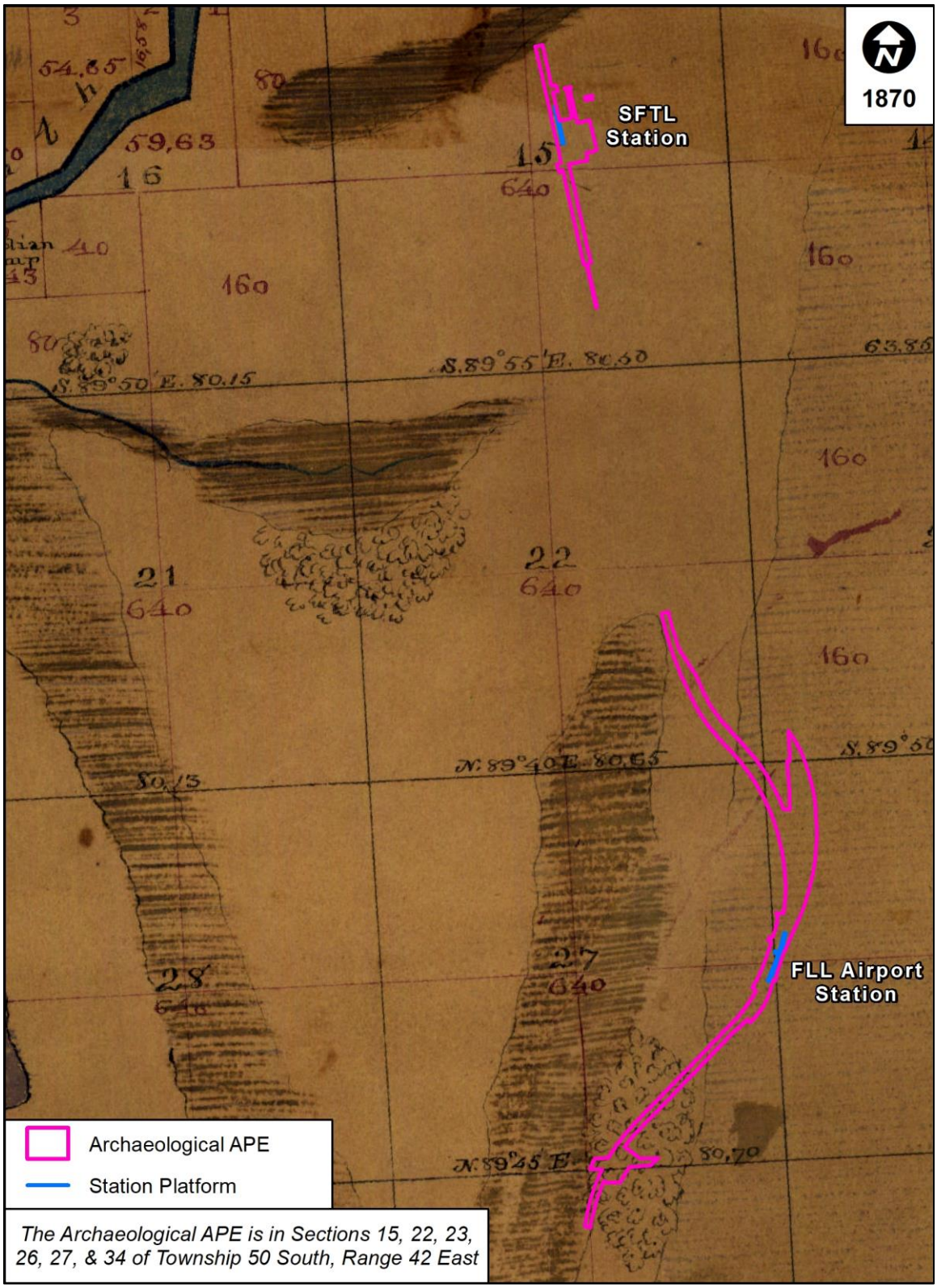

Figure 10b: 1870 GLO Map with the Proposed FLL Airport and SFTL Station Archaeological APEs

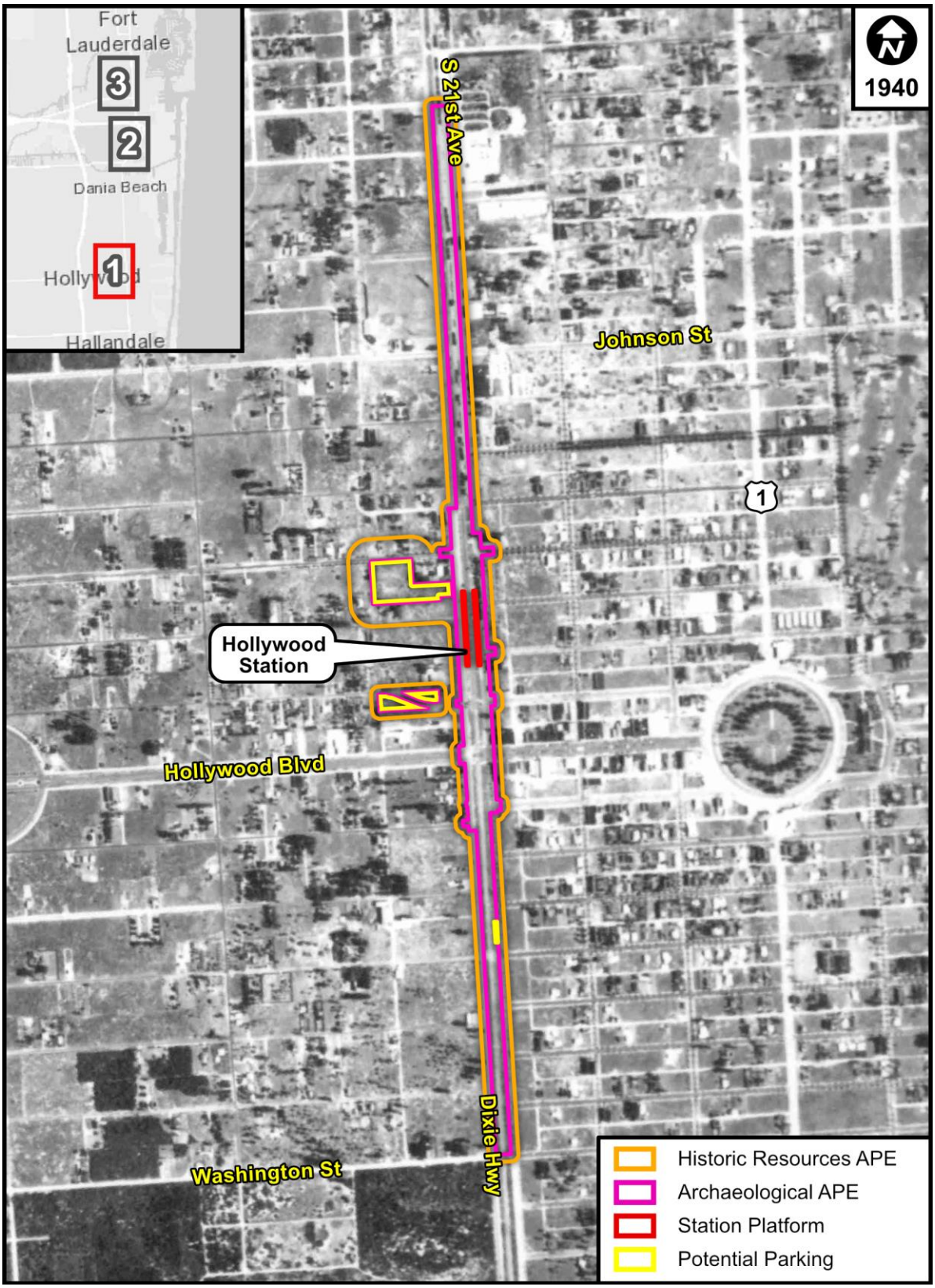

Figure 11a: 1940 Aerial Showing the Hollywood Station APEs

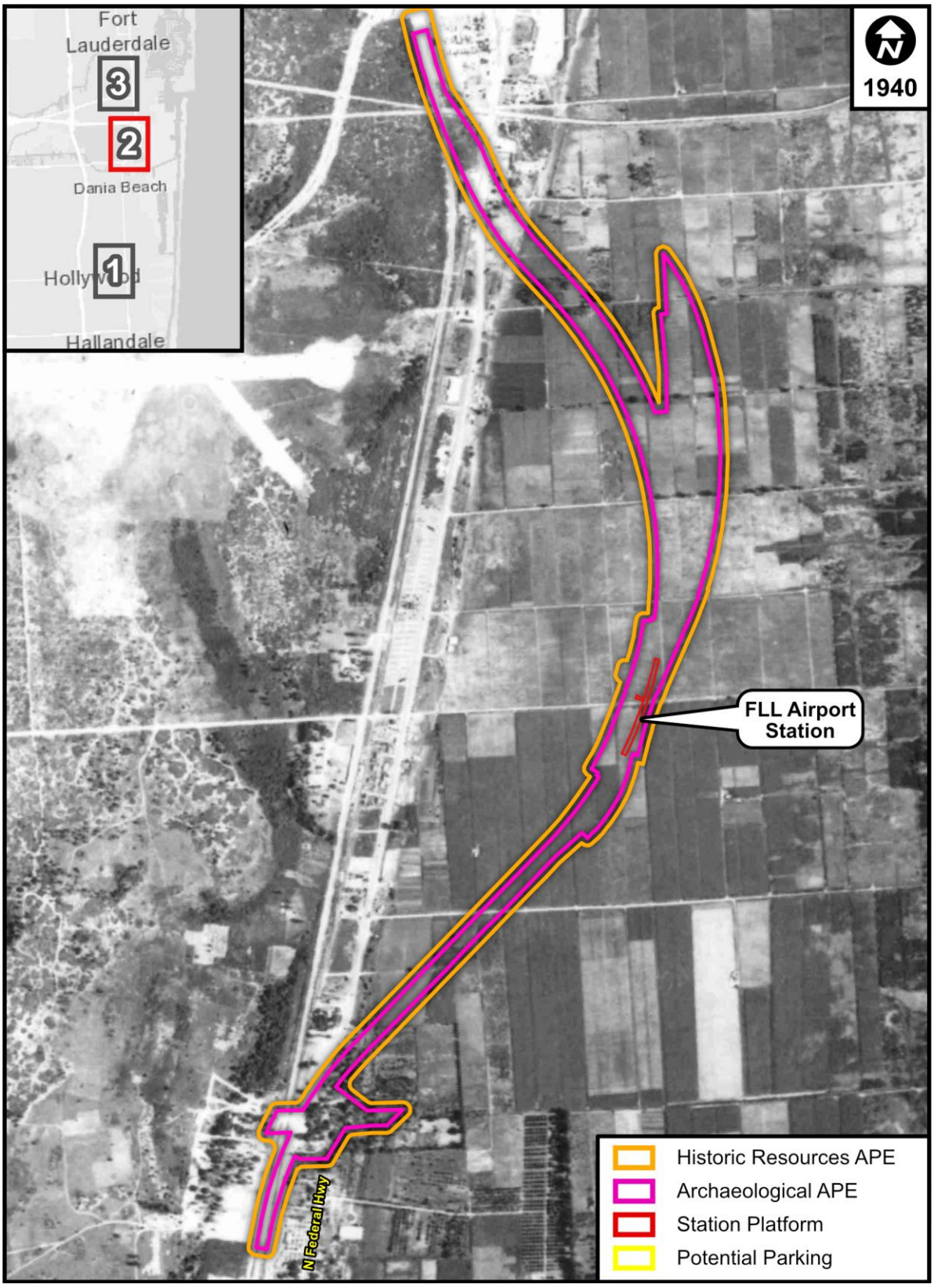

Figure 11b: 1940 Aerial Showing the FLL Airport Station APEs

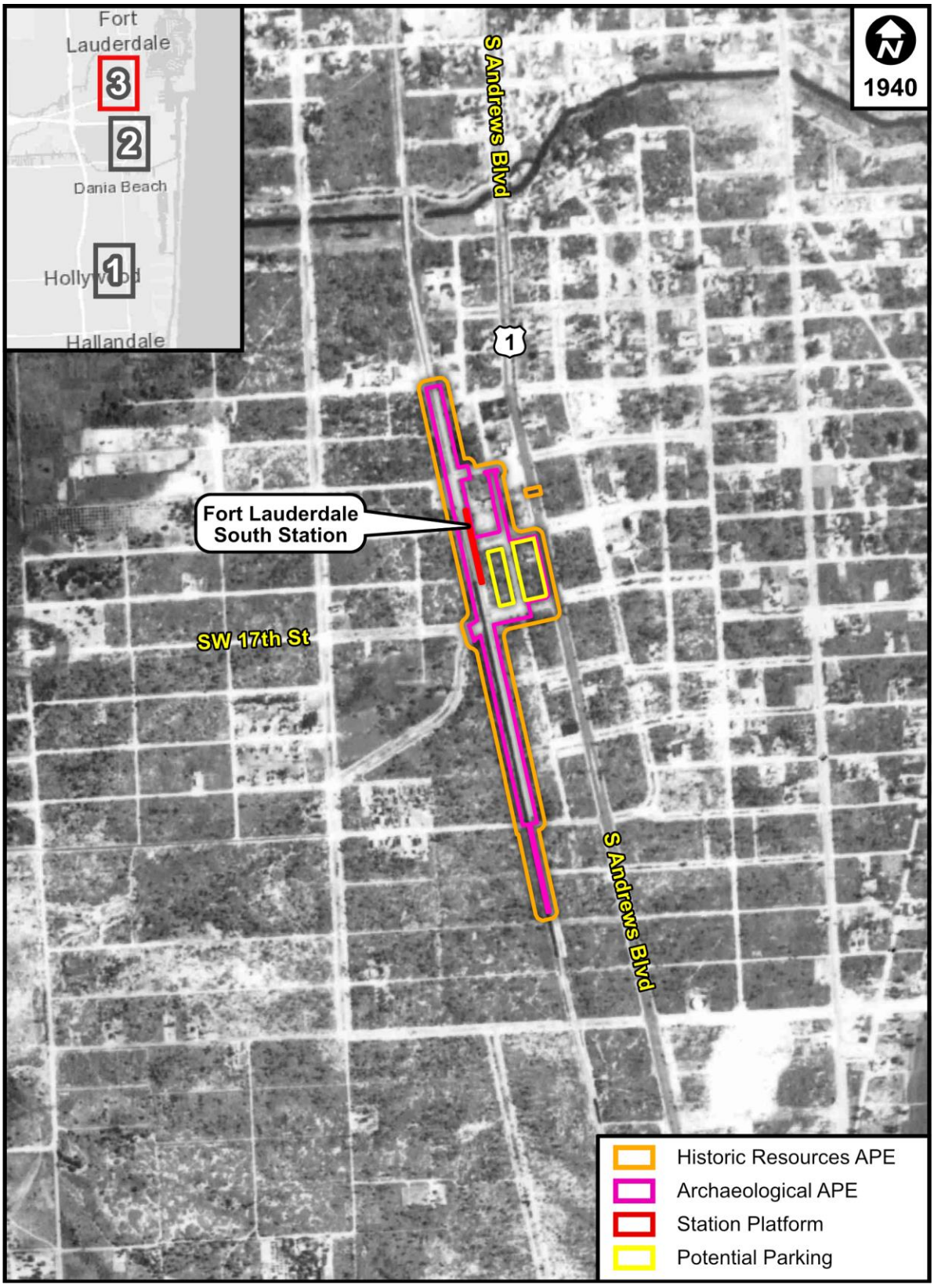

Figure 11c: 1940 Aerial Showing the SFTL Station APEs

platted, and many streets were built. However, only a few buildings had been constructed adjacent to the railroad at that time, and some lots had not been cleared or developed.

In the vicinity of the Hollywood Station archaeological APE, development had intensified by 1949, and increased even more by 1958 **(Figure 12a)**. By 1968 **(Figure 13a)** and 1973, the general area had developed a more urban character. The FLL Airport Station archaeological APE shows more well-defined transportation routes based on the 1947 and 1949 aerials, and it appears that a plant nursery may have been present within the former hammock. The FLL Airport Station area, including the archaeological APE, had experienced increased development along the former rail and roadway alignments based on the 1958 (**Figure 12b**), 1968 (**Figure 13b**), and 1973 aerials. However, much of this part of the archaeological APE remained primarily agricultural through the decades. Within and adjacent to the SFTL Station archaeological APE, the 1947 and 1949 aerials show increased development. By the time of the 1958 aerial (**Figure 12c**), the SFTL Station archaeological APE was urban in character. By 1968 (**Figure 13c**) and 1973, the SFTL Station archaeological APE and surrounding area appears very similar to its current state, although some small rail spurs have since been removed and certain buildings replaced.

Current elevations within the archaeological APE partially result from the built environment, in addition to the natural topography of the area. A review of USGS quadrangle maps from 1949 through 1994 indicated that the elevation at the Hollywood Station ranged from approximately five feet above mean sea level (amsl) south of Hollywood Boulevard to a 10-foot ridge north of Hollywood Boulevard. Based on modern digital elevation models (DEMs) available through the Florida Geographic Data Library (FGDL), modern elevations at the Hollywood Station archaeological APE range between eight and 11 feet (2.4–3.4 meters) amsl. These elevations are on the low end of the average range for the Atlantic Coastal Ridge physiographic province.

Elevations are highly variable at the FLL Airport Station APE, partially due to the natural topography, and partly due to the presence of elevated transportation facilities. The original alignment of the rail corridor was along the high ground on 10-foot and 15-foot ridges that appear on the USGS quadrangle maps. After the airport expansion between 1983 and 1994, the rail and highway corridors were rerouted onto lower ground east of the ridge that is approximately five feet in elevation. This rerouting also removed features that appear on earlier maps such as parks, trailer parks, agricultural fields, and a drive-in movie theater. Current elevations based on the DEM range between 2–17 feet (0.6–5.2 meters), aside from the ramps. The elevations on the east side of this part of the archaeological APE are well below average for the Atlantic Coastal Ridge, while the elevations on the western side are average for the physiographic province. Elevations are highest near the south end of the archaeological APE at the FLL Airport Station.

Figure 12a: 1958 Aerial Showing the Hollywood Station APEs

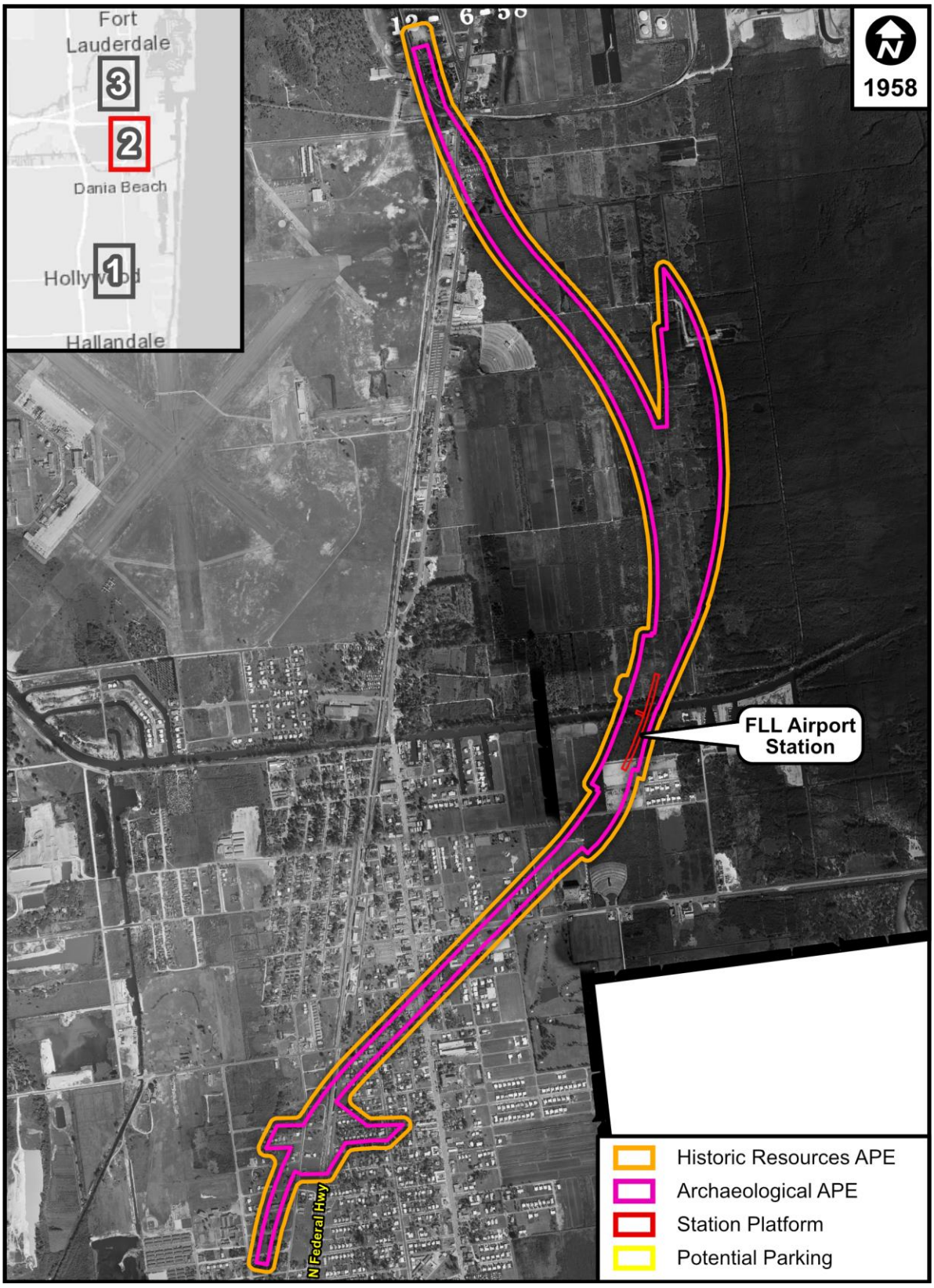

Figure 12b: 1958 Aerial Showing the FLL Airport Station APEs

Figure 12c: 1958 Aerial Showing the SFTL Station APEs

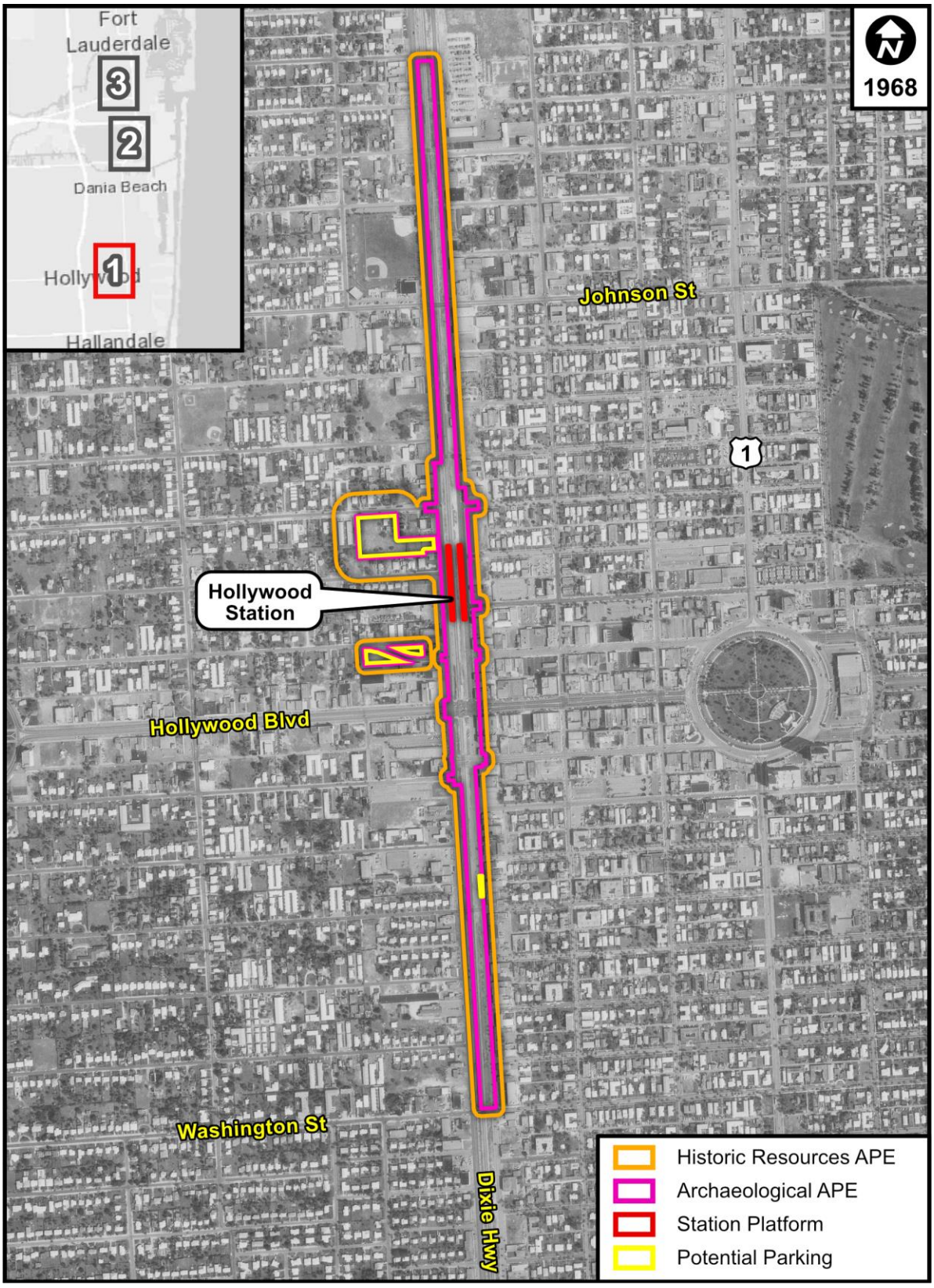

Figure 13a: 1968 Aerial Showing the Hollywood Station APEs

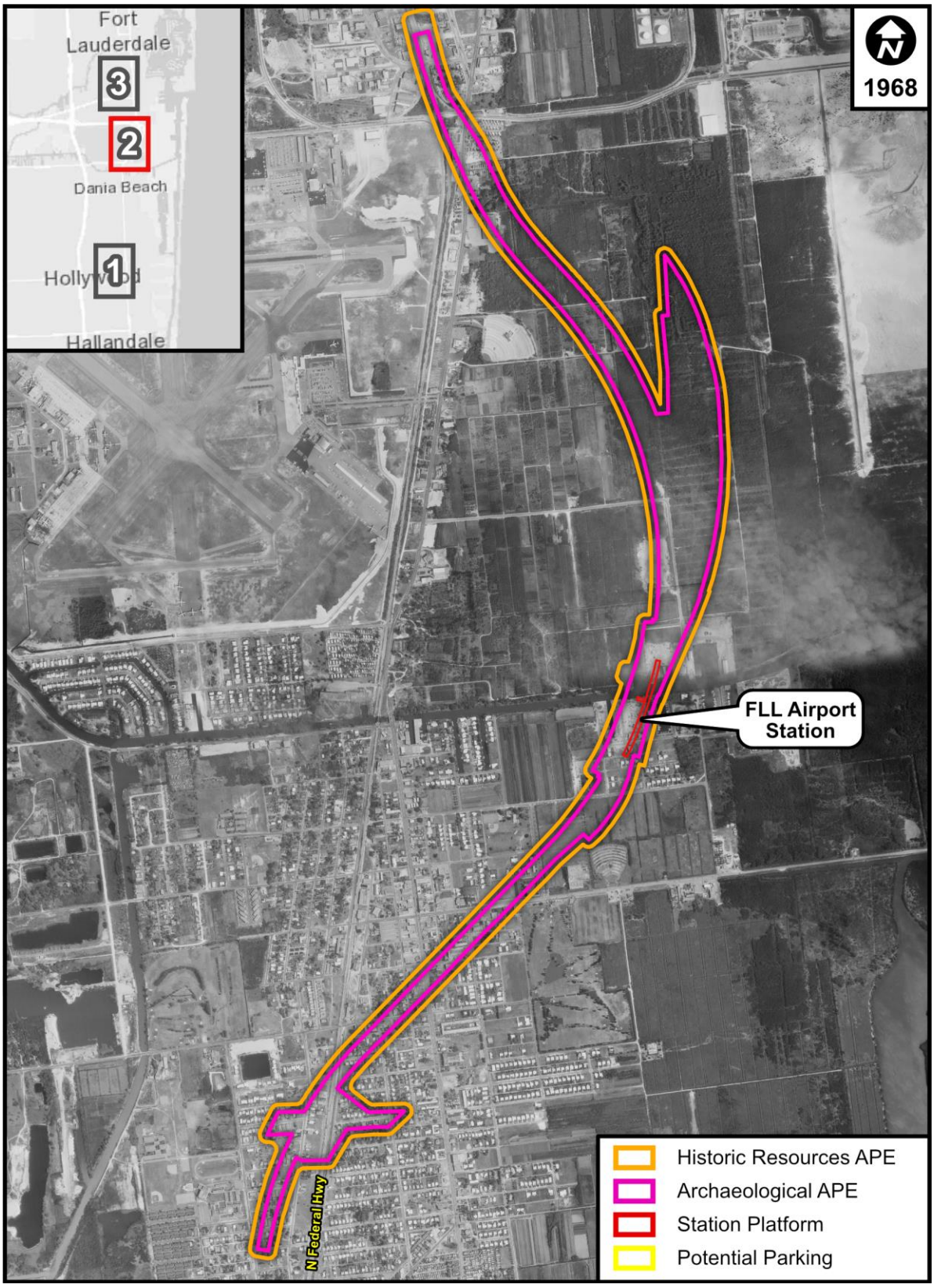

Figure 13b: 1968 Aerial Showing the FLL Airport Station APEs

Figure 13c: 1968 Aerial Showing the SFTL Station APEs

The review of USGS quadrangle maps indicated that the elevation in the SFTL Station archaeological APE was approximately five feet amsl, and the area was already urban by the late 1940s. Modern DEMs show that current elevations are between 5–10 feet amsl (1.5–3 meters). These elevations are lower than average for the Atlantic Coastal Ridge province.

The *Soil Survey of Broward County, Florida – Eastern Part* (USDA 1984) was reviewed to help assess environmental and drainage characteristics and to determine past land modification to inform archaeological site potential. The five detailed soil types within the archaeological APE are listed in **Table 5**, along with their drainage characteristics and associated environmental associations. Natural soils within the APE ranged from well drained to very poorly drained, but most of the APE was in urban land that had been heavily modified by the mid-1970s.

The Hollywood Station archaeological APE is mostly within Urban land (USDA 1984). The northernmost 460 m (1500 feet) of the archaeological APE and part of the proposed parking area between Fillmore Street and Taylor Street are mapped as Duette-Urban land complex soils. Several soil types are mapped within the FLL Airport Station part of the archaeological APE: Urban land, Dade-Urban land complex (well drained), Perrine variant silt loam, frequently flooded (very poorly drained), Pennsuco silty clay loam (poorly drained), and water. Almost all of the SFTL Station archaeological APE is within urban land, but a very small area at the SW 17th Street intersection may extend into an area with a Dade-Urban land soil complex.

Table 5: Drainage Characteristics and Environmental Setting of Detailed Soil Types Within the Project Corridor

Drainage	Soil Name	Environmental Association
Hollywood Station		
Moderately Well Drained	Duette-Urban Land Complex	Nearly level, deep, sandy soils found on low ridges and knolls. Natural vegetation includes slash pine, sand pine, laurel oak, scrub oak, saw palmetto, pineland threeawn, and other grasses, but the urban land distinction indicates that the area is at least 30-50% covered with buildings, pavement or other urban development.
Other	Urban Land	Areas that are more than 70% covered with airports, shopping centers, parking lots, large buildings, streets and sidewalks, and other structures, so that the natural soil is not readily available.
FLL Airport Station		

Drainage	Soil Name	Environmental Association
Well Drained	Dade-Urban land Complex	Urban land constitutes approximately 30-50% of the area mapped as Dade-Urban land complex. The Dade soils are fine sands that are mostly level and well drained. They are typically found on flatlands and support natural vegetation including slash pine, scrub oak, live oak, laurel oak, saw palmetto, coontie, gopher apple, and pineland threeawn.
Poorly Drained	Pennsuco silty clay loam	Nearly level soil over 40 inches deep and found on coastal lowlands east of the Atlantic Coastal Ridge. This soil type supports American mangrove, white mangrove, sawgrass, giant leatherfern, bushy sea-oxeye, and glasswort as natural vegetation.
Very Poorly Drained	Perrine variant silt loam, frequently flooded	This soil is nearly level and very poorly drained with between 18 and 40 inches of silt loam marl over decomposed organic matter. It is typically found on coastal lowlands and swamps with red mangrove, white mangrove, giant leatherfern, bushy sea-oxeye, glasswort, and salt-tolerant grasses as vegetation. It is frequently inundated.
Other	Urban Land	See above description.
	Water	Excavated drainage pond.
South Fort Lauderdale Station		
Well Drained	Dade-Urban land complex	See above description.
Other	Urban land	See above description.

USDA 1984:9, 22, 24, 25, 37, 39, 40, and 48.

5.0 Precontact Overview

Native peoples have inhabited Florida for at least 14,000 years. The earliest cultural stages are pan-Florida in extent, while later cultures exhibited unique cultural traits. The following discussion of the precontact time period of the general project corridor is included in order to provide a framework within which the local archaeological record can be understood.

5.1 Paleoindian Period (c. 12,600–7,500 BC)

The earliest period of precontact cultural development dates to the time people first arrived in Florida. These first inhabitants, who occupied Florida during the late Pleistocene and transition into the Holocene, are known as the Paleoindians or Paleoamericans (Anderson and Sassaman 2012). Many of the Paleoindian artifact finds in Florida have been surface finds, often identified by collectors, especially divers (Dunbar 2016:46; Anderson et al. 2015:15; Thulman 2009:243). The greatest density of these finds and other known Paleoindian sites is associated with the rivers and karst river basins of northern and north-central Florida where the Floridan aquifer and chert-bearing limestone are both near the surface (Dunbar 2016:46). The Paleoindian period is poorly represented on the Atlantic Coast of Florida and in south Florida specifically. In southern Florida, the earliest evidence of human occupation comes from the Little Salt Spring site in Sarasota County, where dates between 12,000 and 13,000 years ago have been determined (Clausen et al. 1979; Griffin 2002:144).

During Paleoindian times, the Florida peninsula was more than twice as wide as it is today with sea levels as much as 160 feet lower than present levels (Milanich 1994). The climate was windy, cool, and arid (Kutbach and Wright 1985:178–180; Wright 1981:121, 123). Modern hydrological features such as the Everglades, Lake Okeechobee, and the familiar swamps of southern Florida had not yet begun to form. However, the presence of small numbers of aquatic species, such as alligators, fish, and turtles from fossil records indicate that a few streams and water bodies did exist, although they may have been located primarily on the coast. Evidence of coastal adaptations by Paleoindians has not yet been identified, and such data would need to come from currently submerged sites because all terrestrial sites would have been well inland during the time of Paleoindian occupation (Anderson et al. 2015:12, Dunbar 2016:25, Halligan 2019, Halligan and Farr 2022).

Stone artifacts make up most of the Paleoindian site assemblages, especially the lanceolate-shaped and bifacially flaked Suwannee, Simpson, and Clovis points which are often made from high quality chert (Thulman 2007, Thulman 2012, Dunbar 2016). No sites with distinct Simpson, Suwannee, and Clovis strata have been found to illuminate relative dating of these point types

(Dunbar 2016:35; Halligan 2019). The distribution of Simpson and Suwannee points corresponds to the likely limits of the Southeastern warm thermal enclave, and so those points may represent a technological adaptation suited to the particularly diverse plant and animal species available in that biome (Dunbar 2016:193, Dunbar and Thulman 2019:108). Other Paleoindian stone tools, known from the Harney Flats site (Daniel and Wisenbaker 1987:41–97), the Silver Springs site in Marion County (Neill 1958), and other northern Florida sites (Purdy 1981:8–32) tend to be unifacial and plano-convex, with steeply flaked, worked edges (Purdy and Beach 1980:114–118, and Purdy 1981). Bifacial and "hump-backed" unifacial scrapers, blade tools, and retouched flakes, including spokeshaves, have been found at these sites (Purdy 1981; Daniel and Wisenbaker 1987:62–81, 86–87).

The prevailing view of the Paleoindian culture, based on the relative uniformity of the known tool assemblage and the small size of most of the known sites, is that of a nomadic hunting and gathering existence, in which now-extinct Pleistocene megafauna were exploited. Evidence from the Ryan-Harley (8JE1004) and Norden (8GI40) sites, occupied by the makers of waisted Suwannee points, suggest that Paleoindians may have trapped nocturnal animals, and exploited not only megafauna, but also fish, amphibians, reptiles, and mammals of varying sizes (Dunbar 2016:185-186, 228). The Fowler Street Bridge site (8HI393c) showed butchering marks on the carapace from an extinct land tortoise, and excavations at the Page-Ladson Site (8JE591) revealed evidence of human use of horses, bison, tapir, llamas, mastodons, mammoths, and domestic dogs (Marrinan and Peres 2019:163-166). Tools made from both megafaunal ivory and bone, as well as mid-sized animal bone add to the evidence for Paleoindian use of various faunal resources, and general foraging was likely practiced as well (Dunbar 2016:185-186; 210-228). In the late Paleoindian period, as the environment was changing with the climate and the extinction of megafauna and other species, more diverse plant resources would have become available (Anderson et al. 2015, Dunbar 2016).

5.2 Archaic Period (7,500–500 BC)

During the Archaic period, climate and sea levels gradually stabilized and southern Florida began to take on its current appearance. The Archaic period was characterized by a shift in adaptive strategies stimulated by the onset of the Holocene and the establishment of increasingly modern climate. At the beginning of the Archaic, around 8,000 BC, lifeways in Florida were quite similar to those of the preceding Paleoindian period. However, by the end of the Archaic, Florida's natives had developed more sedentary lifestyles, made many technological innovations, the most important of which was the invention of pottery, and began to differentiate themselves into distinct regional subcultures. The Archaic period is further divided into three sequential periods: the Early Archaic (7,500–5,000 BC), the Middle Archaic (5,000–3,000 BC), and the Late Archaic

(3,000–500 BC). The Late Archaic can be subdivided into the Preceramic Late Archaic (3,000-2,000 BC) and the Orange Period (2,000–500 BC) (Faught and Pevny 2019; Milanich 1994).

5.2.1 Early Archaic (7,500–5,000 BC)

By the beginning of the Early Archaic period, Pleistocene megafauna had become extinct. Rising sea levels and mesic conditions spread throughout Florida, and Lake Okeechobee did not yet exist (Griffin 2002:145). The settlement patterns and tools of Early Archaic people in Florida were initially similar to those of the preceding Paleoindian period (Daniel and Wisenbaker 1987:33–34; Faught and Waggoner 2012). As the Early Archaic progressed, more wetland habitats within southern Florida began to emerge. Beginning around 7,500 BC, lanceolate Paleoindian points and knives were replaced first by side-and corner-notched forms, and later by stemmed tools such as the Kirk, Wacissa, Hamilton, and Arredondo types (Milanich 1994:63). Point makers seem to have applied notching, thought to improve durability and use-life of point, as well as other modifications to their own regional Late Paleoindian/Dalton point varieties (Thulman 2019a:122-136; Goodwin et al. 2013:63-65; Carter and Dunbar 2006). Projectile points such as Greenbriar, Union, and Hardaway may represent transitional forms between Paleoindian points and Bolen points, an Early Archaic diagnostic type (Farr 2006:109; Faught and Pevny 2019).

Other Early Archaic lithic tools include the Edgefield and Hendrix scrapers, Waller knives, Aucilla adzes, Dalton-like adzes, small, triangular spokeshaves or endscrapers with hafting capabilities, limestone dimpled stones, hammerstones, and more rarely, groundstone for plant resource processing (Dunbar 2016:180-181, Faught and Pevny 2019:81-83, Goodwin et al. 2013). At the Alexsuk site (8HE426) in Hernando County, likely an Early Archaic base camp, bifacial tools, hafted endscrapers, and diverse multifunctional flake-based tools appear were used for processing game and other organic materials (Janus Research 2022). The increased diversity of the Early Archaic tool assemblage implies expanded subsistence strategies and use of novel raw materials and technologies suited to a changing environment. It also represents the adoption of a larger toolkit with specific tools for different functions, rather than fewer portable multi-use tools (Faught and Pevny 2019, Goodwin et al. 2013, Carter and Dunbar 2006).

Subsistence data is sparse for the Early Archaic, but blood residue analysis of Early Archaic tools from sites in Leon and Jefferson counties identified large and mid-sized animal proteins from bear, bovine (most likely bison), and deer, as well as antigens from smaller species such as rabbits, pigeons or doves, and waterfowl. In addition to Early Archaic points, knives, and scrapers, woodworking tools were positive for antigens, suggesting that they may have been repurposed for food processing or for working bone or antler (Faught and Pevny 2019, Goodwin et al. 2013:64, 224). The results of blood residue and other analyses at the Early Archaic component of the Alexsuk site (8HE426) revealed a specialized rabbit processing area (Janus Research 2022).

A variety of organic material culture has been found at Early Archaic sites, such as Page-Ladson (8JE591), Little Salt Spring (8SO18), and Warm Mineral Springs (8SO19). These artifacts include stakes, a boomerang, and a mortar made of wood, antler tool handles, points, and a wrench or atlatl weight, a deer bone drinking vessel and pins, and modified sharks' teeth (Clausen et al. 1979, Thulman 2019b:19, Faught and Pevny 2019:83, Moore and Schmidt 2009:68). Adzes and wedge-like tools found in association with chopped and worked wood at the Early Archaic/Bolen component of the Page-Ladson (8JE591) site represented the first clear evidence of woodworking required for building watercraft (Dunbar 2016:180-181, Faught and Pevny 2019:81-82).

Bolen points and other Early Archaic diagnostic tools are often found at sites with Paleoindian components, suggesting that Early Archaic peoples and Paleoindians shared some similar lifeways (Daniel and Wisenbaker 1987:33–34, Faught and Waggoner 2012). However, the distribution of Early Archaic sites is also wider than that of Paleoindian materials (Neill 1964, Janus Research 1999:58–61, Anderson and Sassaman 2012, Faught and Pevny 2019, Halligan and Farr 2022). Greater social organization is also posited for the Early Archaic bands, who may have been less mobile than their predecessors (Anderson and Sassaman 2012). Early Archaic populations continued to mainly depend upon locally obtained stone for tool making, aside from outlier Early Archaic sites not located near quarries sites, such as the Cutler Fossil site (8DA2001) in South Florida and Helen Blazes (8BR27; Faught and Pevny 2019, Goodwin et al. 2013, Janus Research 2022). They tended to use lower quality cherts and produce more expedient tools than the Paleoindians. The later makers of the Kirk Serrated points seem to have had an even broader range, aided by expanded wetland availability (Dunbar 2016, Thulman 2019b:17).

An Early Archaic wetland site without a Paleoindian component is the Windover Pond site (8BR246) near Titusville, consisting of over 160 burials in the natural anaerobic peat deposits of what was, during the Early Archaic, a woody marsh (Dickel 2002, Doran 2002, Stone et al. 1990:177). The site produced normally perishable material such as cloth burial wrappings, preserved brain tissue, proteins and mitochondrial DNA samples, and numerous wooden, bone, and antler artifacts (Doran 2002:11-22, Penders 2002:97-120, Adovasio et al. 2002:166-190). Palaeobotanical evidence suggests bottle gourd use, fruit consumption, and potentially medicinal plant use, as well as the use of sabal palm, saw palmetto, and other plant fibers for weaving baskets and textiles (Andrews et al. 2002, Doran 2002:20). Windover illustrates that at least some Early Archaic populations had developed an intensive exploitation strategy focused on inland aquatic resources supplemented by terrestrial game (Dickel and Doran 2002:54). Radiocarbon dates indicate discrete episodes interments between 7100 and 5800 BC by a single social group. Some researchers have argued that Windover should instead be considered an early Middle Archaic burial site, and that cremation was more typical of Early Archaic burial traditions (Faught and Waggoner 2012).

By the end of the Early Archaic, local environments were apparently becoming more subtropical, and within southern Florida, sites dating to this period are extremely rare. For instance, evidence from the Cutler Fossil Site (8DA2001) in the Deering Estate, Miami-Dade County, suggests a forested environment surrounded by open, savannah-like grasslands and open marshes and wetlands (Emslie and Morgan 1995:81). Additionally, interior ponds had begun to form (Carr 2002:194–195; Wheeler 2004:7). Sea levels throughout the Early Archaic were also still lower than modern levels. Other possible Early Archaic sites in southern Florida include Sunset Lakes (8BD3176), Blue Cow (8BD2150), and Silver Lakes (8BD1873) (Carr et al. 1991; Carr and Davis 1993).

With the wetter conditions that began about 8000 BC and the extinction of some of the Pleistocene animal species, Paleoindian subsistence strategies were no longer efficiently adapted to the Florida environment. As environmental conditions changed, surface water levels throughout the state increased and new locales became suitable for occupation. Early Archaic peoples might be viewed as a population changing from the nomadic Paleoindian subsistence pattern to the more sedentary coastal- and riverine-associated subsistence strategies of the Middle Archaic period. Artifacts typical of the Early Florida Archaic are extremely rare in southern Florida. It is unclear if this is because there was little use of southern Florida during the Early Archaic or if there was a unique southern Florida toolkit for the Early Archaic that has yet to be defined.

5.2.2 Middle Archaic (5,000–3,000 BC)

The Middle Archaic can be seen as an environmental and cultural bridge between the Early Archaic and the Late Archaic. However, others have posited a distinct divide between the Early and Middle Archaic, when Florida was unoccupied or sparsely occupied and before a replacement population arrived (Faught and Waggoner 2012). During the Middle Archaic, the environment of southern Florida approached that of modern times, becoming increasingly wet, and thereby supporting a much broader range of animal and plant resources. Broad wetlands, lakes and rivers began to develop, and sea levels, as well as the climate, began to stabilize (Dixon 1999; Littman 2000). Within the interior, peat formation became widespread toward the end of this period. The human populations in turn began to develop more distinct regional adaptations to the changing environmental conditions. For the first time, such distinct regional adaptations and cultures appeared across all of Florida, including the southern portion of the peninsula.

The Middle Archaic period was characterized by larger populations and a gradual shift toward shellfish and aquatic food sources as a significant part of their subsistence strategies (Watts and Hansen 1988:310, Milanich 1994:75–84). Some Middle Archaic sites are now submerged, but the first evidence of true coastal adaptations dates to this period. The fact that coastal sites have been found is likely due to sea levels approaching, albeit not yet at modern levels (Anderson and Sassaman 2012, Saunders and Russo 2011). The oldest dugout canoe recovered in Florida, from

the DeLeon Springs (8VO30) site, dates to the Middle Archaic (ACI/Janus Research 2001, Wheeler et al. 2003). Shellfishing, and in many cases intensive shellfishing of snails, mussels, oysters, conchs, clams, and other freshwater and coastal species, occurred across Florida (Milanich 1994, Randall 2015, Saunders and Russo 2011). Terrestrial and wetland vertebrates, as well as wild plant resources, also contributed to Middle Archaic subsistence (Randall 2015).

The Middle Archaic artifact assemblage is characterized by several varieties of stemmed, broad-blade projectile points, including the Newnan point and the less common Alachua, Levy, Marion, Putnam, Culbreath, and Thonotosassa points, often generically referred to as Florida Archaic Stemmed (FAS) points (Bullen 1968, Bullen 1975, Milanich 1994, Austin 2006). Aside from Newnan points, most of these types are considered crudely made, but their thick stems may have been important for hafting in sockets secured by mastic (Farr 2006, Faught and Waggoner 2012:162). In addition to stemmed points, cores, true blades, modified and unmodified flakes, ovate blanks, hammerstones, "hump-backed" unifacial scrapers, and sandstone "honing" stones are also associated with the Middle Archaic (Purdy 1981, Clausen et al. 1975). Microlithic technology, as well as increased use of thermal alteration in lithic manufacturing, especially on silicified coral, are other markers of the Middle Archaic period (Austin 2006; Austin and Ste. Claire 1982; ACI/Janus Research 2001). Thonotosassa points have been found in southern Florida at sites dating to the Middle Archaic, especially on the west coast near Tampa Bay (David Dickel, personal communication with James Pepe 2007; Farr 2006:91). Within southern Florida, an example of this point was noted at Ryder Pond (8LL1850).

Wooden artifacts known from the Middle Archaic include dugout canoes and a variety of wooden stakes and other tools recovered from wet sites. Finally, although a variety of shell tool types are known from Middle Archaic sites, the main shell tool type known for southern Florida during this time is the Strombus celt (Wheeler 1994).

Middle Archaic sites are found in a variety of locations, including in coastal, riverine, and interior forested environments. Certain large sites with diverse tool assemblages and large amounts of debitage, such as the Senator Edwards site (8MR122) in Marion County, have been interpreted as base camps (Purdy 1975, Purdy and Beach 1980). Smaller sites with tools and debitage have been interpreted as special-use camps for tool repair or food processing (Milanich 1994). Quarry sites typically have higher densities of lithic debitage from all stages of the toolmaking process, as well as more expedient tools. Conversely, formal hafted bifacial tools used for multiple purposes tend to be found farther from quarries. Forested sites in interior Florida, such as the West William Site (8HI509) in Hillsborough County, may have represented seasonal congregation areas. West Williams contained fauna remains, pit features, and structural remains (Austin et al. 2001:10). These patterns suggest a mobile population practicing general foraging in the then warmer and

wetter environment, particularly at inland sites, as well as adaptability to strategies best suited for the variable environments of mid-Holocene-era Florida (Austin 2006:155-179). However, other studies have provided evidence of sedentism as early as the Middle Archaic, with some sites along the Atlantic and southwest Florida coasts being occupied year-round (Sipe and Hendrix 2005, Sipe and Hendrix 2007, Russo and Quitmyer 2008, Randall 2015).

Along the southwest coast, populations developed year-round adaptations to the developing estuaries, constructing large coastal shell middens and mounds (Russo 1991; Torrence 1996). In northeastern Florida, the Middle Archaic Mt. Taylor culture represents an adaptation to the freshwater resources provided by interior waterbodies and waterways, such as the St. Johns River and its tributaries (Randall 2015). Within South Florida, Middle Archaic populations began to adapt to the developing Everglades ecosystem as well as the more dispersed wetland resources to the north of what is now Lake Okeechobee. The unique adaptation to the interior marshlands of southern Florida that can be seen developing during the Middle Archaic has been labeled the Glades or Everglades Archaic (Pepe 2000:32; Pepe and Jester 1995:19; Wheeler 2004; Wheeler et al. 2002:143–144) and is discussed in more detail in the following description of the Late Archaic Period.

Wetland cemeteries, including the slough burials at Little Salt Spring (8SO18) in Sarasota County (Clausen et al. 1979), the pond burials at the Bay West site (8CR200) in Collier County (Beriault et al. 1981), and the Republic Grove (8HR4) site in Hardee County (Wharton et al. 1981), have also provided information on perishable antler, wood, and bone tools (Dunbar and Thulman 2019:115-116). Terrestrial cemeteries have also been identified, such as at the Gauthier site (8BR93) in Brevard County about six miles from the coast. Interments were made by creating a shallow depression in the soil and laying bodies in it, at times, one on top of another. Artifacts found with the flexed burials include limestone throwing-stick weights, antler "triggers" from throwing sticks, projectile points, tubular Busycon shell beads, ornaments of bone, and worked shark teeth that had probably been hafted and used as knives or scrapers (Carr and Jones 1981). The initiation of intentional construction of shell and earthen mounds and middens is also first seen in the Middle Archaic (Goggin 1952, Randall 2015). These constructions would continue through the Late Archaic, as would regional exchange of exotic items sometimes found at these mounds and middens (Randall 2015, Anderson and Sassaman 2012).

Several Middle Archaic sites have been identified on sandy ridges along the eastern edge of the Everglades. Sites such as Ranch Ridge (8BD1119) and Hiatus #2 (8BD3283) consist of scatters of lithic artifacts, including Middle Archaic point types and lithic debitage (Carr et al. 1991; Carr et al. 2010). Other probable Middle Archaic sites located in the Everglades itself, such as Bass Creek/Blockbuster #1 (8BD2878) and Cheetum (8DA1058), may represent early manifestations of

the Glades Archaic culture. All are/were hammock tree island sites surrounded by what would have been marshlands before modern drainage and other disturbances. Bass Creek is a dense aceramic faunal bone midden (Carr et al. 1994). During shovel testing there, a Florida Archaic Stemmed Point was recovered near the base of the midden. It is unclear how much of the overlying midden dates to the Middle Archaic, but it seems clear that at least some of it does. At Cheetum, a Middle Archaic cemetery was identified in the concretion layer at the base of a dense Glades period midden. Radiocarbon analysis dates this cemetery to the end of the Middle Archaic or beginning of the Early Archaic (Newman 1993).

Due to rising sea levels since the Middle Archaic, many sites dating to this period are now submerged beneath the waters of the Gulf of Mexico and Atlantic Ocean. One such site in St. Lucie County may be the Douglass Beach Midden (8SL17), from which artifacts predating the Late Archaic have been recovered (Murphy and Cummings 1990).

5.2.3 Late Archaic (3,000–500 BC)

By the beginning of the Late Archaic, all of the modern physiographic regions and ecosystems of southern Florida were present in essentially their modern forms. This includes the entire Kissimmee-Lake Okeechobee-Everglades drainage system. Although the environment of southern Florida had achieved some sense of stability, the archaeological record of this period is much more dynamic. Different ideas and perhaps, human populations, were moving into the area during this time. As a result, there is a great deal of variability between Late Archaic sites in southern Florida.

Greater regionalization of cultures increased through the Late Archaic period, but there was also a general shift toward greater use of wetland and marine resources, both coastal and riverine (Bense 1994). Dugout canoe making was a well-established and widespread industry by this time (Wheeler et al. 2003; Duggins 2019). The construction of large and sometimes complex shell rings in the coastal regions across Florida may represent population centers used for feasting and ceremonial activities during the Late Archaic, although they likely had multiple uses and meanings, as well as configurations. The Horr's Island complex in southwest Florida (8CR37–8CR42 and 8CR206–8CR211) contains a shell ring, linear middens, and small associated mounds, as well as evidence of domiciles and hearths. The Joseph Reed shell ring (8MT13) represents this site type during the latter part of the Late Archaic in southeastern Florida. These communal shell ring building projects continued or intensified into the ceramic Archaic in some areas but ceased after the Archaic period (Saunders and Russo 2011; Sassaman 2008).

At the beginning of the Late Archaic, pottery had not yet been invented. How long this aceramic state persisted, what the earliest pottery types are and how they vary over space and time is a

matter for considerable conjecture. For many years, variations of Bullen's chronology for the Late Archaic Orange culture in northeastern Florida were generally used for the Late Archaic in southern Florida. Using this scheme, fiber-tempered pottery, the earliest pottery type known for all of North America, was considered to be a marker for the pottery portion of the Late Archaic. It was also understood that sand was eventually added as a tempering agent to fiber-tempered pottery. As the Late Archaic progressed, the amount of sand temper was supposed to have increased while the amount of fiber temper decreased. Orange pottery tempered with both fiber and sand is sometimes referred to as "semi-fiber tempered." The application of this chronology to southern Florida seemed to indicate that most of the area, especially the Everglades, was sparsely settled during the Late Archaic due to the general absence of Orange pottery at sites (Griffin 2002:146–149; Widmer 1988:201–201).

The use of the "standard" fiber-tempered sequence for the Late Archaic in southern Florida eventually came into question by several researchers, even before Sassaman (2003) and others disproved Bullen's (1955, 1972) Orange period chronology, finding that variations in ceramic pastes, forms, potting technologies, and decorations do not represent temporal changes within the Orange Period (Russo and Heide 2002, Cordell 2004, Jenks 2006, Endonino 2013). Based on his research in southwestern Florida, Widmer (1988:68) hypothesized that the earliest sites there "include untempered chalky pottery and limestone-tempered pottery as well as the usual fiber-tempered Orange pottery." Austin (1997:136) states that the "identification of a true Orange Horizon in south Florida is debatable." He points out that, in the Kissimmee River Valley, pure fiber-tempered components are rare. Instead, what is more common is the presence of "semi-fiber tempered" pottery in the basal levels of middens, "often in association with thick St. Johns Plain or Sand-tempered Plain sherds, and overlying either culturally sterile sands, or sparse scatters of lithic artifacts" (Austin 1996, 1997:136). Both Widmer and Austin agree that semi-fiber tempered components at sites throughout southern Florida are "ephemeral" and soon replaced in the archaeological record by components consisting of exclusively sand-tempered pottery (Austin 1997:136; Widmer 1988:72–73).

Calibrated radiocarbon dates the Joseph Reed Shell Ring (8MT13) on Jupiter Island indicate that the site was constructed sometime between 1577–796 BC (Russo and Heide 2002:73), during the Late Archaic period. However, no fiber-tempered pottery was recovered from the site. Instead, excavations yielded only chalky (possible early St. Johns Plain) and plain sand-tempered pottery. This is an earlier appearance for these types of pottery than has been predicted for eastern Florida. Calibrated radiocarbon dates indicate that the chalky pottery appears at the Joseph Reed Shell Ring between 1550 and 1350 BC whereas sand-tempered pottery is hypothesized to appear around 1330 BC. Based on the evidence obtained from excavations at the Joseph Reed Shell Ring, Russo and Heide tentatively propose a new chronology for the Late Archaic in southeastern

Florida. A period labeled Late Archaic I is proposed that is marked by fiber-tempered and/or semi-fiber tempered plain pottery. During the next proposed period, Late Archaic II, only chalky ware pottery, possibly early St. Johns Plain, is predicted to occur. This is based on the earliest pottery-bearing levels from the Joseph Reed Shell Ring. The next proposed period, Late Archaic III, is distinguished by the presence of plain sand-tempered pottery along with the chalky pottery. This period is based on the latest levels from the Joseph Reed Shell Ring. Russo and Heide point out that this chronology is closest in resemblance to the chronology proposed by Widmer (1988) for southwestern Florida, suggesting, among other things, that non-fiber-tempered pottery was developed earlier in southern Florida than elsewhere in the state.

It is worth noting that all of these researchers mention in their Late Archaic chronologies the presence of St. Johns Plain, or plain "chalky ware" pottery. Specimens of this type are usually described as "thick" or "thick walled." The same phenomenon has been mentioned for Late Archaic sites in the Everglades (see Mowers and Williams 1972, for example). Often, this pottery is described in reports as "early St. Johns Plain."

Of perhaps equal interest to the reported early manifestations of St. Johns Plain are the early reports of Sand-tempered Plain pottery from some sites in southern Florida. In addition to the early examples of Sand-tempered Plain sherds from the Joseph Reed Shell Mound, early examples of this type are also reported from southwestern Florida. At the Mulberry Midden (8CR697), Sand-tempered Plain pottery was dated at about 1440 and 1480 BC (Lee et al. 1993:46; dates recalibrated by Russo and Heide 2002). Calibrated dates for Sand-tempered Plain from Heineken Hammock (8CR231) are even earlier, ranging from 2050 to 2550 BC (Lee et al. 1998; dates recalibrated by Russo and Heide 2002). Again, using the standard fiber-tempered sequence for southern Florida, Sand-tempered Plain pottery should not be present at such early dates, only fiber-tempered pottery.

Finally and importantly, it is now becoming clear that many of the ubiquitous faunal bone middens located in the interior wetlands of southern Florida date to Late Archaic times, despite the fact that many of them lack pottery of any kind. These sites are notoriously difficult to date because, not only do they often lack chronologically diagnostic artifacts, but most of the faunal bone at the sites lacks collagen, the datable material in bone samples sent to radiocarbon labs. Nevertheless, many sites clearly have aceramic components that underlie pottery-bearing strata, logically indicating that these aceramic components most likely date at least as far back as Late Archaic times. Indeed, a few radiocarbon dates have been obtained from some of these components, mostly from shell artifacts or ecofacts. For instance, Taylor's Head (8BD74) yielded a radiocarbon date of 2890 +/- 210 BC from an aceramic stratum that lay beneath pottery-bearing strata, although no fiber-tempered pottery was identified (Masson et al. 1988:346). Additionally,

calibrated radiocarbon dates from the lower, aceramic stratum at the Francis Groves Midden/Muhley site (8BD2911) are reported as ranging from 2010–1680 BC (Pepe and Elgart 2006), despite the fact that fiber-tempered pottery is known during this time elsewhere in Florida (Russo and Heide 2002:Figure 11).

Research by the National Park Service in the Big Cypress National Preserve and Everglades National Park has also yielded dense aceramic faunal bone middens yielding radiocarbon dates between 2850 and 1550 BC (Michael Russo, personal communication with James Pepe 2007; Schwadron 2006).

To explain this dichotomy between Late Archaic Everglades area sites that lack fiber-tempered pottery and large, coastal shell mounds that have abundant examples of early pottery, Pepe and Jester (1995:19) propose that there are two, distinct Archaic traditions in southeastern Florida. In this model, the fiber-tempered pottery tradition is largely a coastal phenomenon associated with shell mound building, while the aceramic Archaic or "Glades Archaic" is a more widespread tradition, perhaps giving rise to the distinctive regional culture of the Tequesta and their ancestors (Pepe 2000:29–32; Russo and Heide 2002:80; Wheeler et al. 2002:143–144).

Additionally, Austin suggests that the presence of "semi-fiber-tempered" pottery at sites in southern Florida may not actually date to the Late Archaic, but instead may signify the beginning of the subsequent post-Archaic Tradition (Austin 1997:138). In other words, Austin holds out the possibility that the ephemeral "semi-fiber-tempered" components in the basal levels of middens in southern Florida may better be incorporated into the initial periods of post-Archaic chronologies (i.e. Glades I Early, Okeechobee Basin I, etc.).

The preceding discussion illustrates that a lack of fiber-tempered pottery at a site in southern Florida does not necessarily mean that the site does not date to the Late Archaic. In fact, recent research indicates that, at some sites or in some areas, the earliest pottery present may be Sand-tempered Plain or thick, chalky (St. Johns?) wares. Finally, Austin holds out the possibility that fiber-tempered pottery in southern Florida may not date to the Late Archaic at all, but instead, may be markers of the earliest post-Archaic expressions in the region.

5.3 Formative and Mississippian Periods (500 BC – AD 1513)

The Formative Period represents a time when changes in pottery and technology occurred throughout Florida. The changes in pottery used by archaeologists to mark the beginning of this period traditionally include the replacement of fiber-tempered pottery with sand-tempered, limestone-tempered, and chalky-paste ceramics, although the above discussion calls that horizon into question. Three different projectile point styles (basally-notched, corner-notched, and

stemmed) also occur in some areas in contexts contemporaneous with these new ceramic types. This profusion of ceramic and tool traditions suggests population movement and social interaction between culture areas. The earliest known major occupations of southern Florida date to this period (Bullen et al. 1968; Sears 1982).

The regional diversity that marked this period has been primarily attributed to local adaptation to varied ecological conditions within the state. Traditionally, it has been described archaeologically in terms of cultural periods based on variations in ceramic types. The ceramic tradition for southern Florida, characterized by sand-tempered bowls with incurvate rims, is known as the Glades or Everglades cultural tradition. As defined by Milanich (1994:298) (**Figure 14**), the Glades cultural region includes most of St. Lucie County, the Everglades, the Big Cypress Swamp west of the Everglades in Collier County; and extensive saltwater marshes and mangrove forests once found along both coasts.

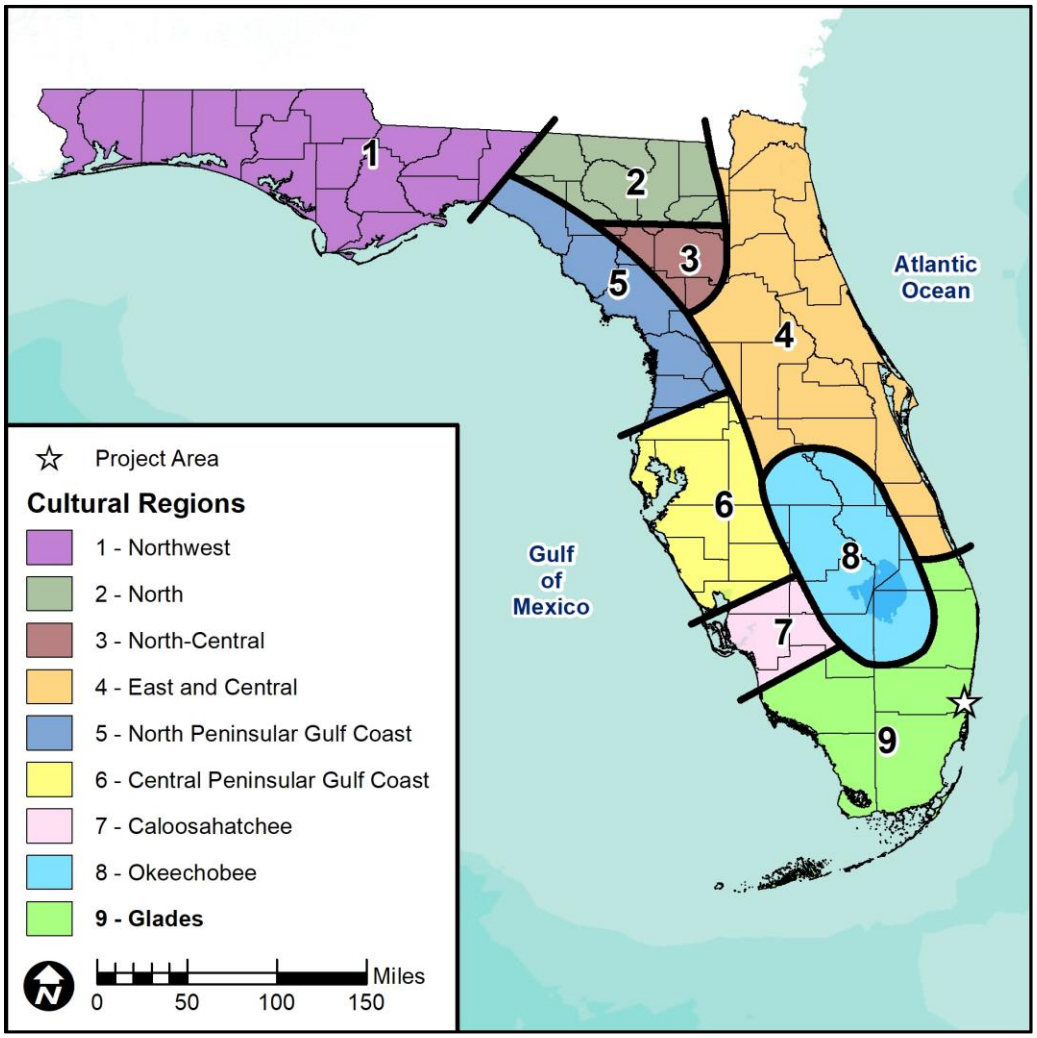

Figure 14: Location of the Project Areas Within the Glades Cultural Region (Adapted from Milanich 1994)

5.3.1 Glades Period (500 BC– AD 1513)

Environmentally, the interior portions of the Glades archaeological area are dominated by inundated or formerly inundated humic or peat soils which are drained by massive sheet-flow instead of river channeling. The Atlantic coast, which has developed from beach dune deposition, has a few rivers cutting through the Atlantic Coastal Ridge and a coast-parallel lagoon system.

John Goggin established a ceramic sequence for the Glades region based on work he conducted from the 1930s to early 1950s (Goggin n.d.). Subsequent research has only served to refine his basic chronological framework. The most recent revision was presented by John Griffin (1988), who based his research on a series of radiocarbon dates from the Granada site in Dade County (Griffin et al. 1982) and research he conducted on the Bear Lake site in Everglades National Park. In presenting his revisions, Griffin makes a point to emphasize that the Glades sequence represents a chronology of stylistic and technological changes in ceramics to which other cultural traits have been added.

Table 6 is based on Griffin's 1988 work and presents the most thorough chronological framework for southern Florida. Summaries of the ceramic markers associated with each period are provided, as well. It is important to note that the information provided in this table is most applicable to the heartland of the Glades archaeological area: the Big Cypress Swamp, Everglades, and coastal portions of southern Florida to south of Lake Okeechobee.

Glades period sites include those at Gordon's Pass (Goggin 1939), Goodland Point (Goggin 1950), Marco Island (Van Beck and Van Beck 1965), Useppa Island (Milanich et al. 1984), Horr's Island (McMichael 1982), Sanibel Island (Fradkin 1976), and the Turner River site (Sears 1956). An interesting feature of these large coastal sites is the progressive movement of habitation areas toward the water (Cushing 1896; Goggin 1950; Sears 1956), and indications are that dwellings may have been built to extend out over the water. Inland sites consist of shell and dirt middens along major watercourses (Laxson 1966) and small dirt middens containing animal bone and ceramic sherds in oak/palm hammocks or palm islands associated with freshwater marshes. The coastal Glades subsistence pattern is typified by the exploitation of fish and shellfish, wild plant food, and inland game, while Glades sites in the Big Cypress Swamp show a greater, if not exclusive, reliance on interior resources.

Large mound centers, often including mounds, middens, and other earthworks, as well as various water features are found across south Florida. In the Glades region, they tend to be located along the Atlantic Coast, especially where major rivers empty into bays, estuaries, or the ocean. Mound complexes also occur along rivers and streams, along the western side of the Atlantic Coastal Ridge, as well as on islands and keys. Smaller camps and habitations can be found along the coast,

on barrier islands, and on tree islands and keys (Carr 2012a:67). The complex along both banks of the Miami River, the Granada (8DA11) and Miami Circle (8DA12) sites, was one of the largest complexes during the Glades period and into the historic Tequesta period that followed. It contained multiple cemeteries, at least five mounds, a large shell and black dirt midden, and has yielded evidence of large circular structures. It appears that its inhabitants abandoned the south bank of the river sometime around AD 1000-1200, although the reasons for this shift are unclear (Carr and Ricisak 2000:274; Carr 2012a:68-69).

In the lithic-poor Glades areas, shell was used to manufacture tools, including celts, adzes, hammers, picks, knives, awls, gouges, ladles, dippers, cups, awls, scrapers, as well as ornaments – beads, gorgets, pendants, and disks. Shark teeth were cutting implements, and various bone and antler handles, points, pins, awls, and other tools were also part of Glades material culture (Griffin 2002; Carr 2012b). Exotic artifacts, such as stone celts, galena, and pottery from other regions, recovered from sites as early as the Glades I early period indicate that southern Florida was involved in long-distance trade networks throughout the formative period (Carr 2012a; Wheeler 2000). Bone, wood, and shell carvings, particularly containing zoomorphic forms and designs, are also hallmarks of Glades culture, especially the Glades II and III periods (Carr 2012a; Wheeler and Carr 2014).

Little is known about the terminus of the Glades culture and the early period of contact between the Native Americans and the European immigrants. The later precontact Glades groups appear to have been actively trading with other cultures to the north, as evidenced by the occurrence of exotic raw materials and ceramic designs similar to those seen farther north. Few ethnohistoric accounts exist for South Florida, and only one is widely publicized: Fontaneda's 17th century account of the Native Americans who lived near Lake Okeechobee (Smith and True 1945). Many historic Glades sites contain European artifacts and Native American artifacts created from European-derived raw materials such as silver, iron, and gold (Carr 2012a). These materials were probably salvaged from Spanish ships that sank or ran aground off the Straits of Florida.

Table 6: Glades Cultural Sequence

Period	Dates	Distinguishing Characteristics
Glades I early	500 BC–AD 500	First appearance of sand-tempered pottery; no decoration
Glades I late	AD 500–750	First appearance of decorated pottery: Fort Drum Incised, Fort Drum Punctated, Cane Patch Incised, Gordon's Pass Incised, Opa Locka Incised, Sanibel Incised; sand-tempered plain persists

Period	Dates	Distinguishing Characteristics
Glades IIa	AD 750–900	Appearance of Key Largo Incised and Miami Incised; sand-tempered plain and Opa Locka Incised persist; none of the earlier decorated types are present
Glades IIb	AD 900–1100	Sand-tempered plain and Key Largo Incised persist; Matecumbe Incised appears; none of the earlier decorated types are present; certain rim modifications (incised lip arcs and lip crimping and grooving) also appear for the first time
Glades IIc	AD 1100–1200	Almost no decorated ceramics; some grooved lips but no more lip arcs or crimped rims; Plantation Pinched appears
Glades IIIa	AD 1200–1400	Plantation Pinched is no longer present; Sand-tempered plain and grooved lips persist; appearance of Surfside Incised and St. Johns Check Stamped
Glades IIIb	AD 1400–1513	Glades Tooled, sand-tempered plain and St. Johns Check Stamped are present, Surfside Incised and grooved lips are not present
Glades IIIc	AD 1513–c. 1700	Same as previous period with the addition of historic artifacts

Griffin 1988:124–142

6.0 Historic Overview

The following overview traces the historical development of the project area from the Florida Land Boom Era through the twentieth century. The intent of this overview is to serve as a guide to field investigations by identifying the possible locations of any historic cultural resources within the project APE and to provide expectations regarding the potential historic significance of any such sites. It also provides a context with which to interpret any resources encountered during the study.

6.1 Florida Boom Period (1920–1930)

After World War I, Florida experienced unprecedented growth. Many people relocated to Florida during the war to work in wartime industries or were stationed on military installations in the state. Bank deposits increased, real estate companies opened in many cities, and state and county road systems expanded quickly. Road building became a statewide concern as it shifted from a local to a state function. The improved roads opened up remote areas and encouraged development in the state. An estimated 20,000 people arrived in the state on a daily basis. Besides the inexpensive cost of property, Florida's legislative prohibition on income and inheritance taxes also encouraged people to move into the state.

Land reclamation projects created thousands of new acres of land available to be developed. Real estate activity increased steadily after the war's end and drove up property values. Prices on lots were inflated to appear more enticing to out-of-state buyers. Cities and towns in Florida had new subdivisions platted and lots were selling and reselling for quick profits. Southeastern Florida, including cities such as Miami and Palm Beach, experienced the most activity, although the boom affected most communities in central and South Florida (Weaver et al. 1996:3).

In the late 1910s and early 1920s, Fort Lauderdale was utilized as a filming location for several movies. Real estate sales increased as swamps were dredged and "finger islands," narrow strips of fill alternating with channels of water, were developed. The new development included exclusive and moderately priced residences, as well as hotels and commercial structures downtown. These activities in Florida's southeastern "Gold Coast" represented the highest intensity of Florida's land boom. By 1925, Fort Lauderdale's population reached 16,000 residents (Historic Property Associates 1995:51–54). Other cities in Broward County were incorporated during the Land Boom period including Hollywood, Deerfield, Davie, and Floranada (McGoun 1978:20).

In 1921, Joseph Young purchased land in Broward County and developed it into the City of Hollywood. Young based the new town on the design for Indianapolis, Indiana, where Young had

previously lived. Development began in the summer of 1921 and by 1925, the town had several neighborhoods, a country club and golf course, and the famous Hollywood Beach Hotel (Shepard Associates 1981:I-11–13, 34). The main historic commercial area in the town Hollywood was located along Hollywood Boulevard from the FEC Railway to just east of the first of the town's circular parks. Young and the town's designer, George Schmidt, utilized design methods associated with the City Beautiful Movement which included planning communities with broad boulevards, parks, and distinct residential and commercial areas. When it was designed, Hollywood Boulevard had ample parking, wide sidewalks, and highly-designed lighting. The importance of Hollywood Boulevard to Young's town is evident in the fact that the first lot for the city was located on Hollywood Boulevard. The business district grew steadily and within five years, there were 252 businesses in the city, many located along Hollywood Boulevard. The Boulevard would become an important component to the burgeoning city of Hollywood (Krassy and Shiver 1999: Section 8).

An important development in Fort Lauderdale during the late 1920s was the division of the city into quadrants, which not only assisted tourists in finding their destinations, but also solidified racial segregation. Blacks arrived as laborers on the railroad and remained as farmers, settling in the northwestern section of the town. Following the adoption of the grid system, the city officially restricted black homes to the northwest quadrant (Historic Property Associates 1995:56–58). It was also during this period that the Seaboard Airline Railroad Station in Fort Lauderdale, located west of the project APE, was constructed. This Mediterranean Revival Railroad station represents the transportation boom that occurred in Fort Lauderdale during the 1920s.

In northern Miami-Dade County, the area was largely rural and agricultural. For example, the rural town of Ojus, a Seminole word meaning "plenty," for its bountiful land, was the location of truck farms and dairies (City of North Miami Beach, n.d.). The products produced in the area were shipped south to the Miami market.

In the early 1920s, the real estate boom hit Miami-Dade County. Prior to this, Miami operated primarily as a resort town with a "season" that began in December and ended in early April. During the "season" most of the social and commercial life centered around the Royal Palm Hotel (Sessa 1950:20). The real estate boom was created in part by the desirable sub-tropical climate of the area, the abundance of available land created by the draining of the Everglades, and the visions and schemes of promoters and developers (Parks 1991:107). The majority of growth took place on a narrow strip of land approximately 70 miles in length, which stretched from Palm Beach to Miami (Sessa 1950:1).

Between 1920 and 1923, the population of Miami-Dade County doubled and large-scale massive efforts were underway to replace the buildings constructed during Miami's pioneer days with

"modern" ones. During this period, the City demolished the old docks in order to create new land for a bayfront park and wide boulevards. Several small communities developed throughout Miami-Dade County as new land was acquired and former agricultural areas gave way to subdivisions. Opa-Locka, Miami Springs, Hialeah, Buena Vista, Shore Crest, Allapattah, and Flagami were just a few of the new place names in Miami-Dade County. In 1925, the City annexed Buena Vista, Lemon City, Allapattah, Little River, Silver Bluff, and Coconut Grove thereby creating Greater Miami (Parks 1991:118).

The City of North Miami Beach began as a 557-acre development called Fulford By-the-Sea, and lots became available in 1922 (City of North Miami Beach, n.d.). The nearby town of Ojus was absorbed into Fulford. The development was founded by Lafe Allen, who envisioned it as a "perfect city" with 80-foot-wide residential streets and 125-foot-wide business thoroughfares. The original Fulford By-the -Sea street grid remains partially intact in present-day North Miami Beach. In 1925, one of South Florida's first radio stations began broadcasting from Fulford's Central Park. The same year, Carl Fisher constructed the Fulford-Miami Speedway, a 1.25 mile wooden, oval race track. The first and only race held at the track was in 1926 and had 20,000 spectators.

In 1926, Glenn Curtiss, famous aviator and founder of Hialeah and Miami Springs, established the Moorish Revival themed City of Opa-Locka, located north of Miami. In 1927, Curtiss designed a private airfield adjacent to Opa-Locka and used it for charter flights, training, aerial photography, and aerial exhibitions. Called the Florida Aviation Camp, Curtiss gave the airport to the United States Navy in the late-1920s. Upon donating the land to the Navy, Curtiss requested that it would be used as a Naval Reserve Base to provide Opa-Locka residents with work (Fitzgerald Bush 1976:25).

By the end of 1925, over-speculation and over-development threatened Miami's vigorous and unprecedented growth. Housing was scarce, more lots were for sale than could be sold, more acreage was available than could be portioned into subdivisions, and prices were out of proportion to the value (Parks 1991:118; Sessa 1950:353).

The Land Boom began slowing down in August 1925, when the FEC Railway placed an embargo on freight shipments to South Florida. Ports and rail terminals were overflowing with unused building materials. In addition, northern newspapers published reports of fraudulent land deals in Florida. In 1926 and 1928, two hurricanes hit southeastern Florida, killing hundreds of people and destroying thousands of buildings. The 1926 hurricane killed 37 residents in Hollywood, and 15 in Fort Lauderdale. The collapse of the real estate market and the subsequent hurricane damage effectively ended the boom. The 1929 Mediterranean fruit fly infestation that devastated citrus groves throughout the state only worsened the recession (Weaver et al. 1996:4).

In 1926, Broward County experienced a dramatic reversal of fortune as real estate activity declined as a result of the stock market slump the previous November. Loan defaults resulted in a sharp reduction of business in the area (Kemper 1981:47). Overspeculation in real estate, the FEC Railway freight embargo, and the 1926 hurricane created economic havoc, further devastating the area's land boom (Historic Property Associates 1995:55–56). The state of Florida allowed the Seaboard Air Line to purchase ROW on the east coast of Florida to promote development (Shepard Associates 1981: I-43).

By the time the stock market collapsed in 1929, Florida was suffering from an economic depression. Construction activity had halted and industry dramatically declined. Subdivisions platted several years earlier remained empty and buildings stood on lots partially-finished and vacant (Weaver et al. 1996).

Despite the economic hardships of the Depression era, local financiers embarked on the creation of a port in the Fort Lauderdale area. One of the greatest supporters of the port was the developer of the city of Hollywood, J. W. Young. Throughout the early 1920s, Young worked to establish a deepwater harbor on Lake Mabel, but various circumstances including the bust of the real estate market, initially prevented its construction. A special act of the Florida Legislature established the Broward County Port Authority in 1927, and construction of the port commenced. After several years of financial difficulties, the port opened in 1929 for cargo ships and military vessels. The name "Port Everglades" was chosen, as it represented the port as the "gateway to the rich agricultural area" of Florida. In July 1929, the construction of a railroad to the port was underway, and several months later it was decided that storage warehouses were needed on the port property (Eller 1971:17).

Another notable event that took place during 1929 was the opening of the Merle Fogg Airport in Fort Lauderdale (known today as the Fort Lauderdale-Hollywood International Airport). Named after the city's renowned aviator, the Merle Fogg Airport opened in May 1929 with a ceremony attended by over 5,000 people (Nelson 1963:22). However, the airport was never utilized after it was established and sat vacant until World War II.

6.2 Depression and New Deal Period (1930–1940)

This era of Florida's history began with the stock market crash of 1929. As previously discussed, there were several causes for the economic depression in Florida, including the grossly inflated real estate market, devastating hurricanes, and a fruit fly infestation. During the Great Depression, Florida suffered significantly. Between 1929 and 1933, 148 state and national banks collapsed, more than half of the state's teachers were owed back pay, and a quarter of the residents were receiving public relief (Miller 1990).

Employment in Hollywood was difficult, if not impossible, to find. The City of Hollywood allowed residents to pay their property taxes by laboring for the City. In August of 1932, the City Manager had compiled a list of 73 unemployed men in the city, and arranged for two days of work for each every week (TenEick 1989:327). During the Great Depression, the Miami region fared better than many areas, as tourism helped buoy the local economy (Sessa 1950:350).

As a result of hard economic times, President Franklin D. Roosevelt initiated several national relief programs. Important New Deal–era programs in Florida were the Works Progress Administration (WPA) and the Civilian Conservation Corps (CCC). The WPA provided jobs for professional workers and laborers, who constructed or improved many roads, public buildings, parks, and airports in Florida. The CCC improved and preserved forests, parks, and agricultural lands (Miller 1990). In Miami, the CCC worked on local parks such as Matheson Hammock and Greynolds Park, which became the nucleus of Miami's future park system. By 1935, the WPA worked on new public buildings such as the Miami Beach Post Office, the Coral Gables Fire Station, and the Miami Shores Golf Club. A WPA project in Miami constructed Liberty Square, which was the state's first public housing projects, which opened in 1937. The WPA also hired unemployed artists, writers and teachers to teach art to children, prepare guidebooks to Florida, and develop theater and music projects. The government also sent World War I veterans to the Florida Keys to assist in building the Overseas Highway.

When the Navy acquired the former Opa-Locka airport, they disassembled the blimp hangar which had been used at a Key West installation and erected it on the base. In 1938, the small naval base, known as the United States Naval Reserve Aviation Base, was enlarged to a full-fledged Naval Air Station to accommodate more military personnel and planes. Called Mainside, the base absorbed Opa-Locka's golf course, archery range, riding academy, and 60 acres set aside for a park (Fitzgerald Bush 1976:25).

The Depression affected most areas of the state's economy. Beef and citrus production declined, manufacturing slowed, and development projects halted. Even the railroad industry felt the pressures of the 1930s, and had to downsize. In addition, the increasing use of the automobile lessened the demand for travel by rail. Despite the Depression, tourism remained an integral part of the Florida economy during this period. New highways made automobile travel to Florida easy and affordable and more middle-class families were able to vacation in the "Sunshine State" (Miller 1990).

A slow recovery began in the 1930s (Historic Property Associates 1995:58). In the mid-1930s, Federal loans were secured for several projects in Broward County, including the construction of U.S. 1, from south Dania to the Dade/Broward County line, and the construction of a water softening system at the municipal water plant in 1935 (Kemper 1981:49). Reflecting the growing

population and their needs, the first public hospital, Broward General Hospital (located adjacent to the project APE), was opened in 1938 in rehabilitated apartments, the Granada Apartments. Located in the Croissant Park subdivision on Andrews Avenue, the hospital began as a 45-bed hospital with segregated rooms. African-American doctors were not allowed to practice at the hospital. That same year an African American hospital, the Provident Hospital also opened up and offered 15 beds (Dolen 2019: 1-2). Tourism and the hotel business were also making a comeback. Additionally, Port Everglades was evolving into one of Florida's premier ports; it was ranked seventh in the state in imports and exports. At the end of 1934, the port's export commerce increased from 1,850 tons to 10,859 tons in one year (Burghard 1982:74).

In 1935, the first annual Collegiate Aquatic Forum was held at the Fort Lauderdale municipal pool, making Fort Lauderdale a popular college vacation destination (Historic Property Associates 1995:58–59). Agriculture and residential building began in the western suburbs of Hollywood, and several new businesses were started along Hollywood Boulevard (TenEick 1989:335–337,342). **Figures 11a-11c** show the project APE's in a 1940 aerial, demonstrating the lack of development in the project areas.

6.3 World War II and the Post-War Period (1940–1950)

From the end of the Great Depression until after the close of the post-war era, Florida's history was inextricably bound with World War II and its aftermath. The state became one of the nation's major training grounds for the military. Prior to this time, tourism had been the state's major industry and it was brought to a halt as tourist and civilian facilities, such as hotels and private homes, were placed into wartime service. The influx of thousands of service personnel and their families increased industrial and agricultural production in Florida, and also introduced these new residents to the warm weather and tropical beauty of Florida.

Wartime activities brought an economic boom to Broward County (Shepard Associates 1981:I-51). Fort Lauderdale experienced firsthand the conflict in December 1939 when the British cruiser *Orion* drove the German freighter *Arauca* into Port Everglades. The *Arauca* remained there for over a year. The 1942 attack of Allied shipping lines by German U-boats was visible from the shoreline. The area lent itself to military training, and the influx of military personnel brought business to Broward County (Historic Property Associates 1995:58–60). Two military training centers were opened in Hollywood, the United States Naval Air Gunners School and the United States Naval Indoctrination and Training School. Soldiers trained in the schools and on Hollywood's beaches. The Navy also maintained a naval air station (NAS) in Fort Lauderdale where naval aviators trained. The US Navy constructed three runways and a control tower at Ft Lauderdale NAS, the former Merle Fogg Airport. In 1946, Ft. Lauderdale NAS was decommissioned

and returned to Broward County's control. Some of the service personnel stationed here returned at the war's end to live permanently (Shepard Associates 1981: I-51).

Port Everglades was used extensively for military operations and supply storage. Fuel reserved for the defense of the Caribbean Islands and molasses, which would be used later in the production of explosives for the Navy, also were stored at the port. The seaport accommodated an undersea warfare experimental station and a Navy boat service used in the recovery of torpedoes dropped by planes stationed at the Fort Lauderdale Naval Air Station during training (George 1991:6).

Following the outbreak of World War II, Miami and Miami Beach became a war camp and major training center for the Armed Forces. By the end of 1942, many of the area's once empty hotels had become barracks for the Army Air Force Officers Candidate School, an Officers Training School, and a basic training center. Other hotels were turned into hospitals, golf courses were transformed into drill fields, fancy restaurants and clubs became mess halls, and churches and synagogues were used for classrooms. As training activity was reaching its peak, the military installations in the Opa-Locka area became increasingly significant to Florida's participation in the war effort. Master Field was developed on the site of the former Opa-Locka city airfield during the 1930s. The base was the location of Master Field and Mainside Naval Base which was actively used by the Navy and later the Marine Corps. The new residents and subsequent housing increased the geographic size and population of Opa-Locka and greatly contributed to the City's economy. Several developments were built at this time, including the Opa-Locka Housing Development which was built in the 1940s to house military families near Mainside Naval Base.

During this time, railroads profited, since service personnel, military goods, and materials needed to be transported. Air travel was becoming increasing popular during this period and Florida became a major airline destination. The highway system was also expanded at this time. The State Road Department, established in 1915, constructed 1,560 miles of highway during the war era (Miller 1990).

War agencies tripled the income of the entire state and added about 25 percent to the population. After the war, there was a huge influx of cash from federal agencies. The Federal Security Administration built roads, bridges and public improvements. The Veterans Administration began to disburse millions of dollars in benefits to ex-GIs. The Federal Housing Authority guaranteed the financing of 15,000 new homes each year (Barrons National Business and Financial Weekly 1950: 15).

Growth in South Florida steadily increased after the end of World War II as a result of the stimulus of the wartime economy, increased availability of construction materials and durable goods, and a pent-up need for construction after the Great Depression and World War II (Kemper 1981:50,

TenEick 1989:407). Service personnel stationed in the area returned to live, often bringing family and friends.

By 1944, tourists started returning to Miami as the war economy put an end to the Great Depression. The end of the war brought an influx of new people to the area, as former soldiers who had trained in Miami decided to settle there. Consequently, Miami experienced a postwar boom. Between 1940 and 1950, the population nearly doubled, and new subdivisions of small concrete block homes dotted what had once been the outskirts of Miami (Parks 1991:168–170).

Hollywood's population, which had stagnated after the 1926 bust, significantly increased after World War II. In 1930, Hollywood had a population of 2,689; in 1940, the population was at 6,239 residents. In 1950 Hollywood's population was up to 14,351, and it was up by more than 10,000 people over that figure in 1955. By 1955, the yearly influx of tourists added more than 10,000 more temporary residents to the base population (Kemper 1981:50, TenEick 1989:407). Between 1940 and 1950, Fort Lauderdale's population more than doubled to 36,328 residents. Lauderdale-by-the-Sea was established in 1951; Plantation and Lazy Lake in 1953; Margate and Miramar in 1955; Lighthouse Point in 1956; Sunrise, Davie, and Lauderdale Lakes in 1961; and Coconut Creek in 1967.

6.4 Modern Era (1950–present)

The population expansion following World War II fueled an increase in construction. Broward County's greatest area of growth in the 1940s, 1950s and 1960s took place in the newly incorporated communities outside Fort Lauderdale and other older Broward County cities (Historic Property Associates 1995:61–62). In the 30 years from 1940 to 1970, Fort Lauderdale's population grew from 17,996 to 139,590 (McGoun 2000).

By 1950, the population of the City of Miami had reached 172,000 residents. The population of the county was 495,000 people. During the 1950s, the incorporation of several municipalities in Miami-Dade County signaled that the population was indeed swelling. By 1955, the county population was up to 715,000 residents.

Miami experienced a substantial impact in the 1960s when construction of Interstate 95 (I-95) began in 1967 as part of the Interstate system. I-95 remains a major transportation artery servicing Miami, greater Miami, Miami-Dade and Broward Counties and continuing north. Although beneficial to national security and transportation, highway systems often impacted communities and areas traversed by the new construction (Janus Research 2007).

Miami-Dade County was heavily settled by immigrants. At the time of the 1960 census, over 40 percent of Florida's foreign-born population resided in Dade County. The most dramatic impact came from the periods shortly before and after the fall of the Cuban Batista in 1959. Fidel Castro's rise to power in Cuba led to the exodus of over 800,000 Cubans in a thirty-five-year span. Many of these immigrants came to Florida, particularly Miami. This wave of immigration made Miami one of the nation's largest immigration ports in the latter half of the twentieth century. The Cuban Refugee Program and Refugee Emergency Center were established in 1960 by the federal government in cooperation with social service organizations and religious groups, notably the Catholic Archdiocese of Miami. Many thousands of these immigrants were resettled elsewhere in the United States but many returned to Miami.

As Broward County's population soared toward one million, several developers became overextended or were criticized for corruptive practices. Also, a growing number of newcomers feared that too-rapid growth with inadequate planning was causing environmental issues. At the beginning of the 1970s, residents began demanding that cities control growth and better plan for growth. Gradually, state and local governments responded with legislation and growth planning (McGoun 2000).

In 1967, the Seaboard Air Line Railroad was merged with its competitor the Atlantic Coast Line Railroad to form the Seaboard Coast Line Railroad. A later merger with the Chessie system in the 1980s formed the CSX Corporation.

During these years, the construction of I-95 affected many communities along Florida's east coast. Miles of fractured highway were incorporated into what would become the main vein of Florida's east coast. Construction of I-95 in southern Florida progressed throughout the 1960s (Janus Research 2007:63). By 1976, most of the highway was complete from the Georgia State Line to Ft. Pierce and from Palm Beach Gardens to Miami, including the portions in Broward and Miami-Dade Counties. With the construction of I-95 and the development of subdivisions west of the Atlantic Coast, commerce moved west and the traditional downtown commercial areas were largely abandoned.

Growth decreased in 1974, but not as a result of municipal actions. South Florida was hit by the recession sweeping the nation. Unsold properties were a major problem at this time, and at one point, there were an estimated 50,000 unsold condominium apartments in the area (McGoun 2000). By 1976, the building industry witnessed a revival. However, there were still concerns that the uncontrolled growth of the past would be repeated. A new county charter gave the Broward County government broad powers to monitor and improve the quality of life and the environment. The passage of the 1977 Land Use Plan was a major step toward limiting urban sprawl and

ensuring that the area's natural, economic, and social resources would be put to their best use (McGoun 2000).

Today, the City of Fort Lauderdale has a population of nearly 180,000 residents. Once known strictly as a tourism-based economy, Fort Lauderdale now supports a diverse range of industries, including marine, manufacturing, finance, insurance, real estate, high technology, avionics/aerospace, and film and television production (City of Fort Lauderdale n.d.). Dade County was renamed Miami-Dade County in 1997 and has a population of 2.7 million residents in the 2020 census. **Figures 12a-12c** show the project APE's on historic aerials from 1958, showing the development that had occurred in the early Modern period. **Figures 13a-13c** show the project APE's on aerials from 1968, demonstrating the changes that occurred in the late Modern period.

After passenger rail was removed from the FECR in the 1960s, only freight and some local commuter transit rail traveled the historic railway. However, beginning in 2018, the FECR, under the All Aboard (and currently Brightline) name re-established a passenger rail service in the FECR line.

7.0 Florida Master Site File and Literature Search for Previously Recorded Resources

An archaeological and historical literature and background information search pertinent to the proposed project APE was performed to determine the chronological placement, types, and location patterning of cultural resources expected within the study area. This included a search of the FMSF, county and local site inventories, and other pertinent literature. The FMSF is an important planning tool that assists in identifying potential cultural resources issues and resources that may warrant further investigation and protection. It can be used as a guide but should not be used to determine the official position of the FDHR or the SHPO regarding the significance of a resource. This preliminary background research also reviewed available Geographic Information Systems (GIS) data available from the FGDL to identify the potential for unrecorded historic resources.

7.1 Previously Conducted Cultural Resource Surveys

The work of previous investigators was reviewed to gather information about the types of cultural resources that could be expected within the APE. As recently as 2012, the entirely of the FECR within the current APE was surveyed for the Brightline passenger rail service on the historic rail line (Janus Research 2012; FMSF Manuscript No. 19480). The current study therefore only focuses on the proposed stations. The search of FMSF data identified 27 previously conducted cultural resource surveys within the APE (**Table 7**). Several county- or city-wide surveys, cultural resource inventories, and historic designation reports (FMSF Manuscript Nos. 714, 730, 2125, 3532, 4075, and 23100) included parts of the APE, but did not comprehensively survey them. The survey area for FMSF Manuscript No. 27699 only slightly overlaps with the historic resources APE for the Hollywood Station, and FMSF Manuscript No. 766 only slightly overlaps the APE for the SFTL Station. The survey areas for FMSF Manuscript Nos. 6679 and 8906 only slightly overlap the APE for the FLL Airport Station. However, it should be noted that the subsurface testing conducted in the vicinity of the current project APE during the *Tractebel Calypso Natural Gas Pipeline, Supplemental Report #1* (Janus Research 2003; FMSF Manuscript No. 8906) yielded no archaeological material. A survey conducted by FDOT in the 1980s prior to the realignment of SR A1A overlapped with the current APE at the FLL Airport Station. However, this survey does not meet current standards. FMSF Manuscript Nos. 7283, 8953, and 10432 are limited-scope surveys conducted for telecommunications towers which did not comprehensively survey any part of the current APE.

Overall, the review of past survey work indicated that the proposed archaeological APE at the SFTL and Hollywood stations has not been subjected to comprehensive archaeological survey. However, the presence of historic rail and road corridors and other urban development within the APE explains the inability to use traditional archaeological survey methods in these areas. Most of the historic resources APE has been surveyed for historic resources. However, these previous surveys were often not comprehensive or site-specific.

Table 7: Previously Conducted Cultural Resources Surveys Within the Project APE

FMSF Survey No.	Title	Author(s)	Publication Date	Station/s
714	Broward County Historical and Architectural Windshield Survey	Shepard Associates	1979	all stations
730	Broward County Comprehensive Survey, Phase I	Robert S. Carr, Marilyn Kemper, and Hershall Shepard	1981	all stations
766	Archaeological Survey of Pipeline Routes in Fort Lauderdale Central region Wastewater Effluent System	William H. Sears	1977	SFTL Station
1440	Proposed Re-alignment of SR A1A, from SR 5/US 1 to SE 17th St., in Broward County, Florida	William D. Browning and Melissa G. Wiedenfeld	1987	FLL Airport Station
2125	Historic Properties Survey of Fort Lauderdale, Florida	William R. Adams, Sidney Johnston, and Stephen A. Olausen	1989	FLL Airport Station / SFTL Station
3532	City of Dania Historical Survey	Juan A. Bueno, Karen E. Cheney, and Paula Crouthamel	1993	FLL Airport Station
4075	An Archaeological Survey of Southeast Broward County, Florida: Phase 3	Robert S. Carr, Willard S. Steele, and Jorge Zamanillo	1995	all stations

FMSF Survey No.	Title	Author(s)	Publication Date	Station/s
4432	Historic Designation Report, Hollywood Business District	Research Atlantica, Inc.	1996	Hollywood Station
5872	An Archaeological and Historic Assessment of the Ft Lauderdale Airport SEIR Roadway Expansion, Broward County Florida	Robert S. Carr and Jorge Zamanillo	1999	FLL Airport Station
6679	Resource Report 4, Cultural Resources for Calypso Pipeline, LLC, Calypso Natural Gas Pipeline Project	Janus Research	2001	FLL Airport Station
7283	An Archaeological and Historical Survey of the Proposed AT&T Tarmac Tower Location in Broward County, Florida	Sims, Cynthia L.	2002	SFTL Station
8906	The Tractebel Calypso Natural Gas Pipeline, Supplemental Report # 1	Janus Research	2003	FLL Airport Station
8953	An Archaeological and Historical Survey of the Proposed MNTA Tower Location in Broward County, Florida	Kelly A. Driscoll	2003	FLL Airport Station
10432	An Archaeological and Historical Assessment for the Existing SE 14th Avenue Cellular Tower, Broward County, Florida	Amanda T. Groff and Jennifer L.F. Nash	2004	FLL Airport Station
12075	Archaeological Monitoring of Geotechnical Test Bore Program and Subsurface Archaeological Testing of Taylor Road Area for Onshore Segment of Proposed AES Ocean Express Pipeline, Southern Broward County, Florida	John A. Gifford	2003	FLL Airport Station

FMSF Survey No.	Title	Author(s)	Publication Date	Station/s
12275	Cultural Resource Assessment Survey and Desktop Analysis for the Fort Lauderdale-Hollywood International Airport, Broward County	Janus Research	2005	FLL Airport Station
14000	Cultural Resources Reconnaissance Study South Florida East Coast Corridor Transit Analysis Miami-Dade, Broward and Palm Beach Counties	Janus Research	2006	all stations
14102	Onshore Archaeological Assessment Report: Archaeological Monitoring of Geotechnical Test Bore Program and Subsurface Archaeological Testing of Taylor Road Area, for Onshore Portion of Proposed AES Ocean Express Pipeline, Southern Broward County, Florida	John Gifford	2004	FLL Airport Station
16006	Downtown Transit Corridor Program Project No. 14688 Cultural Resources Section 106 Determination and Discussion of Effects and Addendum to the CRAS for the Fort Lauderdale Downtown Transit Circulator, Broward County, Florida	Janus Research	2008	SFTL Station

FMSF Survey No.	Title	Author(s)	Publication Date	Station/s
19293	Cultural Resource Overview of Onshore Segment of Proposed AES Ocean Express Pipeline, Southern Broward County, Florida & Archaeological Evaluation of Magnetometer & Side-Scan Sonar Targets in Florida State Territorial Waters Along the Offshore Navy Restricted Area Variation" Route of the Proposed 24-inch Ocean Express Gas Pipeline	John Gifford	2002	FLL Airport Station
19302	Underwater Archaeological Background Study and Remote Sensing Investigation and Associated Upland Route Corridor Survey Pursuant to the AES Ocean Express LLC Pipeline Project from Exclusive Economic Zone (EEZ) to Broward County, Florida	Robert H. Baer	2002	FLL Airport Station
19480	Cultural Resource Assessment Report for the All Aboard Florida Passenger Rail Project from West Palm Beach to Miami, West Palm Beach, Broward, and Miami-Dade Counties	Janus Research	2012	all stations
23100	Hollywood CRA Historic Properties Survey Update: Historic Downtown Hollywood Business District & Hollywood Beach Historic District, Broward County, Florida	Lorrie Muldowney and Matthew A. DeFelice	2016	Hollywood Station

FMSF Survey No.	Title	Author(s)	Publication Date	Station/s
23151	Cultural Resource Assessment Survey Hollywood Boulevard from City Hall Circle to Dixie Highway, Hollywood, Broward County, Florida (Financial Management No. 434666.1)	Janus Research	2016	Hollywood Station
23544	Reconnaissance Survey and Cultural Resource Assessment Survey Update for the WAVE Modern Streetcar Alignment Project, Fort Lauderdale, Broward County, Florida	Janus Research	2017	SFTL Station
27681	Architectural Resource Survey of Croissant Park and Poinciana Park, City of Fort Lauderdale	Trisha Logan, Ellen Uguccioni, and Laura Weinstein-Bernamn	2021	SFTL Station
27699	Cultural Resource Assessment Survey of the Avant Garde Safe Routes to School Sidewalk Project, City of Hollywood, Broward County, Florida	SEARCH, Inc.	2020	Hollywood Station

A CRAS of the Fort Lauderdale-Hollywood International Airport Terminal Access Roadway Improvements, Broward County, Florida (Carr and Zamanillo 1999; FMSF Manuscript No. 5872) included most of the APE for the FLL Airport Station. No archaeological or historic resources were identified, and subsurface testing could not be conducted due to existing disturbance within the survey area. The SHPO concurred with the findings and conclusions contained in the report on March 20, 2000.

John Gifford (2003; FMSF Manuscript No. 12075) conducted archaeological monitoring of geotechnical boring for a proposed pipeline, as well as systematic shovel testing within part of the APE for the FLL Airport Station where a former hammock appeared on the 1870 GLO map. No archaeological materials were found during this work. The area contained fill and modern

construction debris, as well as marl and peat from the wetland adjacent to the former hammock. In 2004, Gifford (Gifford 2004a; FMSF Manuscript No. 14102) conducted archaeological monitoring of pipeline that crossed the current project APE at the FLL Airport Station, and no archaeological materials were identified. These reports were not reviewed by the SHPO, but a 2004 report (Gifford 2004b; FMSF Manuscript No. 19293) addressing the project and its research design was submitted under the same cover as an underwater remote sensing report. These documents received SHPO concurrence on May 7, 2003. An earlier report addressing the same area (Baer 2002; FMSF Manuscript No. 19302) did not meet FDHR standards and does not provide any additional information on the current project APE.

The *CRAS and Desktop Analysis for the Fort Lauderdale-Hollywood International Airport, Broward County* (Janus Research 2005; FMSF Manuscript No. 12275) surveyed most of current APE at the FLL Airport Station. The survey identified no archaeological or historic resources within the current APE. The SHPO concurred with the results of this survey on December 28, 2005.

The *Cultural Resources Reconnaissance Study, South Florida East Coast Corridor Transit Analysis, Miami-Dade, Broward, and Palm Beach Counties* (Janus Research 2006; FMSF Manuscript No. 14000) encompassed the APEs for all three proposed stations. No archaeologically sensitive areas were identified within the current project APE. The survey identified the National Register–listed and locally listed Hollywood Boulevard Historic Business District (8BD3284) partly within the current APE for the Hollywood Station. This survey was conducted to identify significant National Register–eligible or –listed properties, and did not comprehensively survey the area for all historic resources.

The *Addendum to the CRAS for the Fort Lauderdale Downtown Transit Circulator, Broward County, Florida* (Janus Research 2008; FMSF Manuscript No. 16006) overlapped with one small area in the current historic resources APE for the SFTL Station. The survey recorded one National Register–ineligible historic building (8BD4425) that is within the current APE. The SHPO concurred with the determinations and findings of the survey on January 9, 2009.

The *CRAS for the All Aboard Florida Passenger Rail Project from West Palm Beach to Miami, Palm Beach, Broward, and Miami-Dade Counties* (Janus Research 2012; FMSF Manuscript No. 19480) included the current APE for all three stations. This survey determined that the FEC Railway (8BD4087) is National Register–eligible. It also identified the National Register–listed Hollywood Boulevard Historic Business District (8BD3284) partly within the current APE for the Hollywood Station. SHPO concurred with these determinations of eligibility on November 6, 2012.

The *CRAS of Hollywood Boulevard from City Hall Circle to Dixie Highway, Hollywood, Broward County, Florida* (Janus Research 2016; FMSF Manuscript No. 23151) surveyed a small part of the

APE at the Hollywood Station. One historic building (8DA5684) was recorded and determined National Register–ineligible. The SHPO concurred with this determination on September 8, 2016.

The *Reconnaissance Survey and CRAS Update for the WAVE Modern Streetcar Alignment Project, Fort Lauderdale, Broward County, Florida* (Janus Research 2017; FMSF Manuscript No. 23544) included part of the APE at the SFTL Station. The survey evaluated four historic buildings (8BD5893, and 8BD5896–8BD5898) recorded in the current APE as National Register–ineligible. The SHPO concurred with these determinations on February 22, 2017.

Although the *Architectural Resources Survey of Croissant Park and Poinciana Park, City of Fort Lauderdale* (Weinstein-Bernamn et al. 2021; FMSF Manuscript No. 27681) was not a comprehensive survey of the area, it recorded one historic building (8BD8182) within the current APE for the SFTL Station and evaluated it as National Register–eligible and a potential local historic landmark. The SHPO did not review this report or the eligibility determination for 8BD8182.

7.2 Previously Recorded Archaeological Sites

A search of the FMSF data identified no previously recorded archaeological sites within the archaeological APE. Fourteen (14) archaeological sites are located within one mile of the APE (**Table 8**). Of these sites, one is nearly one mile west of the FLL Airport Station location, and thirteen (13) are within one mile north of the SFTL Station. Most of the sites north of the SFTL Station are along the shores of the Tarpon River or New River. No sites are recorded within one mile of the Hollywood Station. Precontact middens are the most common site type, followed by late 19th to early 20th century historic sites. Information regarding most of the sites is very limited. The SHPO has not evaluated their eligibility for listing in the National Register except for the New River Midden (8BD196). Part of the National Register–eligible New River Midden (8BD196) was subjected to data recovery excavation (Carlson 2004).

Table 8: Previously Recorded Archaeological Sites Within One Mile of the Project APE

FMSF No.	Site Name	Site Type	SHPO National Register Evaluation	Station
8BD3	New River Earthworks	Precontact burial mound and earthworks complex	Not Evaluated	SFTL Station
8BD196	New River Midden	Glades IIa-Glades IIIa habitation, burial, and midden site	Eligible	SFTL Station

FMSF No.	Site Name	Site Type	SHPO National Register Evaluation	Station
8BD203	Sailboard Bend Midden	Glades I-III period black dirt midden	Not Evaluated	SFTL Station
8BD204	Ackerman Site	Glades I-II period black dirt/shell midden	Not Evaluated	SFTL Station
8BD205	Rose Site	Glades period black dirt/shell midden	Not Evaluated	SFTL Station
8BD259	Stranahan N1	Precontact campsite; Seminole and Euro-American historic 19th-20th century artifact scatter	Not Evaluated	SFTL Station
8BD2589	East Annex	Precontact, Seminole, and 20th century historic artifact scatter	Not evaluated	SFTL Station
8BD2905	Old Griffin	Precontact black dirt midden	Insufficient Information	FLL Airport Station
8BD2909	Tarpon Site	Precontact black dirt midden	Not evaluated	SFTL Station
8BD2916	Brickell Block	19th-20th century with possible human burials	Not evaluated	SFTL Station
8BD3943	Symphony Site	late 19th-early 20th century artifact scatter	Not evaluated	SFTL Station
8BD4218	Knowlton Sand Mound	Possible pre-contact mound recorded based on historic maps	Not evaluated	SFTL Station
8BD4406	New River, SW 4th Ave. Target	20th century shipwreck in New River	Not evaluated	SFTL Station
8BD4878	Marina Lofts	Precontact midden with 20th century isolated artifact	Not evaluated	SFTL Station

Based on a review of in-house local cultural resources data and coordination with the Certified Local Governments (CLGs), the northern end of the APE at the SFTL Station extends into an archaeologically sensitive zone. Between 2014 and 2017, the City of Fort Lauderdale reconfigured

the South Bank New River-Tarpon River Archaeological Zone to include the part of the current archaeological APE north of SW 15th Street in Fort Lauderdale (City of Fort Lauderdale 2017). In addition, four archaeological zones designated by Broward County are within one mile of the archaeological APE (Carr, Zamanillo, and Steele 1995; FMSF Manuscript No. 4075). Three zones, the North Bank New River Archaeological Zone, the South Bank New River-Tarpon River Archaeological Zone, and the New River South Fork Archaeological Zone, are within one mile of the SFTL Station archaeological APE. One additional archaeological zone is located within one mile of the FLL Airport Station archaeological APE. **Figures 15 and 16** show the locations of the archaeological sites and zones in relation to the archaeological APEs for the SFTL Station and FLL Airport Station.

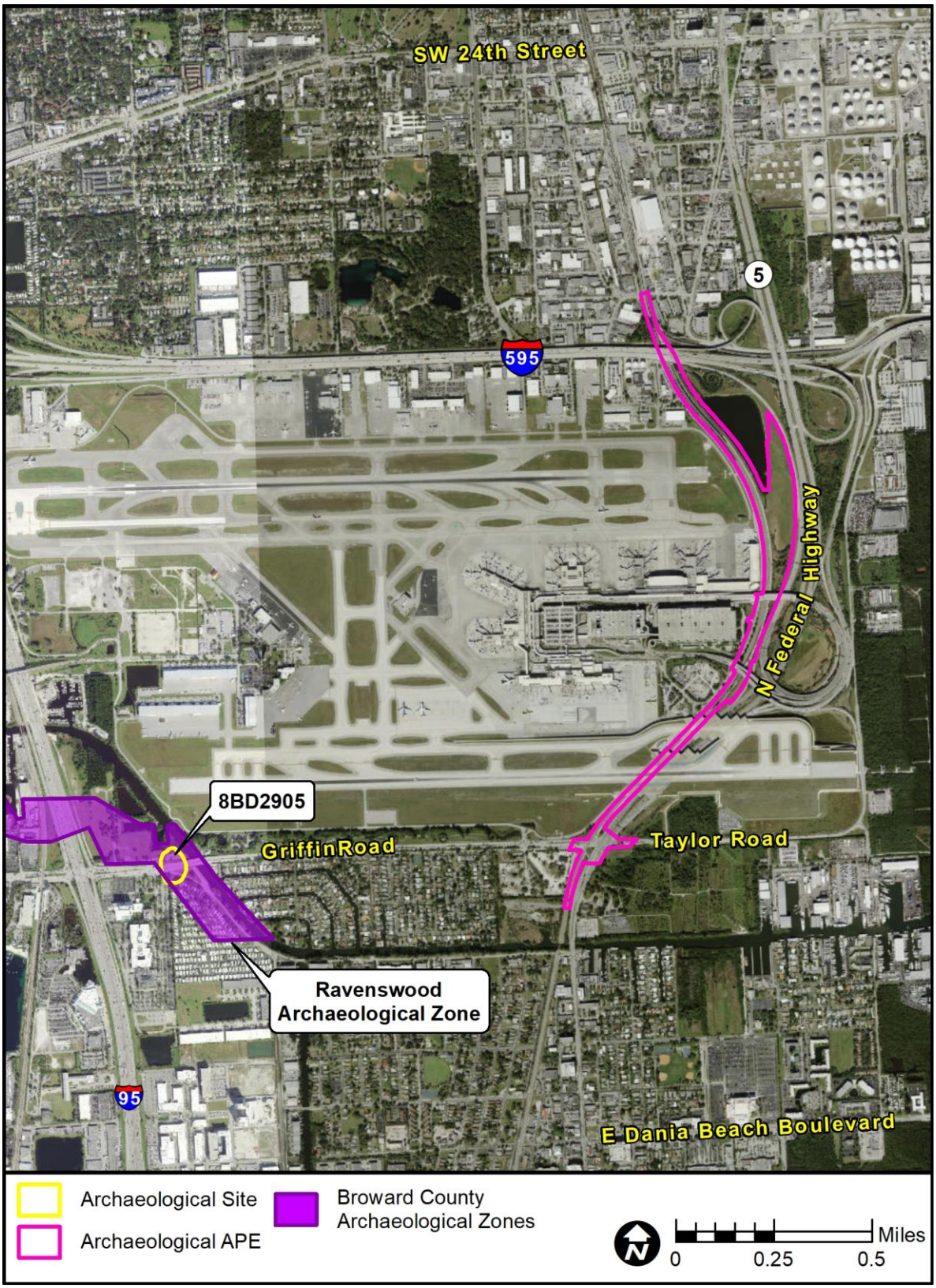

Figure 15: Archaeological Sites and Zone Recorded Within 1 Mile of the FLL Airport Station

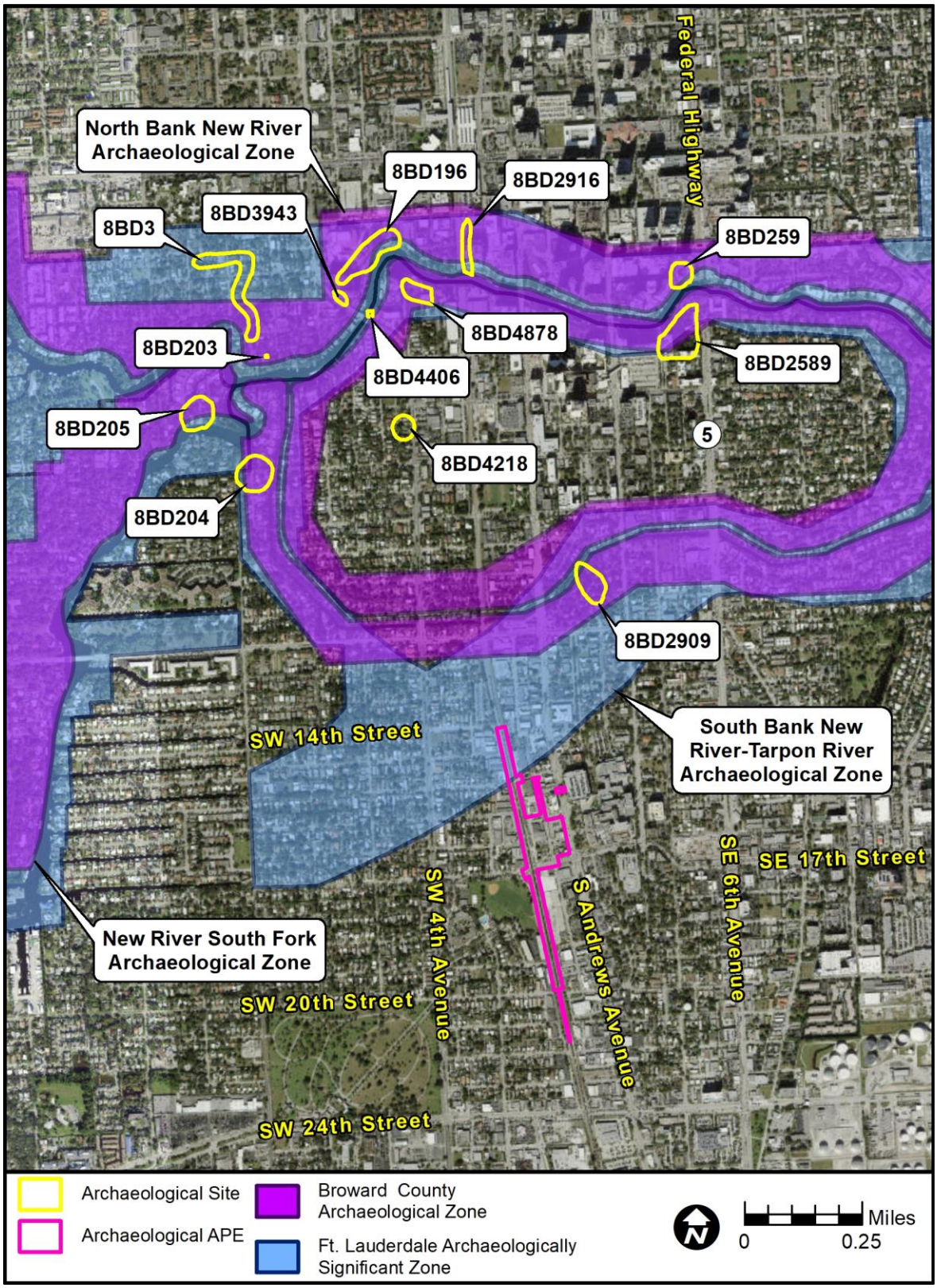

Figure 16: Archaeological Sites and Zones Recorded Within 1 Mile of the SFTL Station

7.3 Previously Recorded Historic Resources

A search of the FMSF was conducted to identify previously recorded historic resources within the APE. **Table 9** provides the previously recorded structures and **Table 10** provides the previously recorded resource groups. The tables also provide the corresponding station location of each resource. In summary, there are 15 extant previously recorded structures within the APE for all three stations. The FEC Railway is previously recorded throughout the entire project corridor including the three proposed stations and one existing station. The FEC Railway is eligible for the National Register under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. In addition, there are two previously recorded resource groups in the APE for the Hollywood Station, two resource groups in the Airport Station, and no additional resource groups in the SFTL Station. Resources that are listed or determined National Register eligible are highlighted in the tables below.

Table 9: Previously Recorded Structures Within the Project APE

FMSF No.	Name/ Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*	Station Location
8BD375	American Legion Post 92/205-207 N. Dixie Highway	Commercial	ca 1926	Not Evaluated by the SHPO	Hollywood Station
8BD376	The Hollywood Publishing Company/219 N. 21st Avenue	Commercial/ Masonry Vernacular	1924	Not Evaluated by the SHPO; Locally Designated by the City of Fort Lauderdale	Hollywood Station
8BD377	430-434 N. Dixie Highway	Commercial	ca 1926	Demolished	Hollywood Station
8BD378	438 N. Dixie Highway	Commercial/ Mediterranean Revival	ca 1926	Demolished	Hollywood Station
8BD381	921 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1926	Not Evaluated by the SHPO	Hollywood Station
8BD383	109-111 1/2 S. Dixie Highway	Commercial	ca 1926	Not Evaluated by the SHPO	Hollywood Station

FMSF No.	Name/ Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*	Station Location
8BD384	Kington, WW Residence/ 140 S. Dixie Highway	Single-Family Residence/ Masonry Vernacular	1923	Demolished	Hollywood Station
8BD385	Waltz ,Earl Residence/ 220 S. Dixie Highway	Single-Family Residence/ Mediterranean Revival	ca 1930	Demolished	Hollywood Station
8BD414	Watson, Jack Residence/ 2140 Fillmore Street	Single-Family Residence/ Frame Vernacular	ca 1926	Not Evaluated by the SHPO	Hollywood Station
8BD573	Broward or Kington Building/ 2032-2050 Hollywood Boulevard	Commercial/ Masonry Vernacular	1924	Listed on the National Register as a Contributing Resource to the Hollywood Boulevard Historic Business District	Hollywood Station
8BD574	Ingram Arcade/ 2033-2051 Hollywood Boulevard	Commercial/ Masonry Vernacular	1921	Listed on the National Register as a Contributing Resource to the Hollywood Boulevard Historic Business District	Hollywood Station

FMSF No.	Name/ Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*	Station Location
8BD888	2135 Taylor Street	Single-Family Residence/ Frame Vernacular	ca 1926	Not Evaluated by the SHPO	Hollywood Station
8BD950	Bellamy, Earl Residence/ 2121 Van Buren Street	Single-Family Residence/ Frame Vernacular	ca 1926	Demolished	Hollywood Station
8BD1029	Casa Blanca Hotel/310 N. 20th Avenue	Commercial/ Masonry Vernacular	ca 1926	Demolished	Hollywood Station
8BD4252	Holocaust Rail Car (Hollywood)/ 21st Avenue	Rolling Stock	1930	Relocated	Hollywood Station
8BD4425	Back and Neck Pain Center/1627 S. Andrews Avenue	Commercial/ Masonry Vernacular	ca 1955	Determined National Register Ineligible	SFTL Station
8BD5684	Firestone/106 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1967	Determined National Register Ineligible	Hollywood Station
8BD5893	Maritime Professional Training/1909 1st Avenue	Commercial/ Masonry Vernacular	ca 1950	Determined National Register Ineligible	SFTL Station
8BD5896	1801 SW 1st Avenue	Warehouse/ Masonry Vernacular	ca 1955	Demolished	SFTL Station
8BD5897	East Coast Battery and Electric/100 SW 17th Street	Commercial/ Masonry Vernacular	ca 1952	Determined National Register Ineligible	SFTL Station

FMSF No.	Name/ Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*	Station Location
8BD5898	Southport Auto Repair/101 SW 17th Street	Commercial/ Masonry Vernacular	ca 1959	Determined National Register Ineligible	SFTL Station
8BD8176	205 SW 17th Street	Single-Family Residence/ Mid-Century Modern	1945	Not Evaluated by the SHPO	SFTL Station
8BD8182	(former) Antique Car Museum/1527 SW 1st Avenue	Commercial/ Moderne	ca 1950	Not Evaluated by the SHPO/ Recommended for Local Designation	SFTL Station
8BD8420	309 N. 21st Avenue	Recreational/ No style	ca 1969	Demolished	Hollywood Station

* The National Register Evaluations are based on the FMSF and are subject to change.

Table 10: Previously Recorded Resource Groups Within the Project APE

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*	Station Location
8BD3284	Hollywood Boulevard Historic Business District.	FMSF Building Complex	1921-1946	Listed on the National Register	Hollywood Station
8BD4087	FEC Railway	Linear Resource	1896-1959	Determined National Register Eligible	Hollywood Station/FLL Airport Station/ SFTL Station

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	SHPO National Register Evaluation*	Station Location
8BD4227	Dixie Highway	Linear Resource	1915-1947	Not Evaluated by SHPO (within the current project APE)	Hollywood Station
8BD4373	Federal Highway	Linear Resource	1927-1959	Not Evaluated by SHPO (within the current project APE)	FLL Airport Station
8BD4776	SR-A1A	Linear Resource	1925-2010	Not Evaluated by SHPO (within the current project APE)	FLL Airport Station

*The National Register Evaluations are based on the FMSF and are subject to change.

8.0 Project Research Design for Identifying Unrecorded Cultural Resources and Archaeological Site Location Model

The project research design includes a review of sources that suggest potential for unrecorded historic resources within the historic resources APE and of variables used to evaluate archaeological site probability.

8.1 Potential Unrecorded Historic Resources

The Broward County Property Appraisers and GIS information was utilized in order to identify parcels within the current historic resources APE that have potential unrecorded structures. Research revealed 65 parcels with structures that have an Actual Year Built (AYRB) date of 1983 or earlier which are partially contained within the current project APE for the Hollywood Station. Two parcels with AYRB dates of 1983 or prior are located within the APE for the FLL Airport Station and 51 parcels with AYRB dates of 1983 or earlier within the APE for the SFTL Station. Subsequent field survey and historical research revealed that a total of 54 unrecorded historic buildings were located within the APE for all of the stations (some historic structures noted as being AYRB of 1983 or earlier fell outside of the APE).

A review of FDOT bridge information indicated that no unrecorded historic bridges are located within the current project APE.

A review of historic aerials from 1940, 1947, 1949, 1958, 1968, 1971, 1973, 1976, 1981, 1985, and 1988 was conducted to examine land use and to identify any additional unrecorded historic resources located within the historic resources APE (University of Florida, George A. Smathers Library 2023; FDOT, Office of Surveying and Mapping 2023). The aerials revealed that most historic development occurred near the Hollywood Station, with the least historic development occurring near the FLL Airport Station. The aerials also revealed that that the portions of Federal Highway, US 1, and the FEC Railway within the FLL Airport Station APE were moved from their original location.

8.2 Archaeological Site Potential

The background research and literature review, in conjunction with pertinent environmental variables, contributed to the formulation of project-specific field methods designed to locate and evaluate previously unrecorded archaeological sites within the project APE. Four environmental

factors are typically used to help predict site locations: distance to fresh (potable) water, distance to hardwood hammocks, soil type (soil drainage) and topography.

Fresh water is an important resource, as the need for water is universal. This variable would have been of greater importance during the Paleoindian and Early Archaic periods when the perched water system was more restricted, although these periods are not well-represented in South Florida. Access to water during these early periods would have been from sinkholes and aquifer-fed rivers. Based on the 1870 GLO map (FDEP 1870b), it appears that permanent freshwater sources were over 1000 meters away from the archaeological APE at the proposed Hollywood Station. However, the surveyor's notes (FDEP 1870a) also mention a swamp nearby. The archaeological APE at the FLL Airport Station was adjacent to a former marsh on its north and south ends. The former wetland on the eastern side of this part of the archaeological APE likely supported mangroves and may have been brackish. Based on the 1870 GLO map (FDEP 1870c), the northern end of the SFTL Station archaeological APE was adjacent to a marsh and small stream that seems to have later been channelized as the Tarpon River.

The presence of tree islands or hardwood hammocks also serves as a reliable indicator of site location in southern Florida. Their use by precontact, Seminole, and modern hunters, campers, and permanent residents is well documented. One obvious reason for their use is that they are not prone to flooding, except during episodes of very high water. Yet, hammocks are moist enough to retard fires. The thick foliage of hammocks provides a great deal of shade as well as serving to moderate temperatures year-round. The thick canopies of hammocks also provide shelter during periods of heavy weather. Mature hammocks are noted for a lack of ground cover vegetation due to the closed canopy above shading out younger trees, herbs, and shrubs. Thus, mature hammocks offer enough open space for habitation and activity areas. Many fruits, nuts, and tubers are available in hammocks that are important as human food sources as well as their ability to attract game animals. Hydric hardwood hammocks can contain abundant animal and plant life, particularly a variety of tubers. Mesic hardwood hammocks contain cabbage palms and other plants that produce edible portions. Other mesic hardwoods, such as ash and elm, are woods that are known to have been used for specific purposes, i.e., bows, canoes, mortars, and dart shafts (Newsom and Purdy 1983).

The review of plat maps, surveyors' notes, and historic aerial photographs did not identify any tree islands within the archaeological APE. One hammock was noted within part of the archaeological APE for the FLL Airport Station in the southern part of Section 27 and the northern part of Section 34, Township 51 South, Range 42 East.

The characteristics of soils have been used successfully by several researchers in the formulation of predictive models for precontact site location. Due to the longevity of urban development

within most of the archaeological APE, pre-development soil types are difficult to ascertain. Soils surrounding the archaeological APE of the Hollywood Station, which is in Urban Land or Duette-Urban Land Complex, suggest that predevelopment soils may have been moderately well drained. The north and south ends of the FLL Airport Station archaeological APE are well drained, while the part of the archaeological APE that curves toward the coast has poorly to very poorly drained soils. It appears that the SFTL Station archaeological APE may have been well drained based on the adjacent soil types. By the time soils in the area were mapped in the 1980s, most of the archaeological APE had already been disturbed.

The topography of the archaeological APE is generally flat. Elevations range from approximately two to 17 feet amsl, and land modification has raised the elevations of the existing transportation facilities. The Hollywood Station archaeological APE is on the lower end of the average range for the Atlantic Coastal Ridge. Elevations are more variable within the FLL Airport Station archaeological APE, ranging from very low on the eastern side to average or slightly above average Atlantic Coastal Ridge elevations on the north and south ends. The SFTL Station archaeological APE is lower than the average elevation for the Atlantic Coastal Ridge.

The preceding analysis of the soils, drainage, and environment of the archaeological APE confirmed that it has been subjected to extensive filling and land shaping associated with the construction of railways, roadways, and adjacent urban development. Currently, the archaeological APE consists of railroad corridor, roadways, berms, a stormwater feature, landscaping, an airport, and parking lots.

The review of historic maps and environmental data found that no archaeological sites have been recorded within the APE. The former hammock at the south end of the FLL Airport Station archaeological APE would be expected to have higher archaeological site potential than the rest of the APE. However, close-interval shovel testing conducted in that area yielded no archaeological materials, and the area has now been highly disturbed. The northern approximately 620-linear-foot-segment of the SFTL Station APE has been designated as having elevated archaeological potential, likely based on the pre-channelization alignment of the Tarpon River. However, this part of the archaeological APE is entirely within an active railroad corridor with underground utilities and is therefore not testable. Based on the analysis of environmental variables and the current conditions of the project corridor, the archaeological APE outside of the archaeological zone is considered to have low potential to contain intact archaeological sites. The City of Fort Lauderdale has designated the South Bank New River – Tarpon River Archaeological Zone as having elevated archaeological site potential.

9.0 Field Methods

The results of the background research informed the field survey methods used to identify archaeological and historic resources within the project APEs. Additionally, consultation with the appropriate CLGs was conducted to elicit local knowledge of cultural resources and archaeologically sensitive areas.

9.1 Archaeological Survey Methods

Archaeological survey consisted primarily of a desktop analysis including a review of previous surveys, FMSF data, and other historic and environmental data to determine the potential for significant archaeological resources within the archaeological APE. The desktop analysis was supplemented with limited visual inspection of the project area to document existing field conditions. Subsurface testing was not possible within the archaeological APE due to the presence of the existing railroad, roadways, berms, stormwater features, landscaping, an airport, parking lots, other hardscape, and buried utilities.

9.2 Historic Resources Survey Methods

A historic resource assessment survey was conducted within the APE using standard field methods to identify and record historic structures. All buildings within the historic APE received a preliminary visual reconnaissance. Any resource with features indicative of 1983 or earlier construction materials, building methods, or architectural styles were noted on aerial photographs and a USGS quadrangle map. Previously recorded resources were field verified to the extent possible for any updates to their status.

For each newly identified historic resource, FMSF forms were filled out with field data, including notes from site observations and research findings. FMSF forms were only completed for a newly recorded segment of a previously recorded historic linear resource. The only other previously recorded historic resource in the APE was inaccessible. No resources that were previously recorded within the APE have been demolished.

FMSF forms were completed with field data, including notes from site observations and informant interviews. Additionally, the estimated date of construction, distinctive features, and architectural style were noted. All buildings, structures, and objects were photographed using a high-resolution digital camera. A log was kept to record the resource's physical location and compass direction of each photograph.

Each historic resource's individual significance was then evaluated for its potential eligibility for listing in the National Register. Historic physical integrity was determined from site observations, field data, and photographic documentation. Local informants were consulted to assist in the research for known significant historical associations.

Concentrations of historic resources within the APE for the project were noted in terms of the potential for inclusion in a historic district. Each resource's present condition, location relative to other resources, and distinguishing neighborhood characteristics were noted and photographed for accurate assessment of National Register Historic District eligibility.

9.3 Certified Local Government Coordination and Local Informants

In accordance with FDHR Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code,* attempts were made to contact and interview local informants. Local informants may often provide valuable information which is otherwise not available through official records or library collections. The APE is located within the cities of Fort Lauderdale, Dania Beach, Hollywood, and Hallandale Beach in Broward County. The cities of Fort Lauderdale and Hollywood, as well as Broward County, are listed on the May 1, 2023, list of CLGs posted on the FDHR website (FDHR 2023).

Therefore, Rick Ferrer, Broward County Historic Preservation Officer; Trisha Logan, Historic Preservation Board Liaison for the City of Fort Lauderdale; and Raysa Santana, Planning Manager for the City of Hollywood, were contacted via email on July 14, 2023, regarding the project. The email for Ms. Santana returned as undeliverable. Attempts to locate an alternative City of Hollywood contact were unsuccessful. On July 15, Ms. Logan responded that the City recently identified some potential local landmarks and historic districts in the area including the structure within the current APE at 1527 SW 1st Avenue (8BD8182). The other proposed landmarks and historic districts are outside of the current project APE. Mr. Ferrer referred the inquiry to the County's consultant, Brad Lanning. Mr. Lanning requested the GIS files for the APE locations to verify whether any resources or archaeological zones correspond to the APE on July 25. That day, Janus Research staff provided Mr. Lanning with the APE GIS files. On August 1, Mr. Lanning provided a letter indicating that the Gieges Building (8BD2552), the Hallandale Beach RR Station Foundation (8BD8236), the Dania Bank building (8BD0257), the West Lawn Memorial Cemetery (8BD3410), and Hotel Poinciana (8BD143) are locally significant resources located near, but not in the APE. Additionally, Mr. Lanning indicated that the northern end of the project corridor extends into Broward County archaeological zone AZ-11 (South Bank New River – Tarpon River), and that the zone is within the City of Fort Lauderdale.

On July 14, 2023, the Hollywood Historical Society, Inc. and History Fort Lauderdale were contacted for additional information on the resources within their communities. The Hollywood Historical Society, Inc. did not respond to the information request. History Fort Lauderdale conducted research of their archives and provided additional information on the (former) Fort Lauderdale Antique Car Museum located at 1527 SW 1st Avenue (8BD8182). The information provided by History Fort Lauderdale included Sanborn maps and aerials of the structure. The information was used in the current report and eligibility recommendation.

10.0 Results

This chapter discusses the results of the survey to identify and evaluate the National Register eligibility of archaeological and historic resources within the project APEs.

10.1 Archaeological Resources Results

No previously recorded archaeological resources were identified within the archaeological APE during the background research. Archaeological sites previously identified within one mile of the archaeological APE are mostly located adjacent to rivers. One 620-foot-long segment at the northern end of the archaeological APE for the SFTL Station is within an area recently designated as part of the South Bank New River – Tarpon River Archaeological Zone (City of Fort Lauderdale 2017). This part of the archaeological APE is entirely within the existing railroad corridor, and subsurface utilities are also present. One other location within the current archaeological APE was considered to have elevated archaeological site potential based on the review of historic environmental conditions. However, the former hammock near the south end of the archaeological APE at the FLL Airport Station has been subjected to subsurface testing during past survey work. This testing revealed that the area had already been disturbed at the time of the survey. No archaeological materials were recovered in this area or elsewhere in the archaeological APE during any past surveys. Much of the archaeological APE has not been subjected to archaeological testing due to the presence of the historic railroad corridor and other early development within these urban areas.

Background research and the visual inspection of the archaeological APE for proposed new stations determined that these areas have low potential to contain intact archaeological sites. The APE has been heavily disturbed by the construction of the railroad, roads, an airport, berms, land shaping for stormwater retention facilities, and the surrounding development, including the installation of buried utilities and drainage systems. Due to these obstructions, subsurface testing within the archaeological APE was not possible. **Figures 17-20** show the existing conditions within the archeological APE.

Figure 17: Railroad, Pavement, and Underground Utilities in the Hollywood Station APE near Hollywood Boulevard and N 21st Avenue, Facing North

Figure 18: Railroad, Pavement, and Underground Utilities in the Hollywood Station APE near N. Dixie and Polk Street, Facing South

Figure 19: Pavement and Underground Utilities in the FLL Airport Station APE near US 1 and Griffin Road, Facing Southwest

Figure 20: Rail, Pavement, and Underground Utilities in the SFTL Station APE near SW 17th Street, Facing Northeast

10.2 Historic Resources Results

The historic resources survey and background research resulted in the identification and evaluation of 15 previously identified structures, five previously identified resource groups, and 54 newly identified structures (**Table 11**). One of the resource groups is the National Register listed Hollywood Boulevard Commercial Historic District (8BD3284) and two of the contributing resources to the Historic District: Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574). The district and the contributing resources were listed in the National Register under Criterion A in the areas of Commerce, and Community Planning and Development. The contributing resources are not individually eligible for the National Register. The fourth eligible resource is the FEC Railway (8BD4087), which has been determined National Register eligible under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. The FEC Railway extends the entire length of the project APE. The remaining resources are determined or considered National Register ineligible, individually and as contributing resources, due to a lack of significant historical association or lack of integrity. **Table 11** provides a summary of the resources including a justification for the National Register recommendations for each resource.

Summary of Results by Station:

Within the project APE for the Hollywood Station, there are 49 historic resources. The survey verified that the Hollywood Boulevard Commercial Historic District (8BD3284) remains eligible for the National Register as do the two contributing resources within the current project APE, Broward Building/2032-2050 Hollywood Boulevard (8BD5730), and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574). The district and the contributing resources were listed in the National Register under Criterion A in the areas of Commerce, and Community Planning and Development. The contributing resources are not individually eligible for the National Register. The FEC Railway (8BD4087) also remains eligible for the National Register. The FMSF forms for these four resources were not updated as their eligibilities have not changed. Although the Hollywood Publishing Company/219 N. 21st Avenue (8BD376) is a locally designated landmark, it was not previously evaluated for National Register eligibility by the SHPO. This survey recommends that the resource is National Register ineligible, individually and as a contributing resource to a historic district, based on a lack of significant historical associations and the extensive alterations that have occurred to the structure. The remaining resources located within the APE for the Hollywood Station, consisting of six (6) previously recorded standing structures (8BD375, 8BD381, 8BD383, 8BD414, 8BD888, 8BD5684), one resource group (8BD4227) and 37 newly identified structures (8BD9339, 8BD9342-8BD9350, 8BD9411-8BD9432, 8BD9459-8BD9463) are recommended National Register ineligible, individually and as contributing resources to historic districts.

The survey of the FLL Airport Station project APE resulted in the identification of three previously identified resource groups: Federal Highway (8BD4373), FEC Railway (8BD4087), SR A1A (8BD4776), and one newly identified structure at 3318 SW 2nd Avenue (8BD9338). The Federal Highway and SR A1A follow the same path in the APE and are both recommended ineligible under Criteria A, B, C, and D due to a lack of significant historic associations and integrity due to alterations to their locations and materials. Sections, but not all, of these resources within the current project APE have been previously determined National Register ineligible. Historical research has not revealed any new information to alter the previous determination of ineligibility. The FEC Railway (8BD4087) remains eligible for its association with the early development of the state of Florida. Finally, the newly identified structure is recommended ineligible due to its commonality and lack of historic associations.

The survey of the SFTL Station resulted in the identification and evaluation of one resource group, the FEC Railway (8BD4087), six previously recorded standing structures (8BD4425, 8BD5893, 8BD5897, 8BD5898, 8BD8176, 8BD8182), and 16 newly identified structures (8BD8252, 8BD8254-8BD8256, 8BD8259, 8BD9326, 8BD9327, 8BD9330-BD9337, and 8BD9468). The FEC Railway remains eligible for the National Register within the SFTL Station APE. Four of the previously recorded structures have been determined National Register ineligible by the SHPO (8BD4425, 8BD5893, 8BD5897, 8BD5898) and the two remaining previously recorded have not been evaluated (8BD8176 and 8BD8182). The previously recorded resource at 205 SW 17th Street (8BD8176) is a Mid-Century Modern Style structure that lacks significant historical association and has been altered. Therefore, it is recommended National Register ineligible individually and as a contributing resource under Criteria A, B, C, and D. The other previously recorded, but not evaluated, resource is the (former) Fort Lauderdale Antique Car Museum/1527 SW 1st Avenue (8BD8182). The structure was recently identified by the City of Fort Lauderdale as a potential local historic landmark due to its architectural significance. The current report recommends that the structure is National Register ineligible individually and as a contributing resource under Criteria A, B, C, and D based on the alterations to the building and the lack of significant historical associations. The remaining newly identified resources (8BD8252, 8BD8254-8BD8256, 8BD8259, 8BD9326, 8BD9327, 8BD9330-BD9337, and 8BD9468) also do not maintain adequate integrity or significant historical association and are therefore considered National Register ineligible individually and as contributing resources under Criteria A, B, C, and D.

Table 11 provides the resources identified and evaluated within each station's APE including a justification for the National Register recommendation. **Figures 21a-21i** show the locations of the identified historic resources within the current project APE. Photographs of all resources and narratives for select resources are provided below. FMSF forms for all newly identified and any

previously recorded that have not been previously evaluated or have changed since their last update are attached in **Appendix B**.

Table 11: Identified Historic Resources Within the Project APE (highlighted resources are Listed on the National Register or Determined National Register Eligible)

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
Hollywood Station APE					
8BD375	American Legion Post 92/205-207 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1926	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD376	The Hollywood Publishing Company/219 N. 21st Avenue	Commercial/ Masonry Vernacular	1924	Considered National Register Ineligible/ Locally Designated by the City of Fort Lauderdale	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD381	921 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1926	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD383	109-111 1/2 S. Dixie Highway	Commercial	ca 1926	Considered National Register Ineligible	No Significant Historical Associations
8BD414	Watson, Jack Residence/2140 Fillmore Street	Single-Family Residence/ Frame Vernacular	ca 1926	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD573	Broward or Kington Building/2032-2050 Hollywood Boulevard	Commercial/ Masonry Vernacular	1924	Listed on the National Register as a Contributing Resource to the Hollywood Boulevard Historic Business District; Considered Individually Ineligible for the National Register	Listed on the National Register, Maintains Significant Historical Associations and Integrity.
8BD574	Ingram Arcade/2033-2051 Hollywood Boulevard	Commercial/ Masonry vernacular	1921	Listed on the National Register as a Contributing Resource to the Hollywood Boulevard Historic Business District; Considered Individually Ineligible for the National Register	Listed on the National Register, Maintains Significant Historical Associations and Integrity.
8BD888	2135 Taylor Street	Single-Family Residence/ Frame Vernacular	ca 1926	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD3284	Hollywood Boulevard Historic Business District.	FMSF Building Complex	1921-1946	Listed on the National Register	Listed on the National Register, Maintains Significant Historical Associations and Integrity.
8BD4087	FEC Railway	Linear Resource	1896-1959	Determined National Register Eligible	Maintains Significant Historical Associations and Integrity.
8BD4227	Dixie Highway	Linear Resource	1915-1947	Considered National Register Ineligible Within the Current Project APE	Lack of Integrity Due to Alterations
8BD5684	Firestone/106 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1967	Determined National Register Ineligible	No Significant Historical Associations
8BD09339	2038 Hayes Street	Commercial/ Masonry Vernacular	ca 1960	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09342	505 N 21st Avenue	Commercial/ Masonry Vernacular	ca 1956	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09343	510 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1952	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD09344	2121 Fillmore Street	Commercial/ Masonry Vernacular	ca 1944	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09345	2125 Fillmore Street	Single-Family Residence/ Masonry Vernacular	ca 1954	Considered National Register Ineligible	No Significant Historical Associations
8BD09346	2129 Fillmore Street	Single-Family Residence/ Masonry Vernacular	ca 1952	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09347	2139 Fillmore Street	Single-Family Residence/ Frame Vernacular	ca 1932	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09348	2143 Fillmore Street	Single-Family Residence/ Masonry Vernacular	ca 1949	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09349	2205 Fillmore Street	Multi-Family Residence/ Masonry Vernacular	ca 1964	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09350	2206 Fillmore Street (Building 1)	Multi-Family Residence/ Masonry Vernacular	ca 1959	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD09411	2216 Fillmore Street	Apartment Laundry/ Masonry Vernacular	ca 1955	Considered National Register Ineligible	No Significant Historical Associations
8BD09412	2205-2207 Taylor Street	Residential/ Tudor Revival	ca 1950	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09413	2209-2211 Taylor Street	Multi-Family Residential/ Masonry Vernacular	ca 1974	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09414	Four Star Auto Sales and Body/400 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1967	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09415	2113 Taylor Street	Multi-Family Residential/ Masonry Vernacular	ca 1940	Considered National Register Ineligible	No Significant Historical Associations
8BD09416	2121 Taylor Street	Multi-Family Residential/ Masonry Vernacular	ca 1951	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09417	2129 Taylor Street	Residential/ Frame Vernacular	ca 1925	Considered National Register Ineligible	No Significant Historical Associations
8BD09418	Classic Collision/338 N Dixie Highway	Commercial/ Mid-Century Modern	ca 1955	Considered National Register Ineligible	No Significant Historical Associations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD09419	Skin and Body/2040 Polk Street	Commercial/ Masonry Vernacular	ca 1945	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09420	City Glass/200 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1966	Considered National Register Ineligible	No Significant Historical Associations
8BD09421	Clark Acupuncture Associates/130-132 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1957	Considered National Register Ineligible	No Significant Historical Associations
8BD09422	Area 51 Smoke Shop/128 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1958	Considered National Register Ineligible	No Significant Historical Associations
8BD09423	Title Services/126 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1959	Considered National Register Ineligible	No Significant Historical Associations
8BD09424	2100-2112 Tyler Street	Commercial/ Masonry Vernacular	ca 1966	Considered National Register Ineligible	No Significant Historical Associations
8BD09425	2116-2124 Tyler Street	Commercial/ Masonry Vernacular	ca 1956	Considered National Register Ineligible	No Significant Historical Associations
8BD09426	2126 Tyler Street	Commercial/ Masonry Vernacular	ca 1959	Considered National Register Ineligible	No Significant Historical Associations
8BD09427	2134 Tyler Street	Commercial/ Masonry Vernacular	ca 1960	Considered National Register Ineligible	No Significant Historical Associations
8BD09428	2140-2154 Tyler Street	Commercial/ Masonry Vernacular	ca 1968	Considered National Register Ineligible	No Significant Historical Associations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD09429	110 N Dixie Highway	Commercial/ Masonry Vernacular	ca 1964	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09430	127 S 21st Avenue	Commercial/ Mission Revival	ca 1948	Considered National Register Ineligible	No Significant Historical Associations
8BD09431	2032 Harrison Street	Commercial/ Masonry Vernacular	ca 1955	Considered National Register Ineligible	No Significant Historical Associations
8BD09432	113-117 S 21st Avenue	Commercial/ Masonry Vernacular	ca 1947	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09459	514-516 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1949	Considered National Register Ineligible	No Significant Historical Associations
8BD09460	520 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1950	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09461	524 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1941	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09462	526-530 N. Dixie Highway	Commercial/ Masonry Vernacular	ca 1948	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD09463	505-515 N. 21st Avenue	Commercial/ Masonry Vernacular	ca 1956	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
FLL Airport Station					
8BD4087	FEC Railway	Linear Resource	1896-1959	Determined National Register Eligible	Maintains Significant Historical Associations and Integrity.
8BD4373	Federal Highway	Linear Resource	1927-1959	Considered National Register Ineligible Within the Current Project APE	Lack of Integrity Due to Alterations
8BD4776	SR-A1A	Linear Resource	1925-2010	Considered National Register Ineligible Within the Current Project APE	Lack of Integrity Due to Alterations
8BD9338	3318 SW 2nd Avenue	Masonry Vernacular	ca 1952	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
South Fort Lauderdale Station					
8BD4087	FEC Railway	Linear Resource	1896-1959	Determined National Register Eligible	Maintains Significant Historical Associations and Integrity.

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD4425	Back and Neck Pain Center/1627 S. Andrews Avenue	Commercial/ Masonry Vernacular	ca 1955	Determined National Register Ineligible	No Significant Historical Associations
8BD5893	Maritime Professional Training/1909 1st Avenue	Commercial/ Masonry Vernacular	ca 1950	Determined National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD5897	East Coast Battery and Electric/100 SW 17th Street	Commercial/ Masonry Vernacular	ca 1952	Determined National Register Ineligible	No Significant Historical Associations
8BD5898	Southport Auto Repair/101 SW 17th Street	Commercial/ Masonry Vernacular	ca 1959	Determined National Register Ineligible	No Significant Historical Associations
8BD8176	205 SW 17th Street	Single-Family Residence/ Mid-Century Modern	1945	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD8182	(former) Antique Car Museum/1527 SW 1st Avenue	Commercial/ Moderne	ca 1950	Considered National Register Ineligible/ Recommended for Local Designation	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD08252	100 SW 15th Street	Commercial/ Masonry Vernacular	ca 1973	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD08254	1417 SW 1st Avenue	Commercial/ Masonry Vernacular	ca 1972	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD08255	201 SW 15th Street	Commercial/ Masonry Vernacular	ca 1969	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD08256	209 SW 15th Street	Commercial/ Masonry Vernacular	ca 1945	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD08259	200 SW 14th Court (Building 1)	Commercial/ Masonry Vernacular	ca 1968	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09326	211 SW 16th Street (Building 1)	Commercial/ Masonry Vernacular	ca 1968	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09327	211 SW 16th Street (Building 2)	Commercial/ Masonry Vernacular	ca 1969	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09330	200 SW 16th Court (Building 1)	Commercial/ Masonry Vernacular	ca 1954	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations

FMSF No.	Name/Address	Type/Style (if applicable)	Year Built	Recommended SHPO National Register Evaluation	Justification for Recommendation
8BD09331	200 SW 16th Court (Building 2)	Commercial/ Masonry Vernacular	ca 1954	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09332	100 SW 16th Street	Commercial/ Masonry Vernacular	ca 1957	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09333	1605 & 1611 SW 1st Avenue	Commercial/ Masonry Vernacular	ca 1950	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09334	1611 S Andrews Avenue	Commercial/ Masonry Vernacular	ca 1959	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09335	1623 S Andrews Avenue	Commercial/ Masonry Vernacular	ca 1958	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09336	17 SW 17th Street/Farm Stores	Commercial/ Masonry Vernacular	ca 1963	Considered National Register Ineligible	No Significant Historical Associations
8BD09337	201 SW 20th Street	Commercial/ Industrial Vernacular	ca 1959	Considered National Register Ineligible	No Significant Historical Associations; Lack of Integrity Due to Alterations
8BD09468	1506 SW 1st Avenue	Commercial/ Masonry Vernacular	ca 1958	Considered National Register Ineligible	No Significant Historical Associations

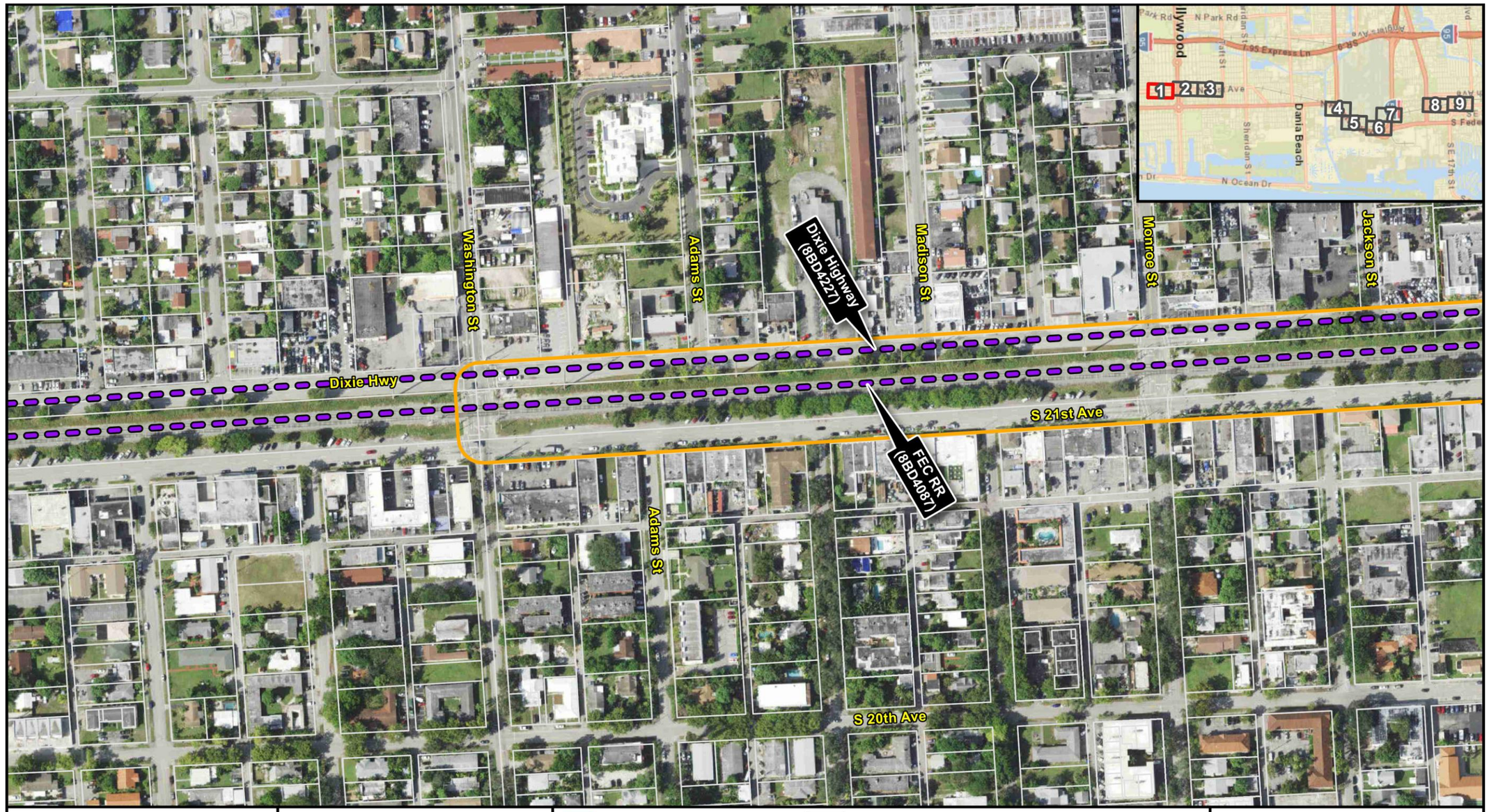

Figure 21a: Identified Historic Resources (Map 1 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

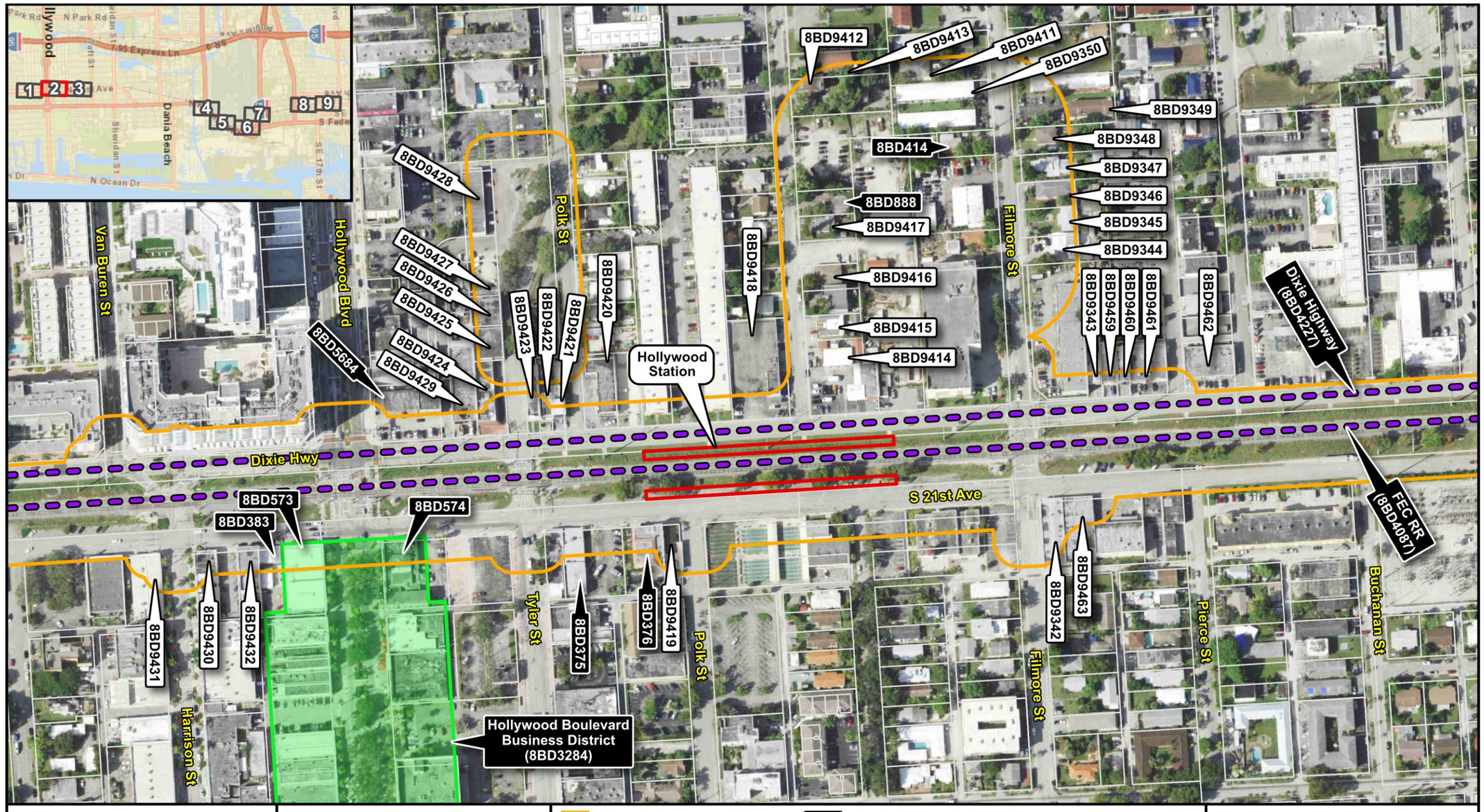

Figure 21b: Identified Historic Resources (Map 2 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

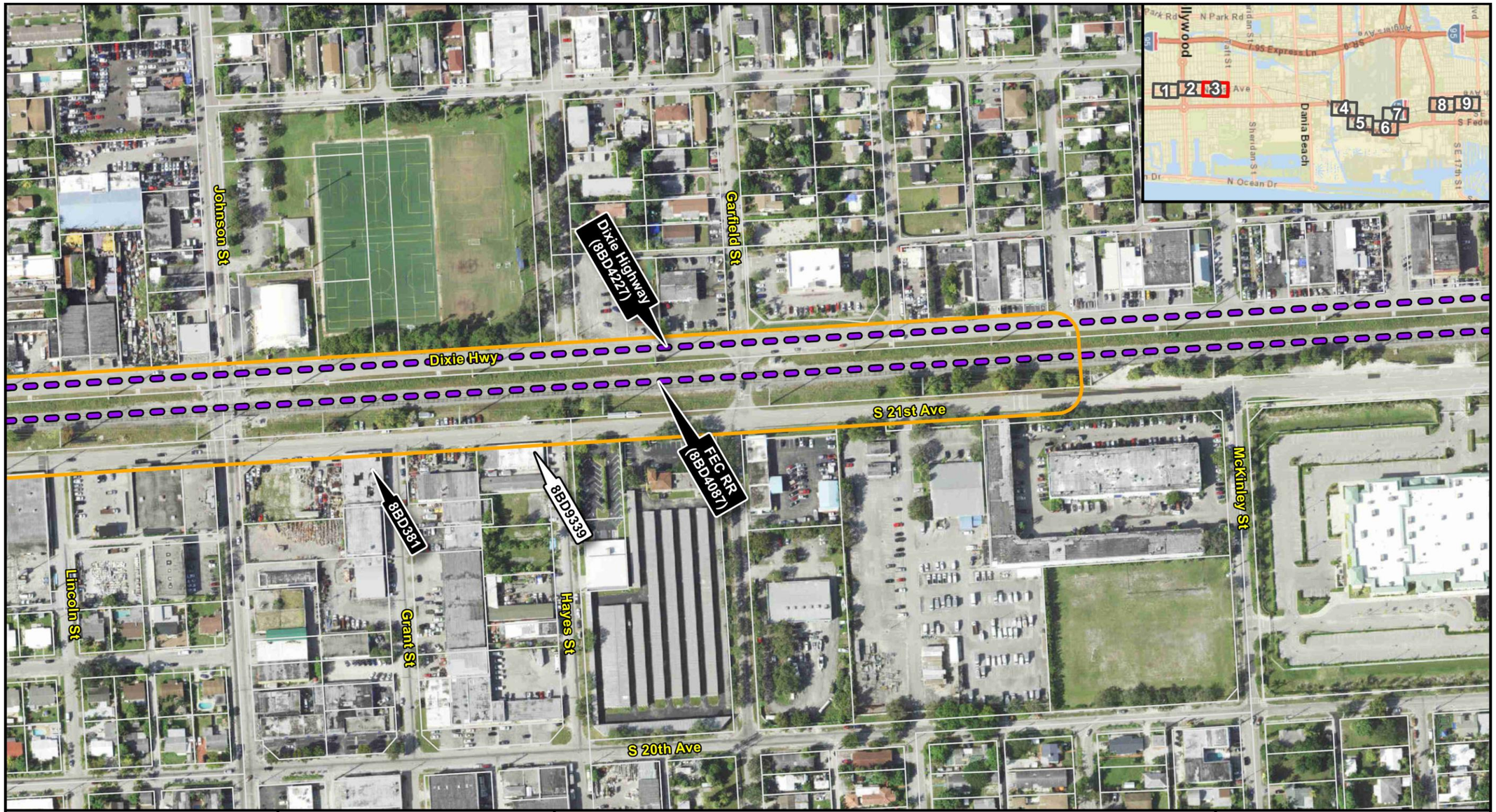

Figure 21c: Identified Historic Resources (Map 3 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

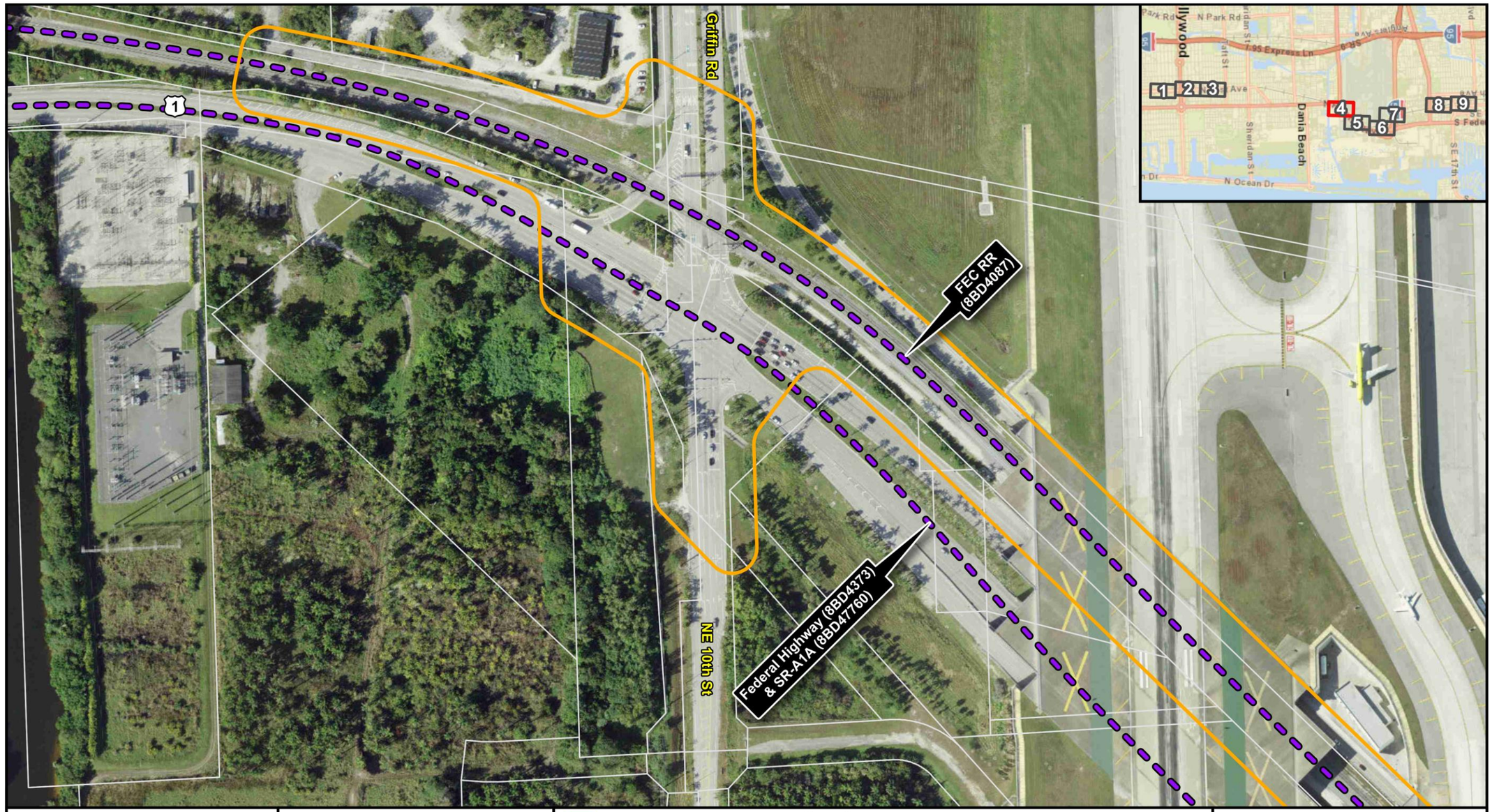

Figure 21d: Identified Historic Resources (Map 4 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

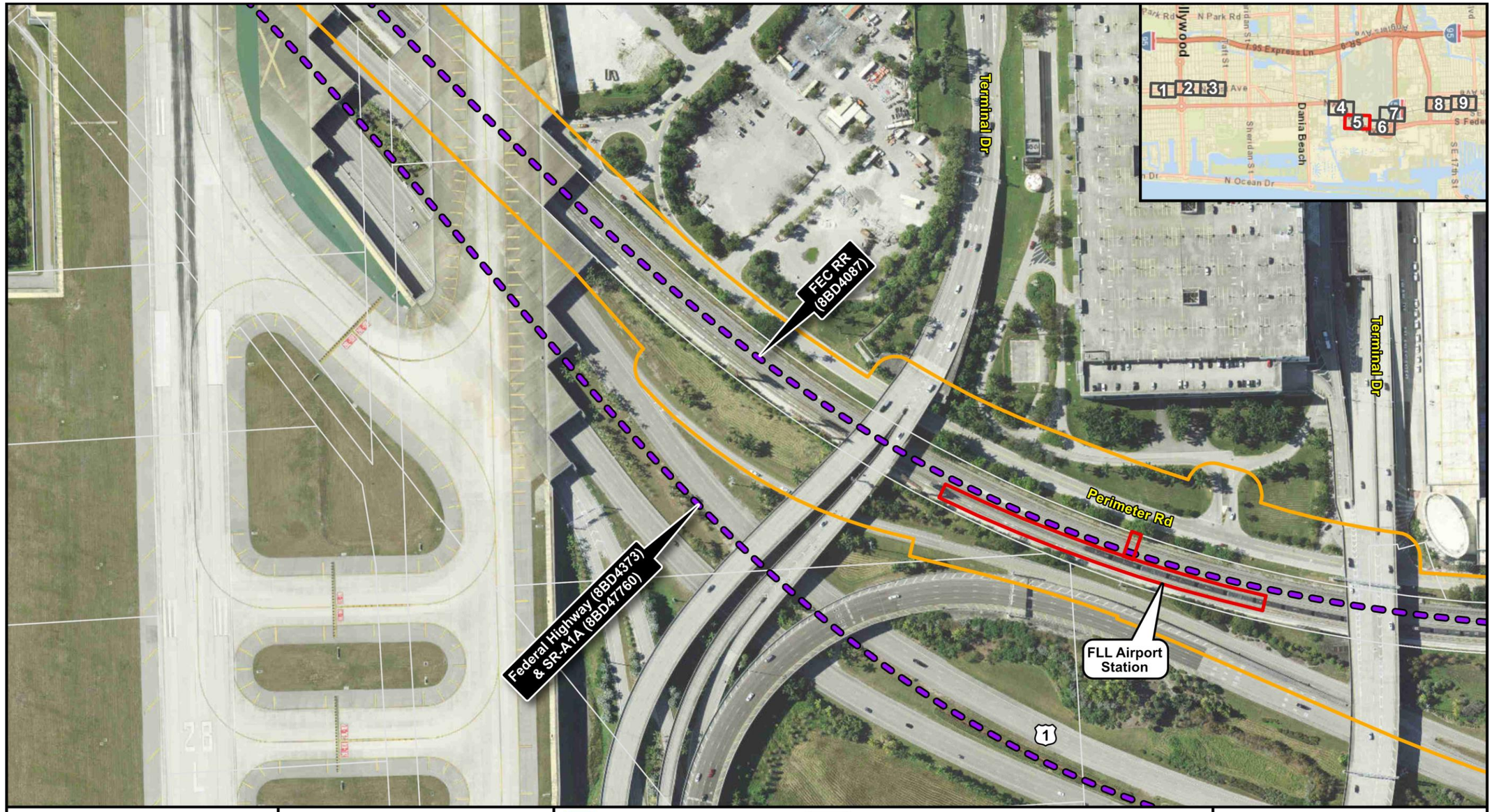

Figure 21e: Identified Historic Resources (Map 5 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

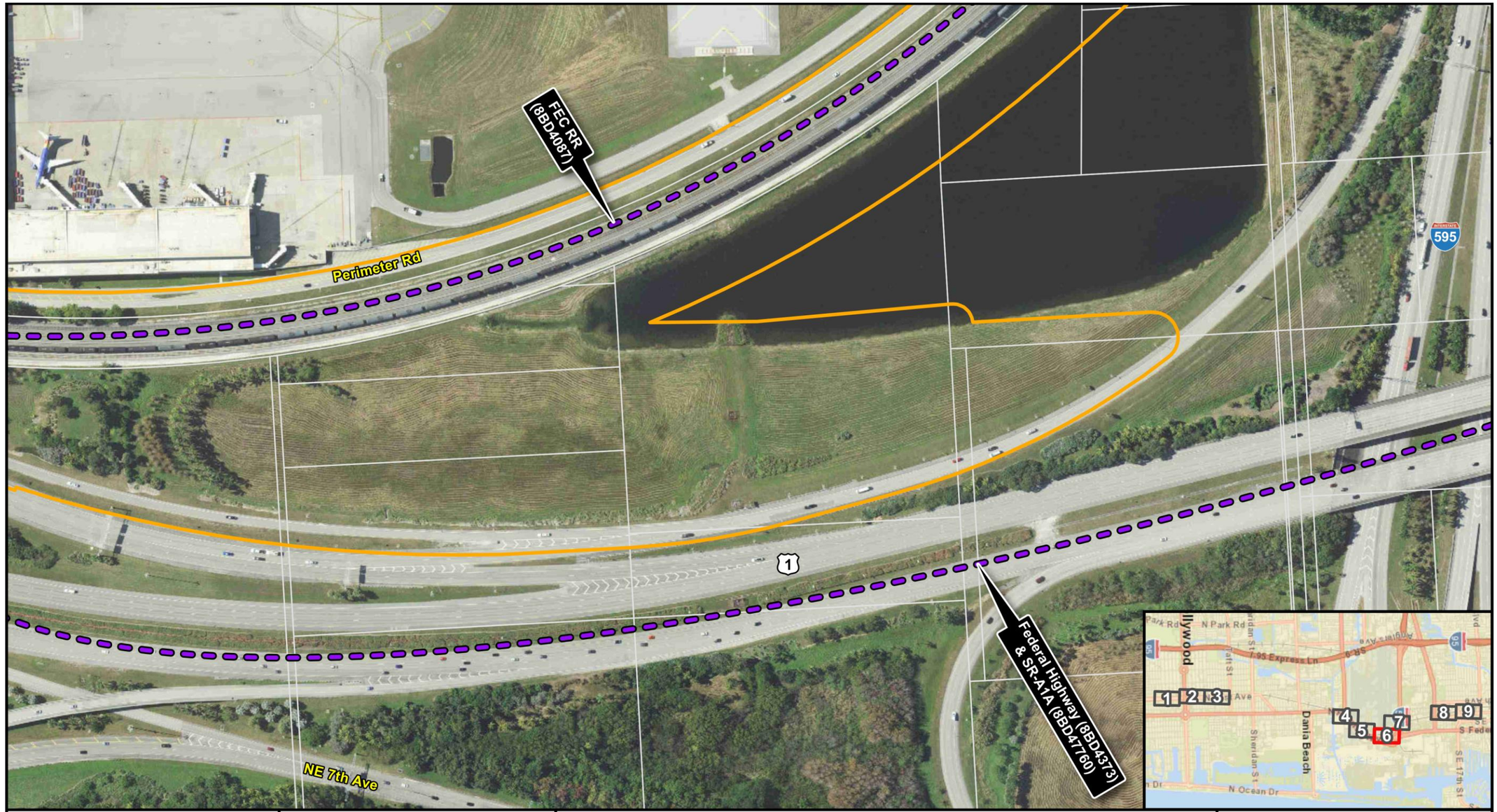

Figure 21f: Identified Historic Resources (Map 6 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

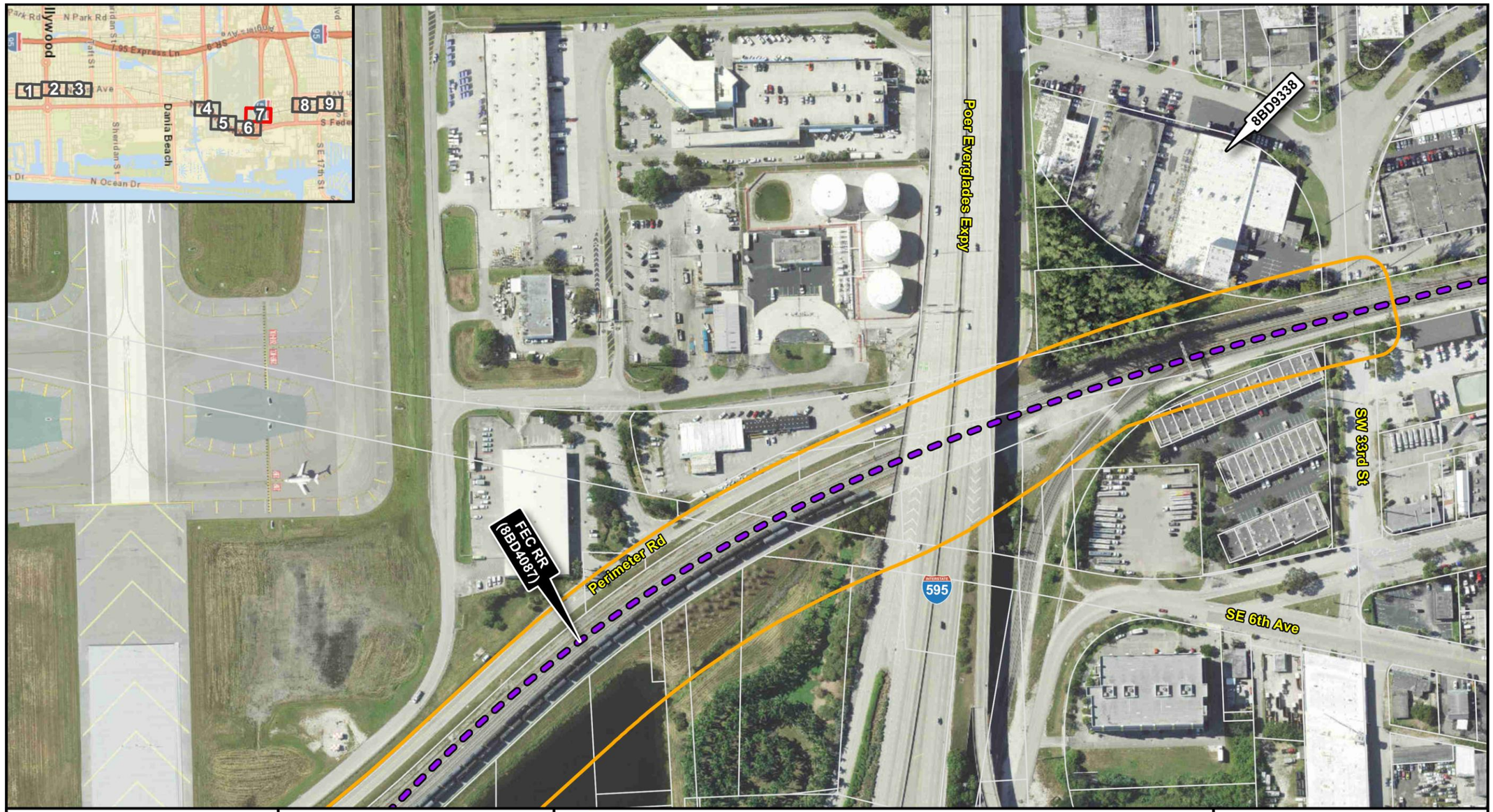

Figure 21g: Identified Historic Resources (Map 7 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

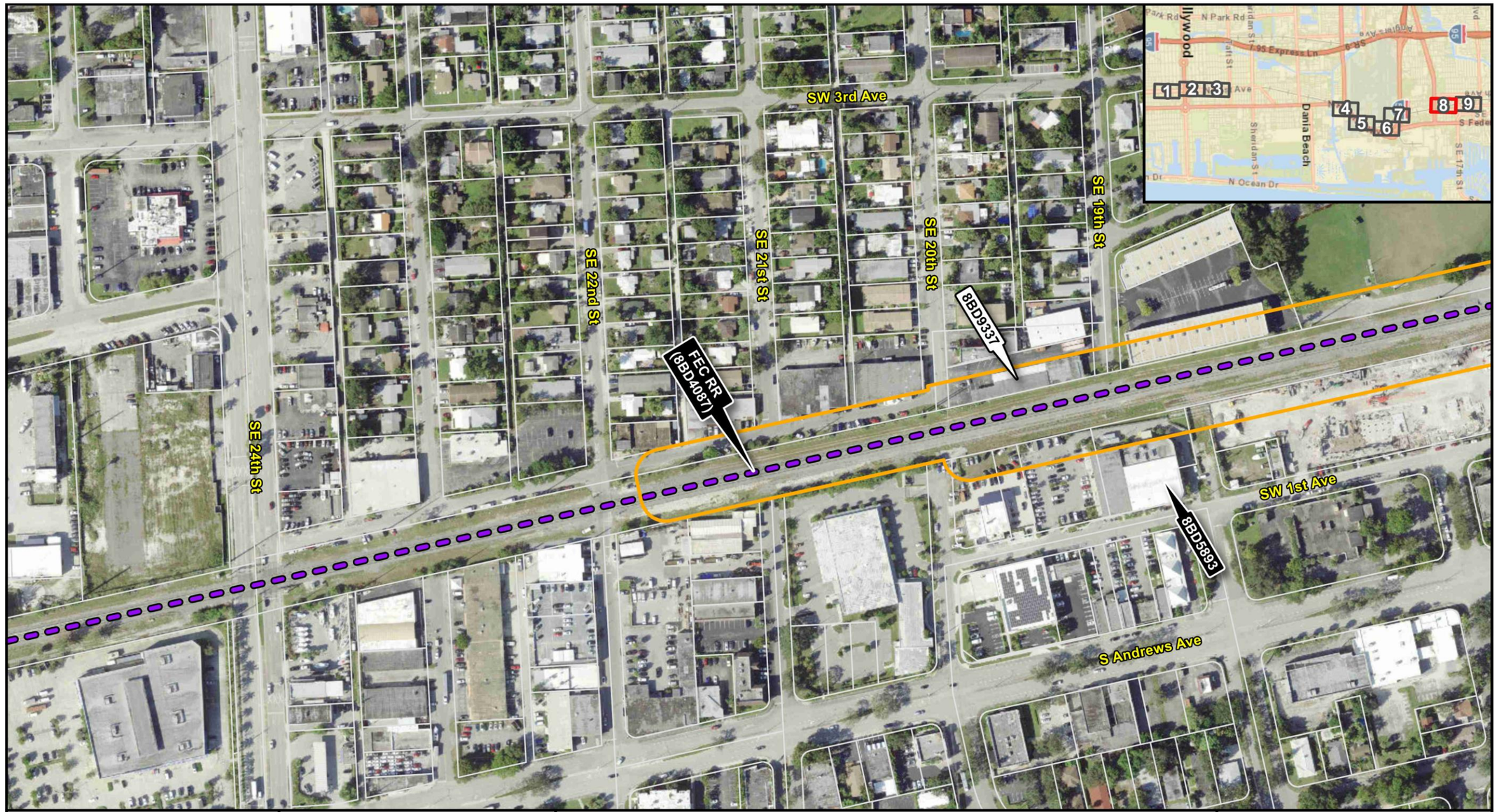

Figure 21h: Identified Historic Resources (Map 8 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

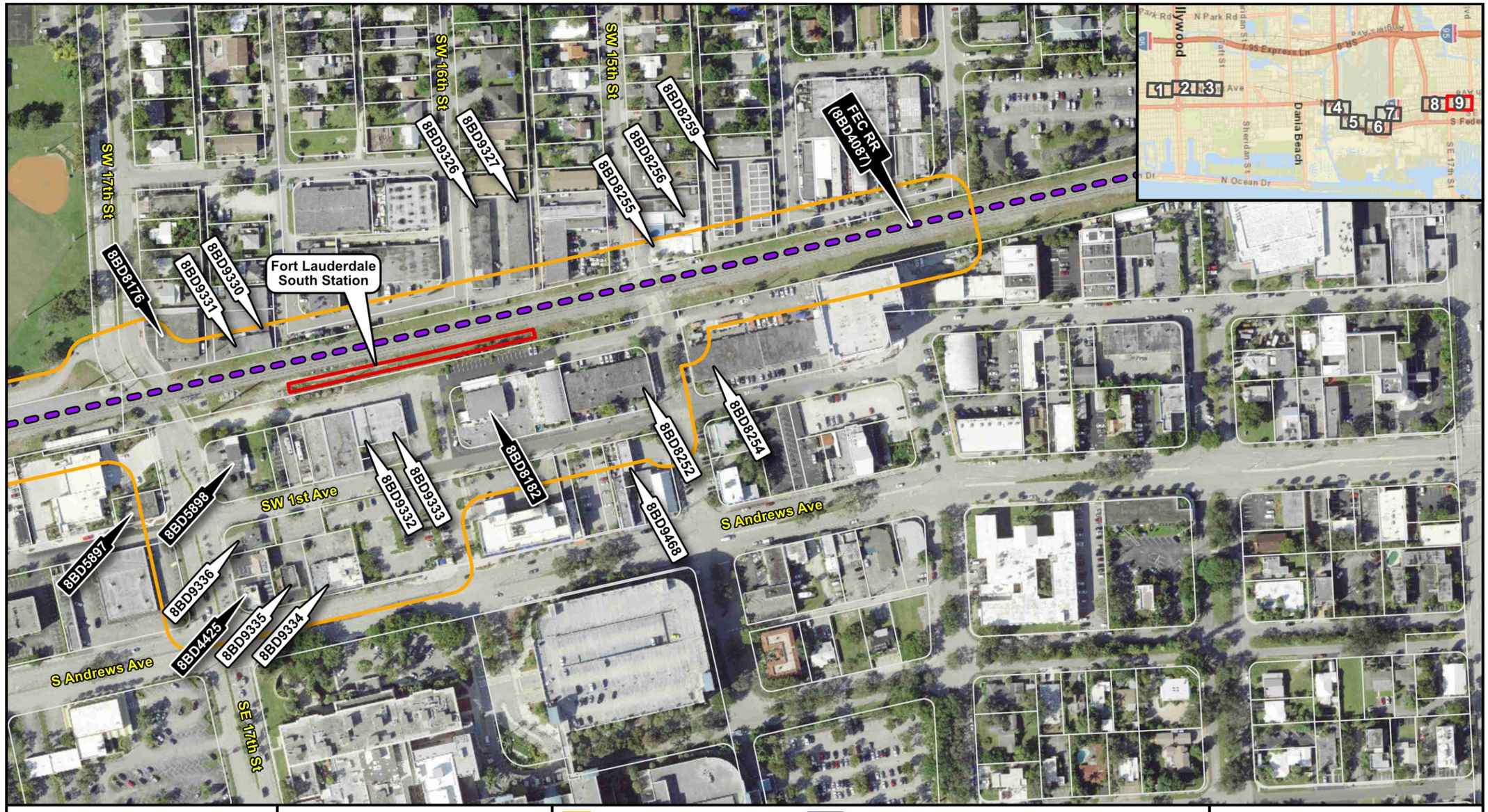

Figure 21i: Identified Historic Resources (Map 9 of 9)

Broward Commuter Rail South

- Historic Resources APE
- Station Platform
- Historic Resource Group
- Historic Linear Resource
- 8BD00 Newly Recorded Historic Resource
- 8BD00 Previously Recorded Historic Resource

Broward County

0 250 Feet

10.2.1 Historic Resources Determined Eligible or Listed on the National Register or Contributing Resources to Identified Historic District

The CRAS resulted in the identification of four resources that are National Register listed or determined National Register eligible. The Hollywood Boulevard Commercial Historic District (8BD3284) is listed on the National Register under Criterion A in the areas of Commerce, and Community Planning and Development. Two contributing resources to the District, Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574), are located within the project APE (**Figure 22**). The two contributing resources to the District are not individually eligible for the National Register. The fourth significant resource is the Florida East Coast (FEC) Railway (8BD4087), which has been determined National Register eligible. The FEC Railway (8BD4087) extends along the entire project corridor. The FEC Railway is National Register eligible under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. Below are photos of the resources (**Figures 23-27**) and a narrative for the Hollywood Boulevard Historic District (8BD3284).

Historic District:

8BD03284 Hollywood Boulevard Historic Business District

The Hollywood Boulevard Historic Business District is located within Section 15, Township 51 South, Range 42 East on the Fort Lauderdale South (1952 PR 1983) USGS quadrangle map, in the city of Hollywood, Broward County, Florida (**Figure 22**). When the historic district was listed on the National Register in 1999, it was composed of 34 contributing commercial-use buildings and two sites associated with the early commercial development of Hollywood that were constructed between 1921 and 1946. The boundaries of the district encompass only buildings that face Hollywood Boulevard. The prevailing architectural styles found in the district are Mediterranean Revival, Moderne, and Masonry Vernacular. The buildings represent the growth of Hollywood after the city was platted by Joseph Wesley Young in 1921. Based on the City Beautiful Movement, the city was designed to have wide boulevards, carefully planned vegetation, and ample greenspaces. The resulting design gave Hollywood Boulevard, the main commercial thoroughfare, a distinctive feel with a wide roadway and sidewalks, ornamental lights posts, tropical vegetation, and circular parks along its path for one mile from the FEC Railway towards the Atlantic Ocean. The western boundary of the district is W 21st Avenue, which is located within the current project APE.

The historic district maintains its original location, setting, and design. Although the original material has been replaced, the roadway and sidewalks remain wide and reflect the original design. However, west of W 21st Avenue, and outside of the historic district boundaries, the roadway design has been modernized resulting in the alteration and removal of important aspects

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of Young's design such as wide sidewalks and vegetation (**Figures 23-24**). The district remains eligible for the National Register under Criteria A in the areas of Commerce and Community Planning and Development.

Two resources that contribute to the historic district are located within the current project APE for the Hollywood Station: 8BD0573 and 8BD0574. Representative photographs of the resources are provided below (**Figures 25-26**). The resources maintain their integrity and remain eligible for the National Register as contributing resources to the Hollywood Boulevard Historic Business District under Criteria A in the areas of Commerce and Community Planning and Development. The resources are not individually eligible for the National Register.

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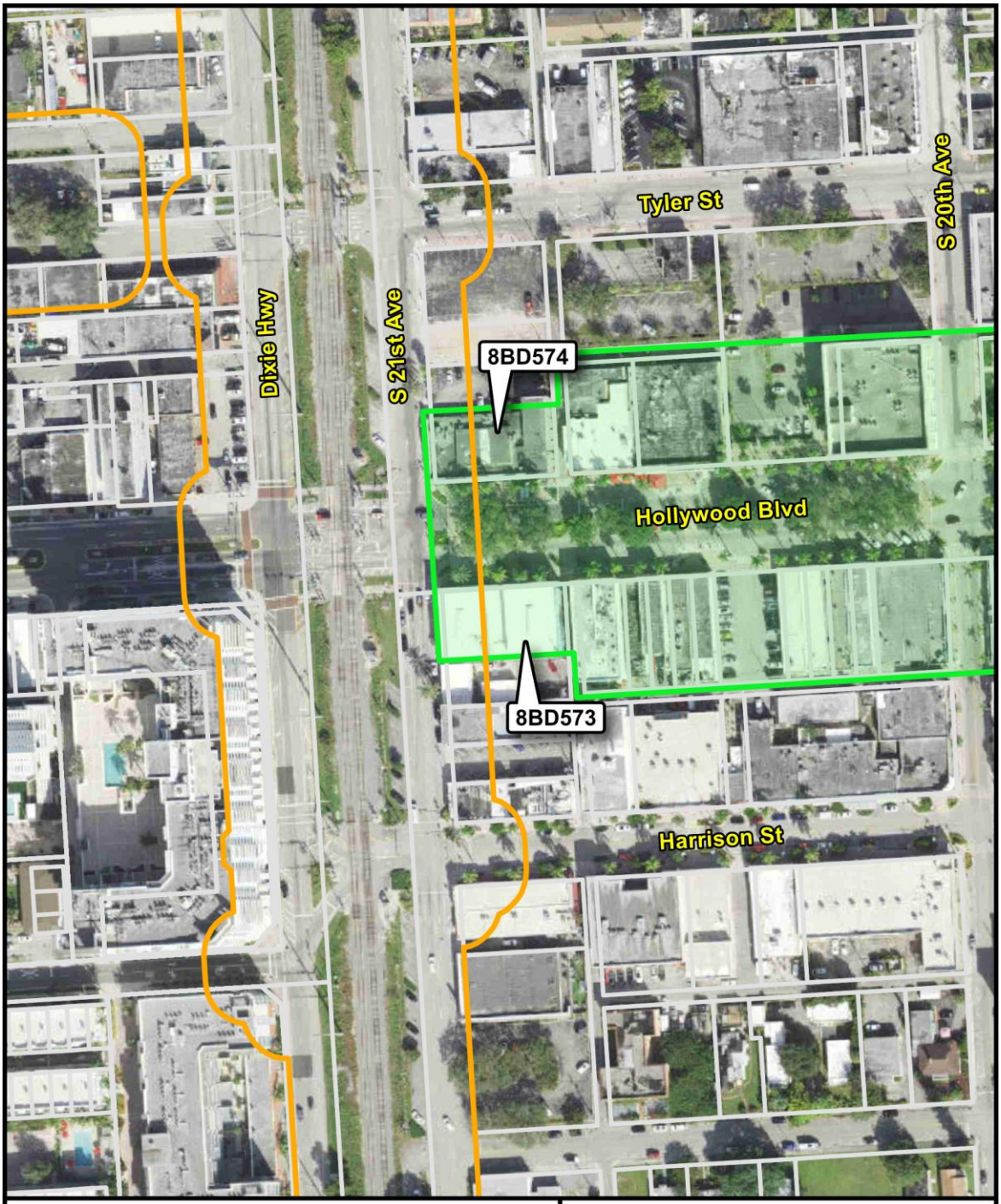

Figure 22: National Register-Listed Hollywood Boulevard Business District

Broward Commuter Rail South

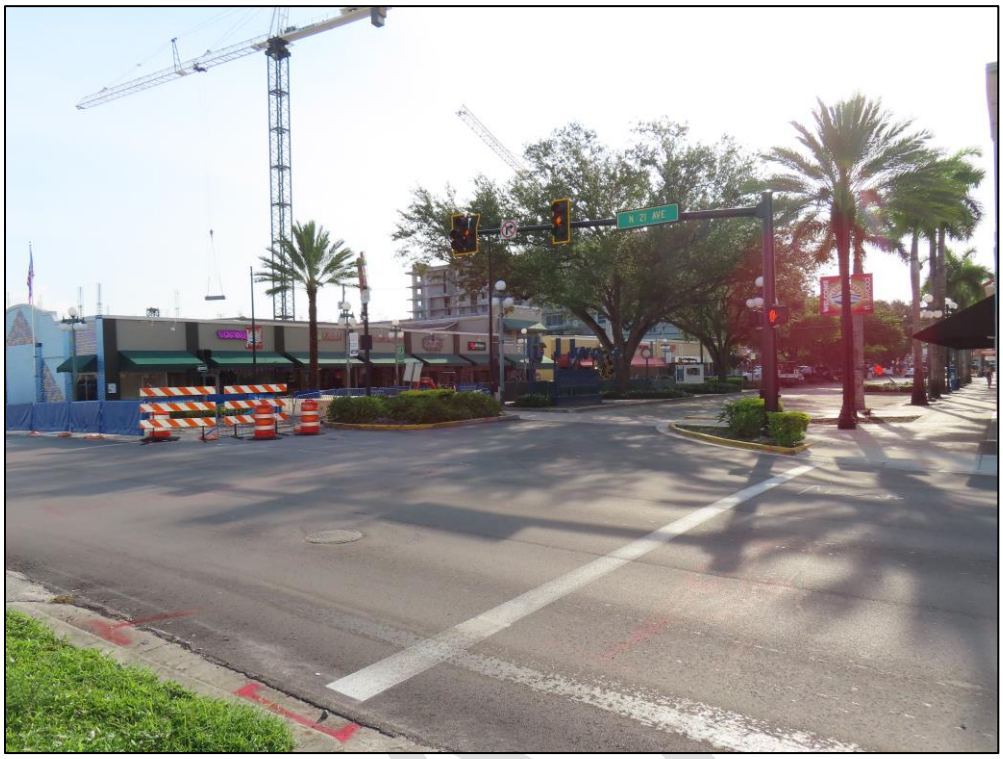

Figure 23: Hollywood Boulevard Historic Business District (8BD03284), at the intersection of W 21st Avenue and Hollywood Boulevard showing the original design of Young (background) including heavy vegetation in the medians and sidewalks, wide sidewalks and a wide roadway, facing Northeast

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Figure 24: Hollywood Boulevard Historic Business District (8BD03284), at the intersection of W 21st Avenue and Hollywood Boulevard showing the state of the design outside of the historic district boundaries (background) including modernized roadway, removal of vegetated medians, and standard sidewalk width, facing West

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Contributing Resources to the Hollywood Boulevard Historic Business District:

Figure 25: Broward or Kington Building/2032-2050 Hollywood Boulevard (8BD0573), ca 1924, National Register Listed as a Contributing Resource to the Hollywood Boulevard Historic Business District (8BD03284), facing Southeast

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Figure 26: Ingram Arcade/2032-2050 Hollywood Boulevard (8BD0574), ca 1921, National Register Listed as a Contributing Resource to the Hollywood Boulevard Historic Business District (8BD03284), facing East

Historic Linear Resource:

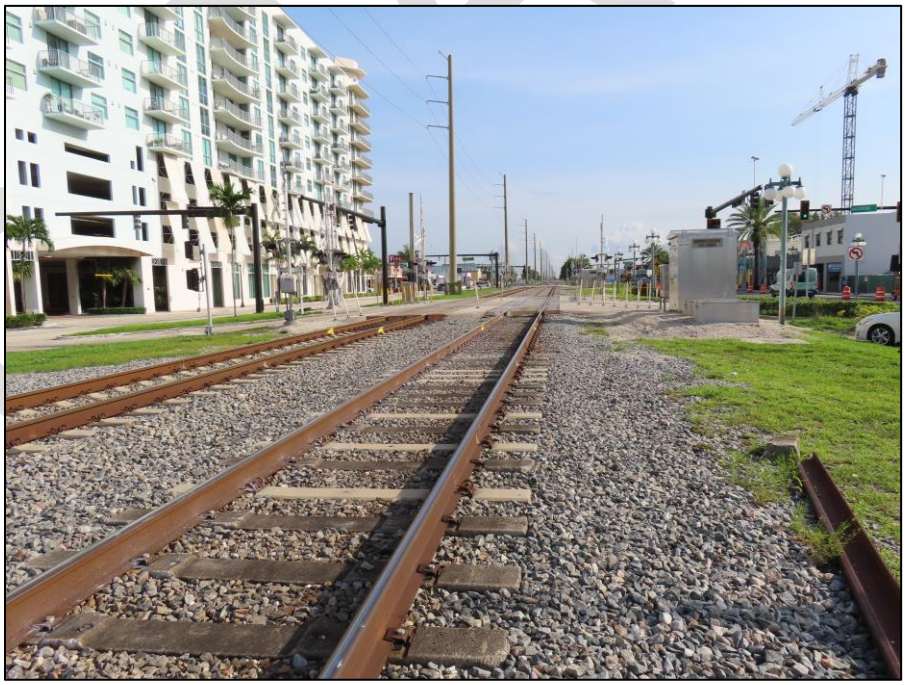

Figure 27: FEC Railway (8BD4087), which extends throughout the project APE, pictured here in the APE for the Hollywood Station

10.2.2 Historic Resources Considered or Determined Ineligible for Listing in the National Register

The following 70 resources listed in **Table 12** do not meet the necessary criteria for National Register eligibility and, therefore, are considered or have been determined to be ineligible for National Register listing individually or as contributing resources within a historic district. See **Table 11** for a summary of the style and construction date for the resources. As shown in **Figures 28-95**, the resources within this grouping generally exhibit non-historic alterations such as replacement windows, changes to exterior treatment, and additions that have resulted in diminished integrity. Historical research also revealed that there are no known associations with significant individuals or events. The resources are presented in order of FMSF number, within each station APE. Further narrative is provided for the two resources that are locally designated (or proposed to be locally designated): The Hollywood Publishing Company/Old City Hall (8BD376) and the (former) Antique Car Museum/1527 SW 1st Avenue (8BD8182) (**Figures 96-102)**.

FMSF forms were completed for resources not previously evaluated, have been altered since their previous evaluations, or are newly identified. The FMSF forms are located in **Appendix B**.

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Table 12: Resources Considered or Determined National Register Ineligible (*Resources previously determined National Register ineligible are marked with an asterisk)

FMSF No.	Name/Address
Hollywood Station APE	
8BD375	American Legion Post 92/205-207 N. Dixie Highway
8BD376	The Hollywood Publishing Company/219 N. 21st Avenue
8BD381	921 N. Dixie Highway
8BD383	109-111 1/2 S. Dixie Highway
8BD414	Watson, Jack Residence/2140 Fillmore Street
8BD888	2135 Taylor Street
8BD4227	Dixie Highway
8BD5684	Firestone/106 N. Dixie Highway*
8BD9339	2038 Hayes Street
8BD9342	505 N 21st Avenue
8BD9343	510 N Dixie Highway
8BD9344	2121 Fillmore Street
8BD9345	2125 Fillmore Street
8BD9346	2129 Fillmore Street
8BD9347	2139 Fillmore Street
8BD9348	2143 Fillmore Street
8BD9349	2205 Fillmore Street
8BD9350	2206 Fillmore Street (Building 1)
8BD9411	2216 Fillmore Street
8BD9412	2205-2207 Taylor Street
8BD9413	2209-2211 Taylor Street
8BD9414	Four Star Auto Sales and Body/400 N Dixie Highway
8BD9415	2113 Taylor Street
8BD9416	2121 Taylor Street
8BD9417	2129 Taylor Street
8BD9418	Classic Collision/338 N Dixie Highway
8BD9419	Skin and Body/2040 Polk Street
8BD9420	City Glass/200 N Dixie Highway
8BD9421	Clark Acupuncture Associates/130-132 N Dixie Highway
8BD9422	Area 51 Smoke Shop/128 N Dixie Highway
8BD9423	Title Services/126 N Dixie Highway

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FMSF No.	Name/Address
8BD9424	2100-2112 Tyler Street
8BD9425	2116-2124 Tyler Street
8BD9426	2126 Tyler Street
8BD9427	2134 Tyler Street
8BD9428	2140-2154 Tyler Street
8BD9429	110 N Dixie Highway
8BD9430	127 S 21st Avenue
8BD9431	2032 Harrison Street
8BD9432	113-117 S 21st Avenue
8BD9459	514-516 N. Dixie Highway
8BD9460	520 N. Dixie Highway
8BD9461	524 N. Dixie Highway
8BD9462	526-530 N. Dixie Highway
8BD9463	505-515 N. 21st Avenue
FLL Airport Station	
8BD4373	Federal Highway
8BD4776	SR-A1A
8BD9338	3318 SW 2nd Avenue
South Fort Lauderdale Station	
8BD4425	Back and Neck Pain Center/1627 S. Andrews Avenue*
8BD5893	Maritime Professional Training/1909 1st Avenue*
8BD5897	East Coast Battery and Electric/100 SW 17th Street*
8BD5898	Southport Auto Repair/101 SW 17th Street*
8BD8176	205 SW 17th Street
8BD8182	(former) Antique Car Museum/1527 SW 1st Avenue
8BD8252	100 SW 15th Street
8BD8254	1417 SW 1st Avenue
8BD8255	201 SW 15th Street
8BD8256	209 SW 15th Street
8BD8259	200 SW 14th Court (Building 1)
8BD9326	211 SW 16th Street (Building 1)
8BD9327	211 SW 16th Street (Building 2)
8BD9330	200 SW 16th Court (Building 1)
8BD9331	200 SW 16th Court (Building 2)

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FMSF No.	Name/Address
8BD9332	100 SW 16th Street
8BD9333	1605 & 1611 SW 1st Avenue
8BD9334	1611 S Andrews Avenue
8BD9335	1623 S Andrews Avenue
8BD9336	17 SW 17th Street/Farm Stores
8BD9337	201 SW 20th Street
8BD9468	1506 SW 1st Avenue

Hollywood Station:

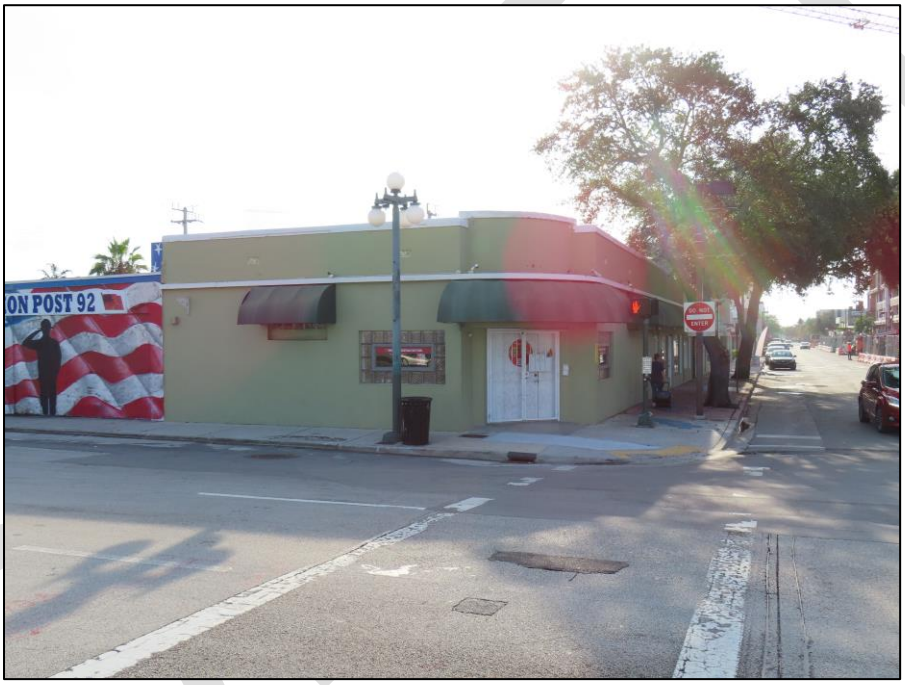

Figure 28: American Legion Post 25/205-207 North Dixie Highway (8BD375), ca 1926, Considered National Register Ineligible, facing Northeast

Figure 29: 921 North Dixie Highway (8BD381), ca 1926, Considered National Register Ineligible, facing East

Figure 30: 109-111 1/2 South Dixie Highway (8BD383), ca 1935, Considered National Register Ineligible, facing Southeast

Figure 31: 2140 Fillmore Street (8BD414), ca 1926, Considered National Register Ineligible, facing South

Figure 32: 2135 Taylor Street (8BD888), ca 1926, Considered National Register Ineligible, facing North

Figure 33: Dixie Highway (8BD4227), ca 1915-1947, Considered National Register Ineligible, facing North

Figure 34: Firestone/106 N. Dixie Highway (8BD5684), ca 1967, Determined National Register Ineligible, facing Southwest

Figure 35: 2038 Hayes Street (8BD9339), ca 1960, Considered National Register Ineligible, facing East

Figure 36: 505 N. 21st Avenue (8BD9342), ca 1956, Considered National Register Ineligible, facing East

Figure 37: 510 N. Dixie Highway (8BD9343), ca 1952, Considered National Register Ineligible, facing West

Figure 38: 2121 Fillmore Street (8BD9344), ca 1944, Considered National Register Ineligible, facing North

Figure 39: 2125 Fillmore Street (8BD9345), ca 1954, Considered National Register Ineligible, facing North

Figure 40: 2129 Fillmore Street (8BD9346), ca 1952, Considered National Register Ineligible, facing Northwest

Figure 41: 2139 Fillmore Street (8BD9347), ca 1932, Considered National Register Ineligible, facing Northwest

Figure 42: 2143 Fillmore Street (8BD9348), ca 1949, Considered National Register Ineligible, facing North

Figure 43: 2205 Fillmore Street (8BD9349), ca 1964, Considered National Register Ineligible, facing Northwest

Figure 44: 2206 Fillmore Street/Building1 (8BD9350), ca 1959, Considered National Register Ineligible, facing South

Figure 45: 2216 Fillmore Street (8BD9411), ca 1955, Considered National Register Ineligible, facing South

Figure 46: 2205-07 Taylor Street (8BD9412), ca 1950, Considered National Register Ineligible, facing North

Figure 47: 2209-11 Taylor Street (8BD9413), ca 1974, Considered National Register Ineligible, facing North

Figure 48: Four Star Auto Sales and Body/400 North Dixie Highway (8BD9414), ca 1967, Considered National Register Ineligible, facing Northwest

Figure 49: 2113 Taylor Street (8BD9415), ca 1940, Considered National Register Ineligible, facing North

Figure 50: 2121 Taylor Street (8BD9416), ca 1951, Considered National Register Ineligible, facing Northeast

Figure 51: 2129 Taylor Street (8BD9417), ca 1925, Considered National Register Ineligible, facing Northwest

Figure 52: Classic Collision/338 N. Dixie Highway (8BD9418), ca 1955, Considered National Register Ineligible, facing Southwest

Figure 53: Skin and Body/2040 Polk Street (8BD9419), ca 1945, Considered National Register Ineligible, facing East

Figure 54: City Glass/200 N. Dixie Highway (8BD9420), ca 1966, Considered National Register Ineligible, facing Northwest

Figure 55: Clark Acupuncture/130-132 N. Dixie Highway (8BD9421), ca 1957, Considered National Register Ineligible, facing West

Figure 56: Area 51 Smoke Shop/128 N. Dixie Highway (8BD9422), ca 1958, Considered National Register Ineligible, facing West

Figure 57: Title Services/126 N. Dixie Highway (8BD9423), ca 1959, Considered National Register Ineligible, facing West

Figure 58: 2100-2112 Tyler Street (8BD9424), ca 1959, Considered National Register Ineligible, facing Southwest

Figure 59: 2116-2124 Tyler Street (8BD9425), ca 1956, Considered National Register Ineligible, facing Southwest

Figure 60: 2126 Tyler Street (8BD9426), ca 1959, Considered National Register Ineligible, facing West

Figure 61: 2134 Tyler Street (8BD9427), ca 1960, Considered National Register Ineligible, facing Southeast

Figure 62: 2140-2154 Tyler Street (8BD9428), ca 1968, Considered National Register Ineligible, facing Southwest

Figure 63: 110 N. Dixie Highway (8BD9429), ca 1964, Considered National Register Ineligible, facing Northwest

Figure 64: 127 S. 21st Avenue (8BD9430), ca 1948, Considered National Register Ineligible, facing Northeast

Figure 65: 2032 Harrison Street (8BD9431), ca 1955, Considered National Register Ineligible, facing East

Figure 66: 113-117 S. 21st Avenue (8BD9432), ca 1947, Considered National Register Ineligible, facing Southeast

Figure 67: 514-516 N. Dixie Highway (8BD9459), ca 1949, Considered National Register Ineligible, facing West

Figure 68: 520 N. Dixie Highway (8BD9460), ca 1950, Considered National Register Ineligible, facing Northwest

Figure 69: 524 N. Dixie Highway (8BD9461), ca 1941, Considered National Register Ineligible, facing Southwest

Figure 70: 526-30 N. Dixie Highway (8BD9462), ca 1948, Considered National Register Ineligible, facing Southwest

Figure 71: 505-15 N. 21st Avenue (8BD9463), ca 1956, Considered National Register Ineligible, facing East

FLL Airport Station

Figure 72: Federal Highway (8BD4373), ca 1927-1955, Considered National Register Ineligible, facing South

Figure 73: SR A1A (8BD4776), ca 1925-2010, Considered National Register Ineligible, facing South

Figure 74: 3318 SW 2nd Avenue (8BD9338), ca 1952, Considered National Register Ineligible, facing South

South Fort Lauderdale Station

Figure 75: 1627 S. Andrews Avenue (8BD4425), ca 1955, Considered National Register Ineligible, facing Southwest

Figure 76: 1909 1st Avenue (8BD5893), ca 1950, Determined National Register Ineligible, facing Northwest

Figure 77: East Coast Battery and Electric/100 SW 17th Street (8BD5897), ca 1952, Determined National Register Ineligible, facing Southeast

Figure 78: Southport Auto Repair/101 SW 17th Street (8BD5898), ca 1959, Determined National Register Ineligible, facing North

Figure 79: 205 SW 17th Street (8BD8176), ca 1945, Considered National Register Ineligible, facing Northwest

Figure 80: 100 SW 15th Street (8BD8252), ca 1973, Considered National Register Ineligible, facing Southeast

Figure 81: 1417 SW 1st Avenue (8BD8254), ca 1972, Considered National Register Ineligible, facing Northwest

Figure 82: 201 SW 15th Street (8BD8255), ca 1969, Considered National Register Ineligible, facing Northwest

Figure 83: 209 SW 15th Street (8BD8256), ca 1945, Considered National Register Ineligible, facing Northwest

Figure 84: 200 SW 14th Court/Building 1 (8BD8259), ca 1968, Considered National Register Ineligible, facing Southwest

Figure 85: 211 SW 16th Street/Building 1 (8BD9326), ca 1968, Considered National Register Ineligible, facing Southwest

Figure 86: 211 SW 16th Street/Building 2 (8BD9327), ca 1969, Considered National Register Ineligible, facing Northwest

Figure 87: 200 SW 16th Court/Building 1 (8BD9330), ca 1954, Considered National Register Ineligible, facing South

Figure 88: 200 SW 16th Court/Building 2 (8BD9331), ca 1954, Considered National Register Ineligible, facing Northwest

Figure 89: 100 SW 16th Street (8BD9332), ca 1957, Considered National Register Ineligible, facing South

Figure 90: 1605-1611 SW 1st Avenue (8BD9333), ca 1950, Considered National Register Ineligible, facing West

Figure 91: 1611 S. Andrews Avenue (8BD9334), ca 1959, Considered National Register Ineligible, facing West

Figure 92: 1623 S. Andrews Avenue (8BD9335), ca 1958, Considered National Register Ineligible, facing Southwest

Figure 93: Farm Stores/17 SW 17th Street (8BD9336), ca 1963, Considered National Register Ineligible, facing North

Figure 94: 201 SW 20th Street (8BD9337), ca 1959, Considered National Register Ineligible, facing South

Figure 95: 1506 SW 1st Avenue (8BD9468), ca 1958, Considered National Register Ineligible, facing Northeast

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10.2.3 Potential or Designated Local Landmarks Considered National Register Ineligible

8BD376 Hollywood Publishing Company/Old City Hall (219 N. 21st Avenue)

Figure 96: Hollywood Publishing Company/Old City Hall (8BD376), ca 1924, Considered National Register Ineligible, facing Southeast

The Hollywood Publishing Company/Old City Hall is located at 219 N. 21st Avenue at the corner of Polk Street and N. 21st Avenue/N. Dixie Highway in Section 15 of Township 51 South, Range 42 East on the Hollywood (1962) USGS quadrangle map, in the City of Hollywood, Broward County, Florida (**Figure 96**). The Mediterranean Revival building was constructed circa 1924 and originally served as the offices for the Hollywood Publishing Company for one year until 1925. In 1925, the City of Hollywood began using it as a temporary City Hall until 1928 when a new City Hall was constructed. Since that time, it has been used as a restaurant and bar (Research Atlantica, Inc. 2007).

The building is two stories clad in stucco. The original structure has a central entrance flanked by double doors. The second story on the original structure consists of four non-historic windows with a central pair of arched fixed windows. The non-historic north addition has one-over-one vinyl windows. Non-historic fabric awnings are located on all of the windows and doors. The roof is composed of a central flat roof with mansard roof. Currently the mansard is clad in Spanish barrel tiles. Italianate brackets are located on the wide eaves but are largely obscured.

The building has sustained several alterations, including replaced windows, a new stucco treatment, and the alteration of the entrance. In approximately 1988, a two-story addition was added to the north elevation (Research Atlantica, Inc. 2007). The addition projects slightly closer to the road than the original building. The addition is also clad in stucco and has a railing parapet along the roof.

A historic photo from c 1925 shows the original design of the structure and the alterations that have occurred to the structure (**Figure 97**).

Figure 97: A circa 1925 photo of the building when it was used as the Hollywood City Hall (Courtesy of the Hollywood Historical Society, Inc.)

In 1997 the City of Hollywood designated the structure a local historic site based on its association with the early development of Hollywood, architectural significance, and high degree of integrity (Research Atlantica, Inc. 2007). In 1999, the nearby Hollywood Downtown District was listed on the National Register of Historic Places and represented the early development of Hollywood. The current building at 219 N. 21st Avenue is not located within the boundaries of the National Register-listed District, but is located approximately 1.5 blocks north of the north boundary.

The building is recommended ineligible for the National Register, individually and as a contributing resource to a historic district, due to its lack of significant historical association and lack of integrity caused by the large non-historic addition which impacts its massing, and the replacement of original materials.

8BD8182 (former) Antique Car Museum/1527 SW 1st Avenue)

Figure 98: (former) Antique Car Museum/1527 SW 1st Avenue (8BD8182), ca 1950, Considered National Register Ineligible, facing Northwest

The structure located at 1527 SW 1st Avenue is at the corner of SW 1st Avenue and SW 16th Street in Section 15 of Township 50 South, Range 42 East on the Hollywood (1962) USGS quadrangle map, in the City of Fort Lauderdale, Broward County, Florida. The original Moderne building was constructed circa 1950 (**Figures 98-99**) and has three additions, a one-story addition that was constructed c 1959, one on the far north elevation that was constructed between 1973 and 1976 (**Figure 100**) and an addition on the west elevation that occurred between 2006 and 2008 (**Figure 101**).

The original building is a one story Moderne structure with entrances on both the south and east elevations. An angled façade and roof are present at the parcel corner at SW 1st Avenue and SW 16th Street (**Figures 98-99**). There are non-historic glass doors on the south façade, a single glass and metal door at the angled façade, and four single metal doors on the east elevation. One of the metal doors has a fixed glass transom and a second metal door has a transom with a two-light metal window. The original structure has a stepped parapet with circular cutouts. Wide eye-brow ledge eaves are supported by stuccoed support brackets. Some of the brackets have circular cut-outs. Most of the windows are fixed glass blocks in narrow vertical bands or large picture-window configurations. Single-light fixed windows flank the angled entrance and the south entrance has non-historic fixed lights and single-hung metal windows. The original sidelights and

transoms in the west entrance have been enclosed but the openings are still visible. A single bay entrance and a metal door are located on the west elevation.

Figure 99: (former) Antique Car Museum/1527 SW 1st Avenue (8BD8182), ca 1950, Considered National Register Ineligible, facing Northwest

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Figure 100: (former) Antique Car Museum/1527 SW 1st Avenue (8BD8182), ca 1950, Considered National Register Ineligible, showing the addition on the north elevation, facing West

Figure 101: (former) Antique Car Museum/1527 SW 1st Avenue (8BD8182), ca 1950, Considered National Register Ineligible, showing the addition on the west elevation, facing North

An aerial from 1954 shows the northern portion of the original one-story building being constructed (**Figure 102**). The aerial shows that the prominent rounded parapets were not original to the original construction of the building (History Fort Lauderdale 1954). The 1954 addition is almost indistinguishable from the original structure, except for the location of a door on the original east façade where the addition began.

A second addition was placed on the north elevation of the original building between 1973 and 1976 (**Figure 100**) (FDOT, Office of Surveying and Mapping 2023). The addition is cylindrical shaped and is connected to the original building's north façade by a short stucco-clad addition. The attaching section has a wooden, double-door. The cylindrical building has a prominent center parapet with stepped pilasters on the east elevation. Sets of three narrow, vertical glass-block windows flank both sides of the central pilasters. The building is clad in stucco.

A second cylindrical structure is attached to the west elevation of the original building (**Figure 101**) and was added between 2006 and 2008 according to aerials. It has stucco cladding and a metal roof. A central bay entrance is located on the south elevation and is flanked by three glass-block vertical windows on each side and a glass entrance door on the east side. A fixed glass-block window is located directly above the bay entrance. A glass and metal double-door entrance is located on the west elevation.

The building has sustained several alterations, including replaced windows and doors, and two prominent additions on the main elevations.

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Figure 102: 1954 aerial showing the structure at 1527 SW 1st Avenue (8BD8182), demonstrating the construction of the northern half of the one-story building and the lack of ornamentation on the original structure.

The original building was permitted by J. Pitt Simpson in 1946 and this likely consisted of only the corner portion of the one-story structure as aerials from 1947 and 1949 show only a small structure on the parcel (*Fort Lauderdale News* 1946; University of Florida, George A. Smathers Library 2023). The building was potentially both commercial and residential, as a 1948 newspaper article provides this address as the residence for Mr. Simpson (*Fort Lauderdale News* 1948).

An aerial from 1954 shows the northern portion of the original one-story building being constructed (**Figure 102**). The aerial shows that the prominent rounded parapets were not original to the original construction of the building (History Fort Lauderdale 1954).

The next available aerial, dating from 1958, shows the entire current one-story structure on the parcel (University of Florida, George A. Smathers Library 2023). The building was also the location of Mr. Simpson's business, the Aabar Plumbing Company (*Fort Lauderdale News* 1964). It appears that it remained the location of the company and his residence until at least 1968 when Mr. Simpson died (*Fort Lauderdale News* 1968). The company remained in business under the

ownership of the business partner of Mr. Simpson, Dik Jones until 1976 when Mr. Jones retired. It is unclear if the business remained headquartered at 1527 SW 1st Avenue (*South Florida Sun-Sentinel* 1984). However, it remained under the ownership of Mr. Simpson's daughter, Lorna W. Simpson until 1988 when she sold the property to Arthur and Shirley Stone (Broward County Property Appraiser 2023).

Arthur Stone was a long-time Fort Lauderdale businessman who collected automobile memorabilia, with a specialty in historic Packard vehicles. In 2000, Mr. Stone opened the Fort Lauderdale Antique Car Museum. The museum continued to serve the public after Mr. Stone died in 2010 (Deutsch 2004; Nolin 2010). The Fort Lauderdale Antique Museum closed between 2019 and 2021. Currently the building is vacant.

The building is recommended ineligible for the National Register due to its lack of significant historical associations and altered historic integrity. The three additions to the original building have impacted the design, workmanship, and massing of the structure. Aerials also demonstrate that the most distinctive architectural stylizations on the building are not original. For these reasons, the structure is recommended ineligible for the National Register individually and as a contributing resource to a historic district.

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11.0 Project Effects

The current CRAS resulted in the identification of four resources that are National Register listed or determined National Register eligible. The Hollywood Boulevard Commercial Historic District (8BD3284) is listed on the National Register under Criterion A in the areas of Commerce, and Community Planning and Development. Two contributing resources to the District, Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574), are located within the project APE. The two contributing resources to the District are not individually eligible for the National Register. The fourth significant resource is the FEC Railway (8BD4087), which has been determined National Register eligible. The FEC Railway (8BD4087) extends along the entire project corridor. The FEC Railway is National Register eligible under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. For purposes of this effects assessment, the *Criteria of Adverse Effect*, as defined in 36 CFR Part 800.5 specified in Section 106 of the *National Historic Preservation Act of 1966* were applied, and the potential effects on the identified National Register historic resources were evaluated. As discussed in Section 2 (Concept Alternatives), various alternatives were evaluated during the PD&E Study. The preferred alternatives, described in this document in **Sections 2.3, 2.4**, and **2.5**, will result in no adverse effect to the significant resources.

36 CFR Part 800 defines the *Criteria of Adverse Effect* as the following:
An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative.

The effect evaluation for each resource is presented below:

FEC Railway/8BD4087

The FEC Railway (8BD4087) extends along the entire project area including the proposed stations. The FEC Railway is significant under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. The construction of the railroad allowed for the development of south Florida and the movement of people and goods into the state. Photographs and a narrative description of the railway is provided in this report in **Section 10**. The FEC Railway was originally constructed for passenger and freight service. Eventually the railway transitioned to

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freight-only and the original double-tracks were altered to one track. However, beginning in the early twenty-first century, passenger rail has once again returned to the FEC Railway, with passenger service provided by Brightline. In 2012 and 2015, the Florida SHPO determined that the restoration of the double tracking of the railway and the necessary upgrades to the railway to once again provide passenger service would result in no adverse effect to the resource.

The proposed project will provide additional passenger service to the FEC Railway. The project will require some minor shifting of tracks, addition of sidings, and stations in order to accommodate the additional train traffic. The alterations to the railway will not require additional ROW and the tracks will remain in the existing ROW. The alterations required for the current project will not alter the location, design, use, workmanship, or setting of the resource. Most original materials associated with the railway have already been replaced, and any new materials will be typical of railways and will not dramatically alter the setting or workmanship of the resource. The proposed project activities on the FEC Railway will not impact the resource's eligibility for the National Register. The railway is not sensitive to indirect impacts such as visuals, vibration, and noise. Studies have demonstrated that the resource will not be negatively impacted by an increase in vibration and noise with the proposed project. Therefore, it appears that the proposed project will have no adverse direct or indirect effects on the FEC Railway (8BD4087).

Hollywood Boulevard Commercial Historic District (8BD3284) and Two Contributing Resources (8BD573 and 8BD574)

The Hollywood Boulevard Commercial Historic District is listed on the National Register under Criteria A in the areas of Commerce, and Community Planning and Development. The District is limited to commercial-use structures that face Hollywood Boulevard, the historic main commercial street in the town of Hollywood. The period of significance for the Historic District is 1921 and 1946, which is after the arrival of the FEC Railway through this part of Florida. The National Register District boundaries terminate at the east side of South 21st Avenue, approximately 40 feet east of the FEC Railway. The greatest concentration of contributing historic buildings in the District are located east of the current project. Two of the contributing resources fall within the APE for the Hollywood Station: Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574). The two contributing resources within the current project APE are not individually eligible for the National Register. Photographs and descriptions of the resources are provided in this report in **Section 10**.

The proposed improvements at this location includes the construction of a new station, parking garage (provided by the city), and the addition of new tracks and shifting of the tracks to accommodate the station. A description and graphics of the proposed activities at the Hollywood Station are provided in **Section 2.3** and **Appendix C** of this report.

The proposed station at this location is located between Filmore and Polk Streets, which are located north of Hollywood Boulevard and the District and the two contributing resources. Coordination with FECR resulted in the placement of crossovers on either side of the stations on the mainline to give operations flexibility on accessing either siding for passenger service. However, the commercial district itself was established after the railroad was in existence, and the setting of the district has changed over time with modern infill and infrastructure.

The proposed parking garage (city-owned) is located approximately 1.5 blocks north of the District. The parking garage will not be visible from the historic district. In addition, the existing high density and commercial-use of the area minimizes the potential impact of parking to the historic district. The improvements to the tracks near the District includes the addition of two new tracks and the extension of the siding/dwell tracks past Hollywood Boulevard. To accommodate the four tracks in the station area, the existing FECR mainline tracks will be slightly shifted to be centered within the FECR ROW. No new ROW will be needed for this improvement. The slight shift of the tracks will not be significant enough to change the setting or visuals of the District.

Currently, the proposed BCR South weekday service is intended to have 60-minute base headways, with 30-minute peak service, and 60-minute weekend and holiday service, consistent with the Miami-Dade NEC. The weekday peak hours are generally estimated to be between 5:00 a.m. and 9:00 a.m. and 4:00 p.m. to 8:00 p.m. The proposed passenger service will be in addition to the existing Brightline passenger service and the existing freight service. The FEC Railway has been an active rail line for over 100 years, and pre-dates the town of Hollywood.

The increase in rail activity on the FECR is not anticipated to introduce new or significant noise or vibrations to the Hollywood Boulevard Commercial Historic District or the two contributing resources within the project APE that would directly or indirectly effect the characteristic of these historic resources or their eligibility for listing on the National Register. The buildings are commercial-use and are at the furthest west boundary of the Historic District boundaries. Studies have shown that the anticipated vibrations will not result in building damage since the buildings are at least 40 to 50 feet from the existing FECR right of way and beyond the area of potential ground-borne vibration and noise impacts. In addition, the associated commercial land uses do not represent noise or vibration sensitive resources as defined by FTA. The re-establishment of passenger service on the rail line returns the rail resource to its historic use.

Following the assessment of effects of the proposed project on the Hollywood Boulevard Commercial Historic District and the two contributing resources within the current APE, it appears that the proposed project will have no adverse direct or indirect effects on the District or the contributing resources.

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12.0 Conclusions

Janus Research and Archaeological Consultants, Inc prepared this CRAS, in association with The Corradino Group, for the proposed BCR South Project PD&E Study in Broward and Miami-Dade counties. The current study is being prepared by the FDOT and Broward County, and the FTA is the lead federal agency. The objectives of this CRAS are to identify cultural resources, assess their eligibility for listing in the National Register according to the criteria set forth in 36 CFR Section 60.4, and to evaluate the effects of the proposed project on historic properties.

Background research identified no previously recorded archaeological sites within the archaeological Area of Potential Effect (APE). One approximately 620-foot-long segment at the northern end of the archaeological APE for the South Fort Lauderdale Station is within an area designated by the City of Fort Lauderdale as part of the South Bank New River – Tarpon River Archaeological Zone (City of Fort Lauderdale 2017). This part of the archaeological APE is entirely within the existing active railroad right-of-way (ROW), and subsurface utilities are also present. No subsurface archaeological testing could be conducted during this survey due to the presence of the existing railroad, roads, airport, buildings, stormwater facilities, berms, other hardscape, and buried utilities and drainage systems. The archaeological APE outside of the locally designated South Bank New River – Tarpon River Archaeological Zone is considered to have low potential to contain intact archaeological resources based on the extent of previous disturbance and past environmental variables. However, because the South Bank New River – Tarpon River Archaeological Zone has been locally designated as having elevated archaeological potential, archaeological monitoring of ground disturbing activities within the archaeological zone is recommended to occur during construction.

The historic resources survey and background research resulted in the identification and evaluation of 15 previously identified structures, five previously identified resource groups, and 54 newly identified structures. One of the resource groups is the National Register listed Hollywood Boulevard Commercial Historic District (8BD3284) and two of the contributing resources to the Historic District: Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574). The district and the contributing resources were listed in the National Register under Criterion A in the areas of Commerce, and Community Planning and Development. The contributing resources are not individually eligible for the National Register. The fourth eligible resource is the FEC Railway (8BD4087), which has been determined National Register eligible, and extends the entire length of the project APE. The FEC Railway (8BD4087) is eligible for the National Register under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. The remaining resources are determined or considered

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National Register ineligible, individually and as contributing resources, due to a lack of significant historical association or lack of integrity.

Summary of Results by Station:

Within the project APE for the Hollywood Station, there are 49 historic resources. The survey verified that the Hollywood Boulevard Commercial Historic District (8BD3284) remains eligible for the National Register as do the two contributing resources within the current project APE, Broward Building/2032-2050 Hollywood Boulevard (8BD5730), and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574). The District and the contributing resources were listed in the National Register under Criterion A in the areas of Commerce, and Community Planning and Development. The contributing resources within the current APE are not individually eligible for the National Register. The FEC Railway (8BD4087) also remains eligible for the National Register under Criteria A for its role in the development of Florida as the first railroad that connected the east side of the state. The FMSF forms for these four resources were not updated as their eligibilities have not changed. Although the Hollywood Publishing Company/219 N. 21st Avenue (8BD376) is a locally designated landmark, it was not previously evaluated for National Register eligibility by the SHPO. This survey recommends that the resource is National Register ineligible based on the extensive alterations that have occurred to the structure and the lack of significant historical associations. The remaining resources located within the APE for the Hollywood Station, consisting of six previously recorded standing structures (8BD375, 8BD381, 8BD383, 8BD414, 8BD888, 8BD5684), one resource group (8BD4227) and 37 newly identified structures (8BD9339, 8BD9342-8BD9350, 8BD9411-8BD9432, 8BD9459-8BD9463) are recommended National Register ineligible.

The survey of the FLL Airport Station project APE resulted in the identification of three previously identified resource groups: Federal Highway (8BD4373), FEC Railway (8BD4087), SR A1A (8BD4776), and one newly identified structure at 3318 SW 2nd Avenue (8BD9338). The Federal Highway and SR A1A follow the same path in the APE and are both recommended ineligible under Criteria A, B, C, and D due to a lack of significant historic associations and integrity due to alterations to their locations and materials. Portions of the resources within the current project APE have been determined National Register ineligible and historical research has not revealed any new information to change the current evaluations. The FEC Railway (8BD4087) remains eligible under Criteria A for its association with the early development of the state of Florida. Finally, the newly identified structure at 3318 SW 2nd Avenue (8BD9338) is recommended ineligible individually and as a contributing resource due to its commonality and lack of historic associations.

The survey of the SFTL Station resulted in the identification and evaluation of one resource group, the FEC Railway (8BD4087), six previously recorded standing structures (8BD4425, 8BD5893, 8BD5897, 8BD5898, 8BD8176, 8BD8182), and 16 newly identified structures (8BD8252, 8BD8254-

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8BD8256, 8BD8259, 8BD9326, 8BD9327, 8BD9330-BD9337, and 8BD9468). The FEC Railway remains eligible for the National Register within the SFTL Station APE. Four of the previously recorded structures have been determined National Register ineligible, individually and as contributing resources to a historic district, by the SHPO (8BD4425, 8BD5893, 8BD5897, 8BD5898) and the two remaining previously recorded have not been evaluated (8BD8176 and 8BD8182). The previously recorded resource at 205 SW 17th Street (8BD8176) is a Mid-Century Modern Style structure that lacks significant historical association and has been altered. Therefore, it is recommended National Register ineligible individually and as a contributing resource under Criteria A, B, C, and D. The other previously recorded, but not evaluated, resource is the (former) Fort Lauderdale Antique Car Museum/1527 SW 1st Avenue (8BD8182). The structure was recently identified by the City of Fort Lauderdale as a potential local historic landmark due to its architectural significance. The current report recommends that the structure is National Register ineligible individually and as a contributing resource under Criteria A, B, C, and D based on the alterations to the building and the lack of significant historical associations. The remaining newly identified resources (8BD8252, 8BD8254-8BD8256, 8BD8259, 8BD9326, 8BD9327, 8BD9330-BD9337, and 8BD9468) also do not maintain adequate integrity or significant historical association and are therefore considered National Register ineligible individually and as contributing resources under Criteria A, B, C, and D.

Table 13 provides the previously identified historic resources organized by type and whether they required updated FMSF forms. The last column provides the total number of resources determined or recommended National Register eligible in the current document. **Table 14** summarizes the newly identified historic resources organized by type. The recommended eligibility evaluations for the resources are provided in the last column. The FMSF forms for all newly identified resources and any previously identified resources that require updated forms are located in **Appendix B**. The recommendations in **Tables 13-14** are not final until SHPO concurrence of the current document.

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Table 13: Summary of Previously Recorded Historic Resources Within the Project APE

Resource Type	Number of Resources Identified	Number of Resources with Updated FMSF Forms	Number of Resources Determined or Recommended National Register Eligible, or Listed on the National Register*
Structures	15	9	2
Resource Groups	5	3	2
Bridges	0	0	0
Cemeteries	0	0	0
Total Number of Resources	20	12	4

*The determinations of eligibility are based on the current FMSF data. These evaluations may change. The recommendations of eligibility are not final until SHPO concurrence and thus may change.

Table 14: Summary of Newly Identified Historic Resources

Resource Type	Number of Resources Identified	Number of Resources with FMSF Forms	Number of Resources Recommended National Register Eligible*
Structures	54	54	0
Resource Groups	0	0	0
Cemeteries	0	0	0
Bridges	0	0	0
Total Number of Resources	54	54	0

*The determinations of eligibility are based on the current FMSF data. These evaluations may change. The recommendations of eligibility are not final until SHPO concurrence and thus may change.

Finding of Effects:

Following the assessment of effects presented in **Section 11** of this report, it is recommended that the proposed project will have no adverse effect on the four National Register eligible or listed cultural resources identified in the project APE. The four resources are: the FEC Railway (8BD4087), the Hollywood Boulevard Commercial Historic District (8BD3284) and two contributing

resources to the District: Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574).

The proposed activities at the FEC Railway (8BD4087) will maintain the railway and return the railway to its original configuration and use. The railway was originally constructed with two tracks that carried freight and passengers. In the mid-twentieth century the tracks were altered to remove one set of tracks and to remove passenger rail service. In the early twenty-first century, the railway was again double-tracked and passenger rail was returned to the railway. The project activities with the previous undertaking were determined to have no adverse effect to the FEC Railway (8BD4087). The resource is not sensitive to indirect effects such as noise and vibration, and the direct activities are restoring the resource to its original use (passenger rail). Therefore, the current proposed project will have no adverse effect to the FEC Railway (8BD4087).

The Hollywood Boulevard Commercial Historic District (8BD3284) and two contributing resources to the District that are within the current APE: Broward Building/2032-2050 Hollywood Boulevard (8BD573) and Ingram Arcade/2033-2051 Hollywood Boulevard (8BD574) are located over 40 feet from the railway ROW. The proposed project activities, the construction of a new station, parking garage, and shifting of the rail tracks, will not have a direct impact on the eligible resources. The location, design, materials, workmanship, feeling, setting, association, and access for the resources will not change as result of the proposed project. The project area is in an intensively developed commercial area that decreases the impacts of project activities. In relation to indirect effects, noise and vibration studies found that the District and the two contributing resources within the APE are not within the area for potential noise or vibration impacts. Therefore, the proposed project will have no adverse effect on historic properties. The proposed improvements at each station are described in **Section 2.0**.

12.1 Unanticipated Finds

Although unlikely, should construction activities uncover any archaeological remains while an archaeological monitor is not present, it is recommended that activity in the immediate area of the remains be stopped while a professional archaeologist evaluates the remains. In the event that human remains are found during construction or maintenance activities, Chapter 872.05 of the *Florida Statutes* would apply and FDOT's Standard Specifications for Road and Bridge Construction require that all construction cease. Chapter 872.05 states that, when human remains are encountered, all activity that might disturb the remains should cease and may not resume until authorized by the District Medical Examiner or the State Archaeologist. The District Medical Examiner has jurisdiction if the remains are less than 75 years old or if the remains are involved in

a criminal investigation. The State Archaeologist may assume jurisdiction if the remains are 75 years of age or more.

12.2 Curation

FMSF forms (**Appendix B**) and photographs are curated at the FMSF, along with a copy of this report. A survey log is included in **Appendix F**. Field notes and other pertinent project records are temporarily stored at Janus Research until the client selects a permanent storage facility.

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Appendices

Appendix A: SOI-Qualified Janus Research Personnel Resume's

AMY STREELMAN, M.H.P.

Project Manager

EDUCATION

M.H.P 1998 University of Georgia (Historic Preservation)
B.A. 1993 Florida State University (English)

PROFESSIONAL QUALIFICATIONS

- Meets the US Secretary of the Interior Professional Qualification Standards for Historical Preservation defined by 36 CFR Part 61
- Meets the Professional Criteria in Chapter 1A-46.004 (FAC) and Consultant Qualification in the FDOT CRM Handbook
- CRM Experience in Florida: 28 years

PROFESSIONAL EXPERIENCE

Ms. Streelman has worked with Janus Research and within South Florida for over 25 years, resulting in a strong knowledge of the District Four service area. Ms. Streelman's academic focus and early career were based on the architecture of the Palm Beaches. Today, she is recognized for her expertise in navigating federal and state laws, regulations, and guidelines, including Section 106, Section 4(f), and NEPA. Her Department experience involves not only managing and conducting all aspects of CRAS preparation for large and small transportation and transit projects, but also the preparation of documentation under the Section 106 Programmatic Agreement (PA), correspondence between agencies, and consultation involving locally interested/affected parties, agencies, and organizations. Ms. Streelman has also been instrumental in the development of numerous Memoranda of Agreement (MOA) documents and mitigation measures, including the recent MOAs for the Jupiter Inlet Bridge PD&E and Sebastian Inlet Bridge PD&E projects.

Mitigation that she has developed and implemented included innovative as well as typical measures such as large format photographs and HABS/HAER/HALS documentation (i.e. Jupiter Inlet Bridge); reconstruction or relocation of significant historic structures (i.e. Flagler Memorial Bridge entrance pylon structures); historic bridge relocations (i.e. CSX Railroad Bridge); markers, plaques, and displays (i.e. Bridges of the Isles and Kinney Tunnel); restoration of historic landscapes; videos; narrative contexts; and preparation of National Register nomination forms for previously unlisted historic resources. Most recently, as part of the implementation of the MR-MICCI MOA, photography taken with unmanned aerial vehicles (UAVs) was included in the HAER package instead of photographs on the bridge, due to railroad safety concerns.

While at Janus Research, Ms. Streelman has continuously worked for District Four and has personally prepared or reviewed thousands of documents that have been submitted to agencies for review and concurrence. She has been involved with numerous projects that have successfully progressed through the Section 106 and Section 4(f) processes. Examples of major projects she has worked on include MR-MICCI, Jupiter Inlet Bridge PD&E Study, Sebastian Inlet Bridge PD&E Study, Broward Commuter Rail Study, Flagler Memorial Bridge, Southern Boulevard Bridge, Bridges of the Isles, and numerous PD&E studies along I-95's intersections throughout District Four, including but not limited to Hallandale Boulevard, Lantana Road, and Broward Boulevard. Every CRAS, Section 106 PA document, and Section 106 Determination of Effects/Case Study report she has prepared has also received concurrence from SHPO/FDHR.

Ms. Streelman is often engaged in public involvement and public presentations required during project coordination and consultation, and she has presented in person and virtually at consultation meetings for the Jupiter Inlet Bridge, Sebastian Inlet Bridge, and Broward Commuter Rail projects. Ms. Streelman is also familiar with the unique relationships between Department projects and federal agencies such as the USACE, USCG, FHWA, FRA, and FTA. Ms. Streelman is knowledgeable of the District Four resources and has worked closely with staff to define appropriate areas of potential effect (APEs), and shepherd projects through the processes to meet schedules, as many of the projects that fall under the Section 106 PA have a short timeframe for CRAS documentation and effects discussion. The Janus Research team maintains a tracker table with current District Four projects to assist Department staff with cultural resources deliverables and deadlines. Additionally, Ms. Streelman has provided Department staff with the comprehensive information needed for the annual OEM Programmatic Agreement Compliance Audit.

SPECIALIZED SKILLS

In District Four, Ms. Streelman possesses a comprehensive understanding of the historic resources, including the thousands of post-World War II resources and developments, historic bridges, and the intricacies of State Historic Highways. Ms. Streelman has extensive experience with identifying, evaluating, and mitigating and minimizing effects to historic bridges. District Four has many notable bridges that have been the focus of projects with complex findings and challenging aspects, including the Flagler Memorial Bridge, Southern Boulevard Bridge, Bridges of the Isles, Jupiter Inlet Bridge, and Sebastian Inlet Bridge, as well as structures associated with historic railways, CSX Railroad Bridge, and MR-MICCI. Bridges, along with thousands of historic resources throughout the District, are also impacted by rising sea levels, and Ms. Streelman has been involved in addressing these concerns from a cultural resources perspective. She is also experienced in addressing the requirements of National Historic Landmark (NHL) resources, as she has worked for over 20 years on the Section 106 aspects of the Tampa Interstate Study (TIS) project that extends through the Ybor City NHL District. Recently, she worked on a project under the Section 106 PA that was immediately adjacent to the Mar-a-Lago NHL in Palm Beach.

Ms. Streelman continues to work with the Janus Research team to streamline research and documentation through aerial photography and GIS technology for the early evaluation of historic resources, particularly for transportation and transit projects and large-scale urban projects. In addition, Ms. Streelman and the Janus Research Architectural History staff are working with the OEM and FDHR in the development of statewide post-World War II resources context, style guides, and survey methodology, which will ultimately guide the Department's approach to the documentation and evaluation of these resources. Ms. Streelman has also worked with the Department, SFRTA, FTA, and FRA on rail projects along the historic corridors along the east coast and with these agencies has developed approaches to address these dynamic linear resources. She has also worked with District Four on projects within the historic rail corridors that meet railroad exemption documentation due to the nature of the project improvements, thus saving the Department time and money.

RELEVANT EXPERIENCE

Bridges of the Isles PD&E Study, Broward County - Ms. Streelman worked with the Department through all aspects of the Section 106 and Section 4(f) processes to a positive result in this complicated high-profile project. As part of the CRAS, a potential National Register historic district was identified with the four historic Nurmi Isles Bridges. Contributing resources such as the Las Olas Canal, lighting, landscaping, and seawalls were also identified. The SHPO concurred with all findings. Consultation and effects evaluations were conducted, and this resulted in a consensus on mitigation measures. Ms. Streelman also collaborated with the team in the preparation of a Programmatic Section 4(f) document. The implementation of the mitigation measures was directed by Ms. Streelman and included large format photography for the HAER document, installation of a State Historical Marker, and the incorporation of design elements that acknowledged the historic bridges.

New River CSX Bascule Bridge PD&E Study, Broward County - Two significant resources, the New River CSX Railroad Bridge and the Seaboard Air Line (CSX) Railroad, were in the APE for this project. Cultural Resources Committee (CRC) meetings were held to discuss the process, the resources, and the effects to the resources. CRC members included the FDOT, USCG, SHPO, City of Fort Lauderdale, Broward County Historical Commission, Fort Lauderdale Historical Society, CSX, South Florida Railway Museum, and other interested parties. The Section 106 process resulted in an MOA, and through much coordination, the historic CSX Railroad Bridge was relocated to a nearby park. This was a rare and innovative situation in which a historic bridge was moved to a new location. Janus Research also assisted the Department in the development of the informational marker that was installed at the park.

Broward Commuter Rail Project, Broward County - The FTA is currently the lead federal agency for this highly complex rail project that spans Broward County. Ms. Streelman and the Janus team have communicated effectively with stakeholders, which include numerous federal, state, and local agencies. Ms. Streelman's significant experience with FTA-led projects in South Florida and her familiarity with the communication and documents required by the FTA for Section 106 and NEPA Compliance such as a NEPA Checklist, CRAS reports, Case Study reports, and MOA agreement documents are an asset to this project.

Name

2/27/23

Date

JAMES PEPE, M.A.

Project Manager

EDUCATION

M.A. 1999 Florida Atlantic University (Anthropology)
B.A. 1991 University of Florida (Anthropology)

PROFESSIONAL QUALIFICATIONS

- Register of Professional Archaeologists
- Meets the US Secretary of the Interior Professional Qualifications Standards for Archaeology defined by 36 CFR Part 61
- Meets the Professional Criteria in Chapter 1A-46.004 (FAC) and Consultant Qualification in the FDOT CRM Handbook
- CRM Experience in Florida: 31 years

PROFESSIONAL EXPERIENCE

Mr. Pepe's experience with District Four began 20 years ago when he helped to relocate and provide more precise boundaries for the Cherry Camp archaeological site adjacent to I-595. Since that time, he has assisted District Four on more than one hundred projects involving a wide range of archaeological resources, from pre-Columbian middens to historic African American cemeteries. His comprehensive understanding of the Section 106 process and Chapter 267, *F.S.* have aided District Four with countless permitting challenges. Similarly, his practical knowledge and experience with the regulations regarding unmarked human remains (Chapter 872.05, *F.S.*) have helped to avoid delays and controversy for projects important to District Four as well as affected parties.

Mr. Pepe has evaluated the local significance and National Register eligibility of hundreds of sites in Florida and leads Phase III excavations for Department projects. He has recently completed Phase III mitigation for two Department projects in north-central Florida, including extensive excavations and analysis for a historic turpentine camp and a large and dense pre-Columbian site dating back to the Paleoindian period.

Mr. Pepe is intimately familiar with the unique environment and archaeological record of South Florida and the methods required to adequately identify and evaluate archaeological sites there. He has led multiple large-scale Phase I, II, and III archaeological investigations in the interior wetlands of South Florida, including surveys for the Department, Palm Beach, Martin, and St. Lucie counties, the South Florida Water Management District (SFWMD), the Seminole Tribe of Florida (STOF), and the Miccosukee Tribe of Indians of Florida. Each of these surveys required a thorough knowledge of local drainage patterns and natural communities gained through the examination of resources such as modern and historic aerial photographs. He also successfully completed the National Historic Landmark (NHL) nomination for Fort King, the only Seminole War period fort in Florida to be landmarked by the U.S. Department of the Interior. He assisted with revisions to the FDOT *Cultural Resource Management Handbook* and an evaluation of a Department National Register significance matrix. He has also conducted cultural resource training for Department personnel in several Districts.

SPECIALIZED SKILLS

Mr. Pepe previously served as the STOF's first Deputy Tribal Historic Preservation Officer (THPO) and Tribal Archaeologist. His time with the Tribe provided him with unique knowledge and insight that is unmatched among CRM firms. Mr. Pepe continues to maintain a close working relationship with the current STOF THPO and the newly formed Heritage and Environmental Resource Office (HERO).

He has frequent experience with emergency/unanticipated finds on projects, especially projects involving archaeological monitoring of ongoing construction. Mr. Pepe understands the importance of quick and accurate resolutions to prevent work stoppages and project delays while still following all regulatory protocols, such as those provided in F.S. Chapter 872.

Mr. Pepe has an extensive record of public speaking on behalf of District Four. He has worked closely with concerned citizens and affected parties on several District Four projects, including Jupiter Inlet Bridge PD&E Study and North Woodlawn Cemetery. He has also made recent presentations to the Office of Environmental Management (OEM) on two Phase III archaeological mitigation projects conducted on behalf of the Department.

Mr. Pepe has also served as an expert witness in the fields of archaeology and CRM. He has served in this capacity on the All Aboard Florida high-speed rail from Miami to Orlando project.

RELEVANT EXPERIENCE

Amtrak: Northwood Connection, Palm Beach County - Mr. Pepe oversaw archaeological reviews of the 2010 Amtrak Passenger Rail project, as well as the CRAS Addendum for the 2013 New Northwood Connection. Throughout the project, he worked closely with District Four, the SHPO, and the FRA to help ensure a "no adverse effect" finding for the project. As part of this process, Mr. Pepe wrote the Archaeological Monitoring Plan and Unanticipated Finds Plan for the project. He oversaw all aspects of the subsequent archaeological monitoring, which included attending weekly meetings with the construction team, field visits, monitoring, scheduling monitors, writing and editing the final report, and responding to final questions from the SHPO.

Jupiter Inlet Bridge PD&E Study, Palm Beach County - Mr. Pepe led the archaeological portion of the CRAS for the Jupiter Inlet Bridge replacement. His previous work for the Loxahatchee Historical Society, his deep familiarity and knowledge of the history and resources of Jupiter, and his connections to the local community all proved invaluable for the project. Mr. Pepe met individually with several concerned citizens and affected parties throughout the project to provide more detailed information for the CRAS report and to understand local concerns regarding effects to significant resources. This information has aided in the development of techniques during construction that should minimize effects to resources, such as the chimney within the adjacent WW II barracks. He will oversee all aspects of the archaeological monitoring for the bridge replacement project.

Lateral Ditches, Indian River County - Mr. Pepe assisted District Four with the transfer of lands from FDOT ROW to the Florida Inland Navigational District (FIND). He led a cultural resources desktop analysis and conducted a reconnaissance survey with District Four personnel. He worked closely with OEM to help avoid potential project delays due to the presence of a previously recorded archaeological site and questions regarding the original source of funding for the Department acquisition of the property. Mr. Pepe's extensive knowledge of Treasure Coast archaeological resources helped to assure the OEM Cultural and Recreational Resources Coordinator that no archaeological resources would be affected by the land transfer and that a full CRAS was not required.

North Woodlawn Cemetery, Broward County - Since 2012, Mr. Pepe has been assisting District Four with the ongoing management of this important cultural resource. His involvement with the North Woodlawn Cemetery began during the CRAS of the SR 9/I-95 from SR 848/Stirling Road to SR 816/Oakland Park Boulevard PD&E Study. During this project, he identified and informed District Four of the presence of graves within Department ROW. Since then, he has led and reported on several remote sensing surveys in and around the cemetery to help avoid impacts to unmarked graves. As part of this work, he has interviewed and consulted with numerous concerned members of the African American community. He has also worked with the FDHR to list the North Woodlawn Cemetery on the National Register and to provide a state historical marker for the cemetery. He has led several monitoring projects at the cemetery and, in keeping with Chapter 872, *F.S.,* has provided timely coordination with District Four, SHPO, the State Archaeologist, and the Broward County District Medical Examiner on unanticipated finds there.

Bass Creek Road Mobility Improvements Project, SW 148th Avenue from SW 52nd Drive to SW 48th Court/Bass Creek Road, Broward County - Mr. Pepe was able to streamline permitting of this project through his intimate knowledge of the Floyd Midden archaeological site. Having identified and led Phase II excavations at the site, he was able to pinpoint its location well outside of the Department's project area. Because of this knowledge of the site's true location, a Minor Project Notification Form (now Minimal Impact Determination Form) coordinated with the SHPO was sufficient Section 106 documentation for the project.

2/27/23

Name Date

GINNY JONES, M.A.

Principal Investigator

EDUCATION

M.A. 2007 University of West Florida (History/Public History)
B.A. 2004 Florida State University (History)

PROFESSIONAL QUALIFICATIONS

- Meets the US Secretary of the Interior Professional Qualifications Standards for Historical Preservation defined by 36 CFR Part 61
- Meets the Professional Criteria in Chapter 1A-46.004 (FAC) and Consultant Qualification in the FDOT CRM Handbook
- Member of the Florida Trust for Historic Preservation and National Trust for Historic Preservation
- ACHP Section 106 Training and Numerous National Preservation Institute Courses
- OSHA-Compliant Red Cross Certification in Adult First Aid/CPR/AED
- CRM Experience in Florida: 14 years

PROFESSIONAL EXPERIENCE

Ms. Jones has 14 years of CRM experience as an Architectural Historian in South Florida, including the District Four service area. Through her experience at Janus Research and the SHPO/FDHR, Ms. Jones has developed an in-depth knowledge of federal and state environmental laws, Department CRM practices, and SHPO/FDHR practices. Before joining Janus Research in 2018, Ms. Jones was the dedicated project manager at the SHPO/FDHR for all District Four, Five, and Six projects, including acting as the ETAT member for the ETDM process. In her role at the SHPO/FDHR, Ms. Jones worked on projects from initiation through completion of the consultative process, development of agreement documents, and review of final mitigation measures. Ms. Jones worked with the Department, including OEM, and federal agencies such as the USCG, the ACOE, FHWA, and FTA during consultation on District Four projects. Ms. Jones brings a unique experience with project delivery from the regulatory side of consultation.

Ms. Jones' experience with Janus Research and other CRM firms gives her expertise in conducting the Section 106 affected parties consultation process. Ms. Jones has experience in evaluating appropriate project scope, conducting fieldwork and research, evaluating resources, and producing documents including CRAS Reports, Case Study Reports, and Memoranda of Agreement (MOAs). Ms. Jones has also provided Section 4(f) support, NEPA support, and Section 6(f) support. With Janus Research, Ms. Jones has worked directly with Department project managers, Cultural Resources Coordinators, consultants, and contractors to quickly develop innovative solutions to issues that arise during work program activities. Janus Research provides specialist review for ERC comments being developed by District Four consultants, and Ms. Jones has reviewed plans and project activities to identify appropriate documentation efforts in this role. Ms. Jones has also assisted District Four with annual Section 106 Programmatic Agreement (PA) Compliance audit responses and cultural resources commitment compliance inspections.

SPECIALIZED SKILLS

Ms. Jones's expertise is in her knowledge and experience with state and federal laws, regulations, and guidelines and how to successfully negotiate the complex process of SHPO/FDHR and regulatory approval. Ms. Jones understands the unique agreements that Department has with other agencies which can significantly minimize project delays, as well as the relationships between Department projects and federal agencies such as the USACE, USCG, the FHWA, and the FTA. Ms. Jones helped implement the 2018 National Programmatic Agreement (PA) related to work within railroad right-of-way. She used this PA for rail safety projects in District Four to quickly process these projects and allow construction to proceed without delays. Ms. Jones also specializes in negotiating and preparing a wide range of consultative documents that satisfy state and federal regulatory requirements and provide timely and successful project delivery. Her experience working on numerous different projects as an FDHR staff member provides her with a unique ability to anticipate issues that have the potential to slow down project delivery.

Ms. Jones provides high-level research and assessment skills to the complex resources encountered during District Four projects, including large historic districts, landscapes, linear resources, bridges, and resources associated with minority and under-represented communities. She is assisting OEM in developing a statewide survey and evaluation guide for post-World War II residential and commercial resources that will be implemented throughout Florida to expedite the identification and evaluation of these resource types. Ms. Jones is also helping OEM implement innovative evaluation and mitigation for linear resources, which is expected to be a statewide initiative. With Janus Research, Ms. Jones worked with the National Park Service (NPS) to use unmanned aerial vehicles (UAVs) as an innovative photography method during the mitigation for the Miami River-Miami Intermodal Center Capacity Improvements (MR-MICCI) project for District Four and the Singletary Bridge for District One.

Ms. Jones' deep understanding of the ETDM program, gained through her former role as an ETAT at FDHR and now as an assistant to other FDOT districts to develop Preliminary Environmental Discussion (PED) reports, helps her provide informed, efficient, and meaningful project planning and delivery assistance to the Department. Ms. Jones is proficient with the FDOT File Transfer Application (FTA) system, PSEE, ArcGIS for Desktop, and standard Microsoft and Adobe software suites.

RELEVANT EXPERIENCE

Kinney Tunnel Rehabilitation and Tunnel Extension Project, Broward County - Ms. Jones represented the Florida SHPO on complex projects including the Kinney Tunnel Rehabilitation project and Tunnel Extension in Fort Lauderdale, consulting with the Department, the City of Fort Lauderdale, and interested parties. After leaving FDHR, Ms. Jones continued working with the project team to avoid additional adverse effects on the tunnel. Ms. Jones also worked on completing the mitigation measures for the significant historic resource, including procuring the services of a specialized photographer to capture interior photographs of the tunnel. As a result, the mitigation was efficiently accepted by the NPS.

Jupiter Inlet Bridge PD&E Study, Palm Beach County - Ms. Jones worked on the Jupiter Inlet Bridge PD&E project, both as a SHPO representative and later as a consultant. This project has numerous federal and local partners including the Bureau of Land Management (BLM), the USCG, local non-profits, and interested local parties. The project required complex engineering and close coordination with all parties to avoid impacts to the Jupiter Lighthouse resources. At Janus Research, Ms. Jones has continued consulting on behalf of the Department with contractors and interested parties to continue avoiding adverse effects to additional cultural resources. Ms. Jones has participated in completing the mitigation measures for the adverse effect to the Jupiter Inlet Bridge, including the placement of two historical markers and completing HAER recordation of the bridge. Through close and meaningful consultation, the project was able to utilize the Programmatic 4(f) for the cultural resource impacts.

SR A1A/Sebastian Inlet Bridge PD&E Study, Indian River/Brevard Counties - Ms. Jones has worked closely on the SR A1A/Sebastian Inlet Bridge PD&E Study, a complex project located within two FDOT districts near a state park and a National Historic Landmark (NHL), the Pelican Island National Wildlife Refuge. The project required close coordination with federal and state agencies while addressing the environmental challenges in the project area. Ms. Jones has assisted the Department with determining areas suitable for drainage improvements. Ms. Jones developed an innovative mitigation option at the request of OEM that is a test project that may be implemented statewide. Because of the avoidance of additional adverse effects, the project is expected to use the Programmatic 4(f).

MR-MICCI Project, Miami-Dade County - District Four led this project in conjunction with the FRA and SFRTA. FTA was the lead federal agency and the USCG was an additional consulting federal agency. In her role as FDHR staff, Ms. Jones participated in meetings, conducted a field visit, and reviewed consultative documents. Ms. Jones negotiated with the FTA on the development of an MOA. As Janus Research staff, Ms. Jones assisted with the development of an amended MOA for the project. Ms. Jones has been instrumental in the completion of the mitigation measures for the significant cultural resource being impacted by the project, which included the HAER recordation of the bridge and the placement of a historical marker. Ms. Jones was also instrumental in consulting with the NPS to secure approval to use photography taken by unmanned aerial vehicles (UAVs) for some of the bridge documentation. Ms. Jones worked with the design consultant to resolve issues that have arisen during subsequent work program activities.

Name

2/27/23

Date

RUDY WESTERMAN, M.A.

Principal Investigator

EDUCATION

M.A. 2016 University of South Florida (Applied Anthropology)
B.A. 2005 Florida State University (Anthropology)

PROFESSIONAL QUALIFICATIONS

- Meets the US Secretary of the Interior Professional Qualifications Standards for Archaeology defined by 36 CFR Part 61
- Meets the Professional Criteria in Chapter 1A-46.004 (FAC) and Consultant Qualification in the FDOT CRM Handbook
- Human Remains Identification Training
- Member of the Florida Anthropological Society (FAS), Southeastern Archaeological Conference (SEAC), and Society for American Archaeology (SAA)
- OSHA Compliant Red Cross Certification: Adult First Aid/CPR/AED
- CRM Experience in Florida: 18 years

PROFESSIONAL EXPERIENCE

Mr. Westerman has vast experience with federal and state regulations and consultation, including 36 CFR 800, Sections 106 and 110, NEPA, Section 4(f), Chapters 267, 373, and 872, *Florida Statutes (F.S.)*, and the FDOT Section 106 Programmatic Agreement (PA), in both regulatory and consulting capacities. He worked for eight years reviewing CRAS, archaeological site evaluation, and data recovery mitigation reports, as well as environmental permits, in the FDHR/SHPO Compliance and Review Section. He helped organize an FDHR-led CRM Symposium where he presented training on Chapter 1A-46, *FAC*.

Mr. Westerman has prepared or contributed to a variety of documents for coordination under federal and state regulations, including CRAS reports, CRAS Addenda, Case Studies/Determinations of Effect, research designs, technical memoranda, SHPO/FDHR and Native American Tribal correspondence, NEPA PD&E and Reevaluation documents, Section 4(f) documentation, Minimal Impact Determination Forms, Memoranda of Agreement (MOAs), Unanticipated Finds Plans, Area of Potential Effects (APE) Justification Reports, and State Historical Marker applications. He directs and conducts Phase I CRAS projects and participates in Phase II and III excavations. He regularly uses geographic information systems (GIS) data and archaeological and historical research to analyze cultural resource data and develop archaeological probability zones, prepares cartographic figures using GIS, and drafts correspondence. Mr. Westerman has directed, conducted field surveys and background research, and produced reports to obtain agency concurrence for hundreds of FDOT and FTA projects coordinated with SHPO, including those conducted under Stipulation VII of the Section 106 PA and/or Chapter 267, *F.S.*

SPECIALIZED SKILLS

Mr. Westerman has experience reviewing FDOT engineering plans, knowledge of Department production processes and procedures, and sensitivity to project schedules and requirements. He completed over 1000 individual reviews in the Electronic Review Comments (ERC) system, including FDOT design and PD&E projects from the scoping stage through project letting, as well as Local Agency Program (LAP) projects, ROW surplus and lease requests, RFPs and conceptual plans for Design Build projects, and plans and cultural resource reports prepared by other consultants or for other agencies. His reviews involved recommendations for compliance with the Section 106 PA, avoidance of or coordination for historic Section 4(f) impacts, the inclusion of plan notes and Modified Special Provisions (MSPs)/Technical Special Provisions (TSPs) for archaeological monitoring, and identification of State Historic Highways (SHH). He contributed to the cultural resources sections of the District Six Environmental Impact Review (EIR) Handbook. He assisted with program management, maintained project tracking spreadsheets and PSEE modules, and prepared the cultural resources text and attachments for NEPA documentation of minor projects, PD&Es, and Reevaluations using the SWEPT tool. He led the preparation of the annual Section 106 review reports and supported the Department during the FHWA NEPA Assignment audits. He served as the point of contact for SHPO coordination. He participated in many internal and public meetings for Department projects, including with the SHPO, OEM, local government agencies, and the public. Meetings included those required by SHH laws, as well as Section 106 affected parties consultation. He conducted commitment compliance checks related to cultural resources, including archaeological monitoring. He has completed the coursework toward a Graduate Certificate in GIS, and

has experience with ArcGIS for Desktop, ArcGIS Pro, ArcGIS Online, ArcCollector, and ArcGIS StoryMaps. Mr. Westerman assisted with Section 106 and NEPA compliance for the 2017 District Six response to Hurricane Irma, developing an innovative tracking and notification spreadsheet for coordinating the over 200 federally funded emergency repair projects with the SHPO. OEM adopted this spreadsheet notification format for emergency response coordination in other districts.

Mr. Westerman served on the Florida Historical Marker Council for two terms at the invitation of FDHR. He obtained and completed the requirements of a 1A-32 Archaeological Research Permit for his M.A. thesis work at Silver Springs State Park.

RELEVANT EXPERIENCE

SR A1A/Sebastian Inlet Bridge PD&E Study, Brevard and Indian River Counties - Mr. Westerman served as co-Principal Investigator for this project, which required a 1A-32 Archaeological Research Permit for work within the Sebastian Inlet State Park. He planned and conducted archaeological fieldwork and archival research, co-authored the CRAS report, and drafted Tribal coordination letters for this PD&E project. He conducted GIS analysis and assisted with completing an evaluation matrix during project alternative selection. He provided archaeological monitoring recommendations to avoid adverse impacts to archaeological sites and potential human burials and gained concurrence from the SHPO. Mr. Westerman assisted with the preparation of an MOA for mitigation of adverse effects to a historic bridge. He attended regular progress meetings, as well as the Cultural Resource Committee (CRC)/public involvement meetings. He has continued to conduct due diligence archaeological testing to assist with the effort to avoid or minimize Section 4(f) impacts during the design process.

SR 15/US 441/US 98 from North of 1st Street to the Palm Beach/Martin County Line, Palm Beach County - Mr. Westerman co-authored the CRAS report for this project, which identified eleven (11) historic resources. Due to an inability to test within a previously recorded archaeological site, he recommended that archaeological monitoring occur during construction. The CRAS and cover letter, which included the finding of no adverse effects on the three National Register historic properties in the APE, received SHPO concurrence.

Golden Glades Interchange (GGI) PD&E Study, Miami-Dade County - Mr. Westerman conducted reviews of project plans for nine segments of ramps at this major interchange in ERC and helped develop the APE for the CRAS. He participated in field reviews with SHPO and OEM staff, attended numerous project meetings, and provided schedule management support. He served as Principal Investigator and co-author of the CRAS Addendum for the NEPA Re-evaluation and drafted the Section 106-related text for the NEPA document. He assisted with Section 4(f)-related coordination with SHPO and documentation efforts. The SHPO concurred with the determinations and findings of the report.

SW 1st Street Bridge Replacement, Miami-Dade County - Mr. Westerman reviewed design plans and assisted with recommendations of notes related to NEPA commitments, including those developed during the CRC/Bridge Review Aesthetic Committee (BARC). He identified the potential for Section 4(f) impacts to historic properties and assisted with CRAS and Case Study documentation that allowed for SHPO concurrence and successful coordination of *de minimis* impacts to two historic properties. He assisted with the text and applications for the state historical markers. He also coordinated with the contractor regarding the markers and the progress of safely removing and storing historic material according to commitments made to avoid adverse effects to a historic property. He reviewed and prepared SHPO coordination documents for minor landscaping projects that had to incorporate the historic markers, collaborating with the archaeological monitoring team on-site to reduce fieldwork costs. He was also responsible for populating the Section 106/Section 4(f) aspects of the SWEPT project file.

Safe Routes to School for Key Biscayne K-8 LAP Project, Miami-Dade County - Mr. Westerman conducted fieldwork, coordinated with the Miami-Dade County Archaeologist, and co-authored the Cultural Resources Desktop Analysis and Field Review report for this LAP project. He was able to limit the archaeological monitoring requirement to ground disturbance below the level of documented fill and helped the Village of Key Biscayne meet the requirements of the Crandon Boulevard SHH law. SHPO concurred with the findings and recommendations of this report.

Rudy J Westerman

Name

2/27/23

Date

Appendix B: FMSF Forms

Page 1

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD00375
Field Date 6-30-2023
Form Date 7-13-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) American Legion — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
201-11	N	21st	Avenue	

Address:
Cross Streets (nearest / between) N. Dixie Highway/N 21st Ave and Tyler Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514215011730 — Landgrant _____
Subdivision Name HOLLYWOOD — Block 10 — Lot 7
UTM Coordinates: Zone ☐16 ☒17 — Easting 585193 — Northing 2877345
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1960 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1960 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature _____
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Bender Properties, Inc.(2013);DCK Enterprises, Inc.(2007);Margolis,M. and F(1979);Conti,A. and Gioia,M.(1977)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Gable — 2. _____ — 3. parapet
Roof Material(s) 1. Built-up — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

W elevation:glass blocks; glass blocks with central fixed;S elevation: fixed metal windows in sets of three

Distinguishing Architectural Features (exterior or interior ornaments)

parapet along roofline with small eyebrow ledge, fabric awnings over the window and entrance, mural on W elevation

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD00375

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Masonry - General 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

angled facade at corner of Tyler and 21st-with a single metal door (non-historic); three metal door-entrances on S elev

Porch Descriptions (types, locations, roof types, etc.)

entrances covered by a fabric awning

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

This is a rectangular structure that is the home of the American Legion and stores.It is Masonry Vernacular style with a parapeted roof with a small eyebrow ledge and fabric awnings.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

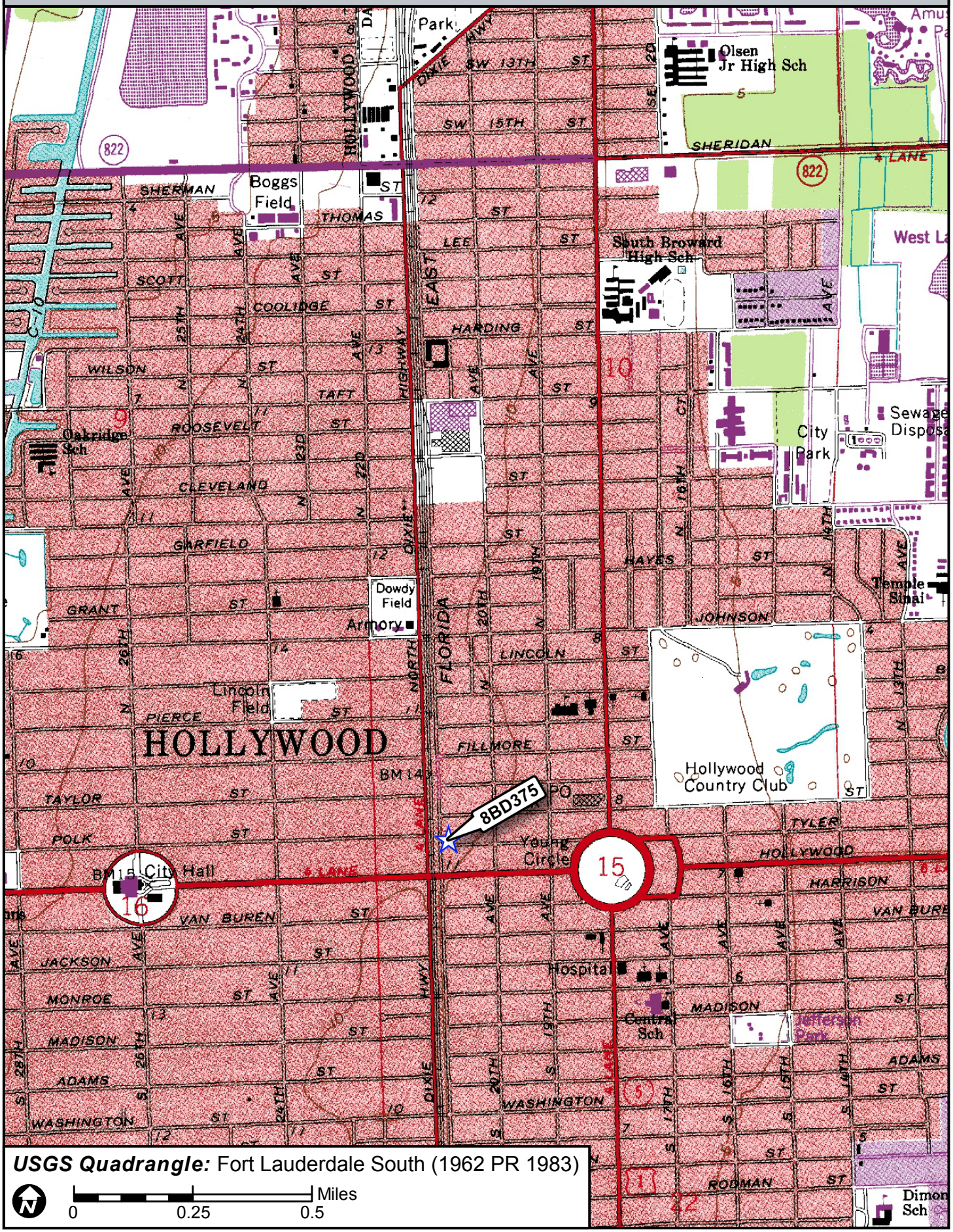
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD375

SKETCH MAP 8BD375

PHOTOGRAPH **8BD375**

USGS QUADRANGLE MAP **8BD375**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD00376
Field Date 6-30-2023
Form Date 7-12-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Hollywood Publishing Company/Old City Ha — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	219	N	21st	Avenue	

Cross Streets (nearest / between) N. Dixie Highway/N 21st Ave and Polk Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514215011700 — Landgrant _____
Subdivision Name HOLLYWOOD — Block 10 — Lot 2-3
UTM Coordinates: Zone ☐16 ☒17 — Easting 585189 — Northing 2877401
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1924 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1924 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use City hall — From (year): 1925 — To (year): 1928
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature _____
Additions: ☒yes ☐no ☐unknown — Date: 1-1-1988 — Nature 2-story addition on north elevation
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Hemingway's(2019);Rus's Properties LLC(2013);MK Ventures Inc(2000);Pecora,G and D(1997);Small Business Administration

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Mediterranean Revival — Exterior Plan Rectangular — Number of Stories 2
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Mansard — 2. Flat — 3. _____
Roof Material(s) 1. _____ — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

fixed metal (non historic), 1980s N addition: 1st floor: single light vinyl; 2nd floor: 1/1 single-hung vinyl windows

Distinguishing Architectural Features (exterior or interior ornaments)

Mansard roof with roof tiles and bracket on original;roof railing on addition, both: fabric awnings, beltcourse between first and second floors

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD00376

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

central with non-historic metal/glass door,original sidelights have been covered with marble,flanked by french doors

Porch Descriptions (types, locations, roof types, etc.)

restaurant seating area in front of 1980s addition, covered by fabric awning

Condition (overall resource condition): ☐excellent ☐good ☒fair ☐deteriorated ☐ruinous

Narrative Description of Resource

See continuation sheet

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

See continuation sheet

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

See continuation sheet

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

SITE NAME: Hollywood Publishing Company/Old City Hall

A. NARRATIVE DESCRIPTION OF SITE

The Hollywood Publishing Company/Old City Hall is located at 219 N. 21st Avenue at the corner of Polk Street and N. 21st Avenue/N. Dixie Highway in Section 15 of Township 51 South, Range 42 East on the Hollywood (1962) United States Geological Survey (USGS) quadrangle map, in the City of Hollywood, Broward County, Florida (Figure 1). The Mediterranean Revival building was constructed circa 1924 and originally served as the offices for the Hollywood Publishing Company for one year until 1925. In 1925, the city of Hollywood began using it as a temporary City Hall until 1928 when a new City Hall was constructed. Since that time, it has been used as a restaurant and bar (Research Atlantica, Inc. 2007).

Figure 1: Hollywood Publishing Company (8BD376), facing Southeast

The building is two stories clad in stucco. The original structure has a central entrance flanked by double doors. The second story on the original structure consists of four non-historic windows with a central pair of arched fixed windows. The non-historic north addition has one-over-one vinyl windows. Non-historic fabric awnings are located on all of the windows and doors. The roof is composed of a central flat roof with mansard roof.

Currently the mansard is clad in Spanish barrel tiles. Italianate brackets are located on the wide eaves but are largely obscured.

The building has sustained several alterations, including replaced windows, a new stucco treatment, and the alteration of the entrance. In approximately 1988, a two-story addition was added to the north elevation (Research Atlantica, Inc. 2007). The addition projects slightly closer to the road than the original building. The addition is also clad in stucco and has a railing parapet along the roof.

A historic photo from c. 1925 shows the original design of the structure and the alterations that have occurred to the structure (Figure 2).

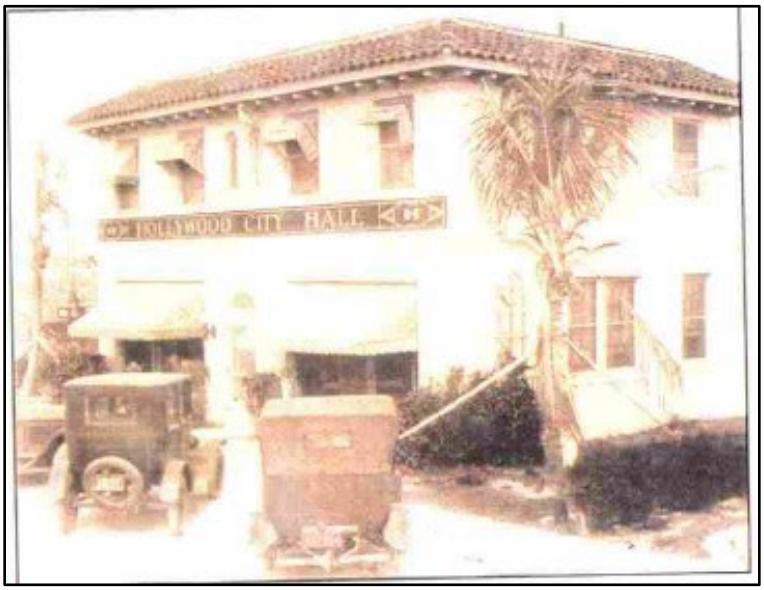


Figure 2: A circa 1925 photo of the building when it was used as the Hollywood City Hall (Courtesy of the Hollywood Historical Society, Inc.)

B. DISCUSSION OF SIGNIFICANCE

The building was constructed circa 1924 as the Hollywood Publishing Company. The company moved their operations to a different building in 1925. In 1925, the city of Hollywood began using it as a temporary City Hall until 1928 when a new City Hall was constructed. Since that time, it has been used as a restaurant and bar (Research Atlantica, Inc. 2007).

In 1997 the City of Hollywood designated the structure a local historic site based on its association with the early development of Hollywood, architectural significance, and high degree of integrity (Research Atlantica, Inc. 2007). In 1999, the nearby Hollywood Downtown District was listed on the National Register of Historic Places and represented the early development of Hollywood. The current building at 219 N. 21st Avenue is not

located within the boundaries of the National Register-listed District, but is located approximately 1.5 blocks north of the north boundary.

The building is recommended ineligible for the National Register due to its lack of integrity caused by the large non-historic addition which impacts its massing, and the replacement of original materials. For these reasons, the structure is recommended ineligible for the National Register individually and as a contributing resource to a historic district.

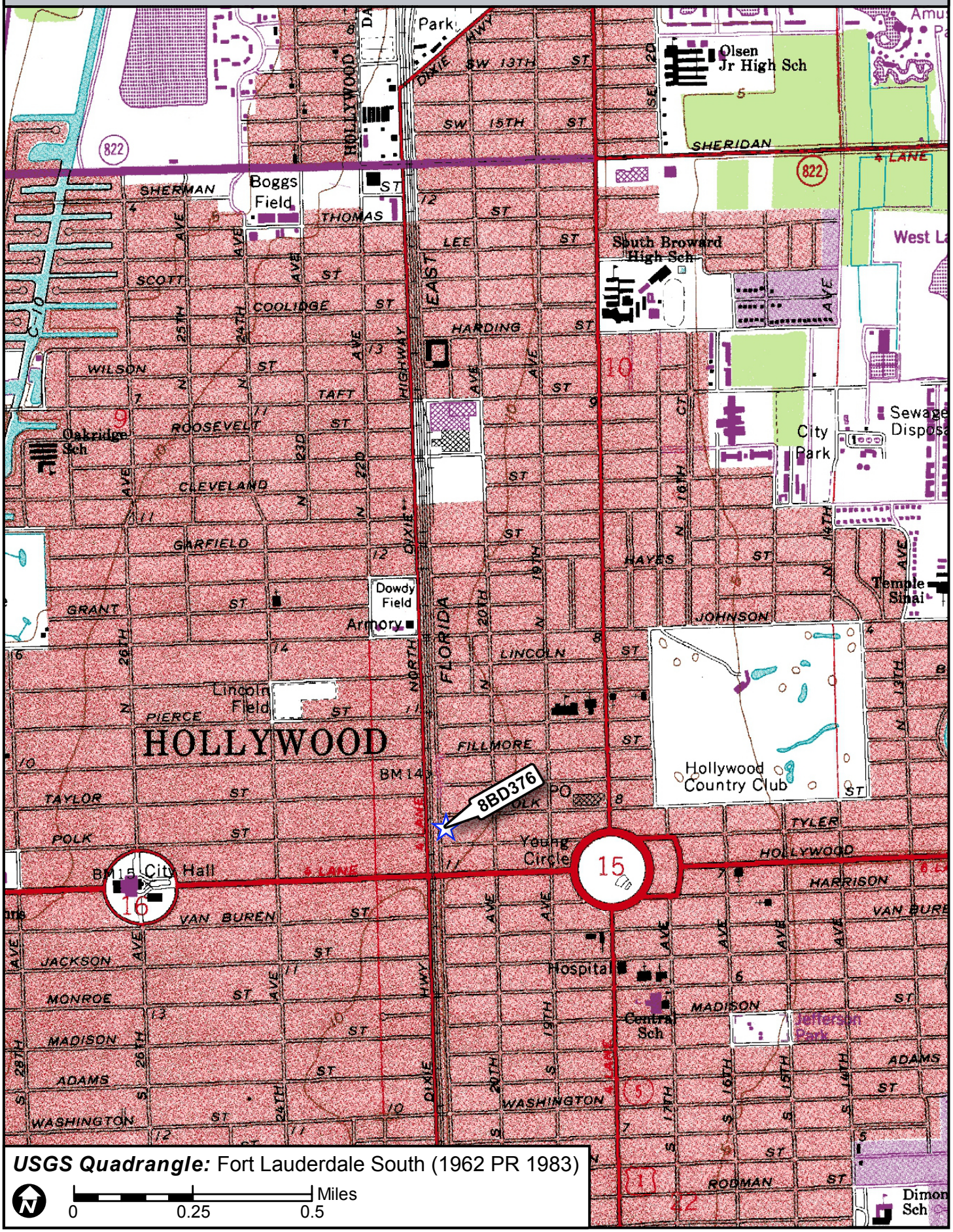
C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

Research Atlantica, Inc.
2007 *Historic Designation Report: Hollywood Publishing Company/Old City Hall/219 North 21st Avenue*. Available at the Florida Master Site File for 219 N. 21st Avenue (8BD376).

PHOTOGRAPH 8BD376

SKETCH MAP 8BD376

USGS QUADRANGLE MAP **8BD376**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD00381
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 16b

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 921 N 21st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	921	N	21st	Avenue	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 10 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-03-10-0080 — Landgrant _____
Subdivision Name North Hollywood (4-1B) — Block 1 — Lot _____
UTM Coordinates: Zone ☐16 ☒17 — Easting 585166 — Northing 2878128
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1943 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Shop, auto repair — From (year): 1943 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding, windows
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Victory E & I Roofing and Construction, LLC (2022); 921 North 21st Avenue, LLC (2015); Fabio Pinto (1996); Esther Goldman

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Artif masonry veneer 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light; Awning, metal, paired, 3-stacked

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stepped stucco parapet, heavily textured stucco, pent roof composition shingle awning, garage bays

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site #8 BD00381

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W ELEV: two individual doors w/ transoms

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ garage bays on the N, W, and S ELEV. The windows have been covered w/ metal security bars.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

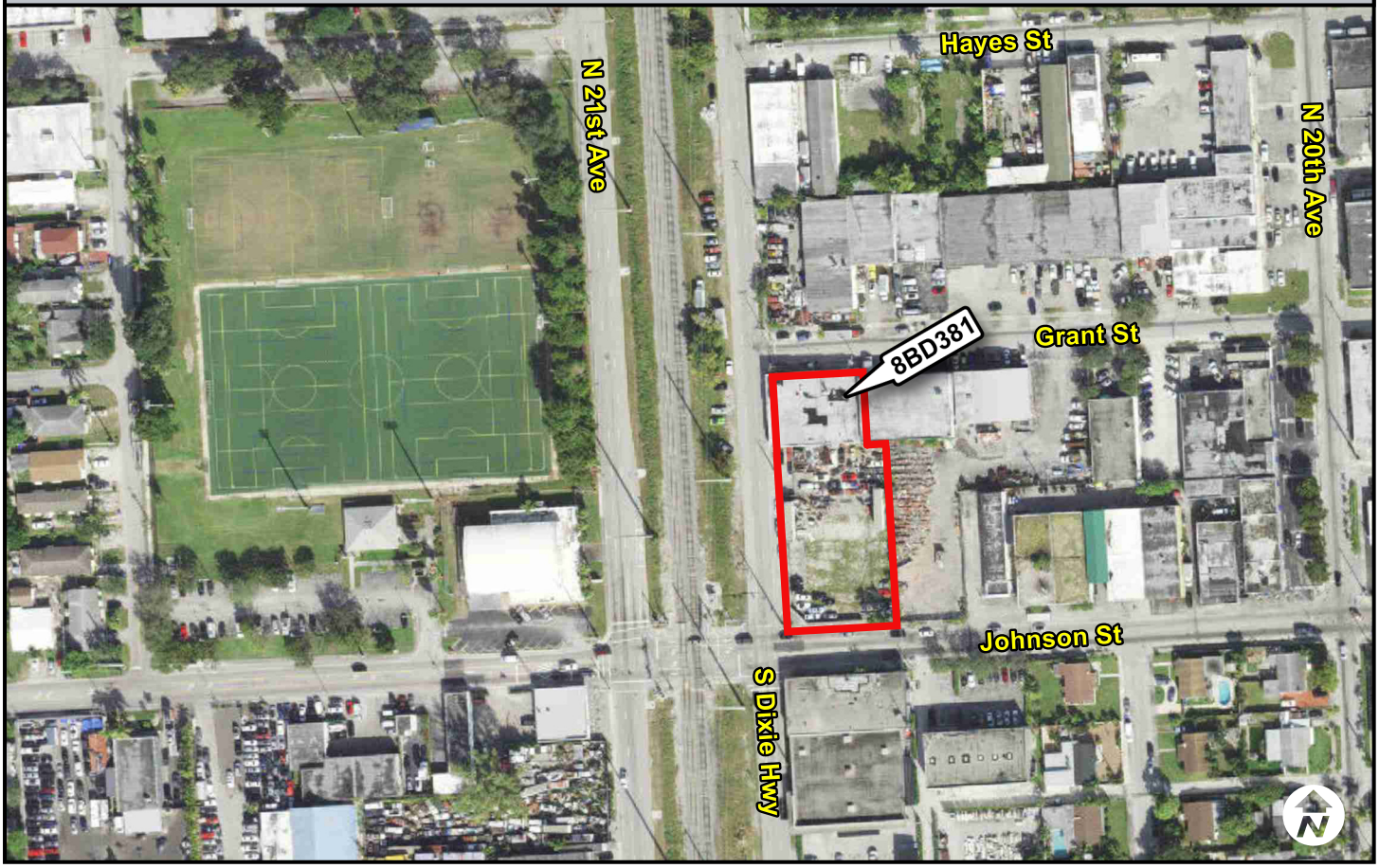
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH **8BD381**

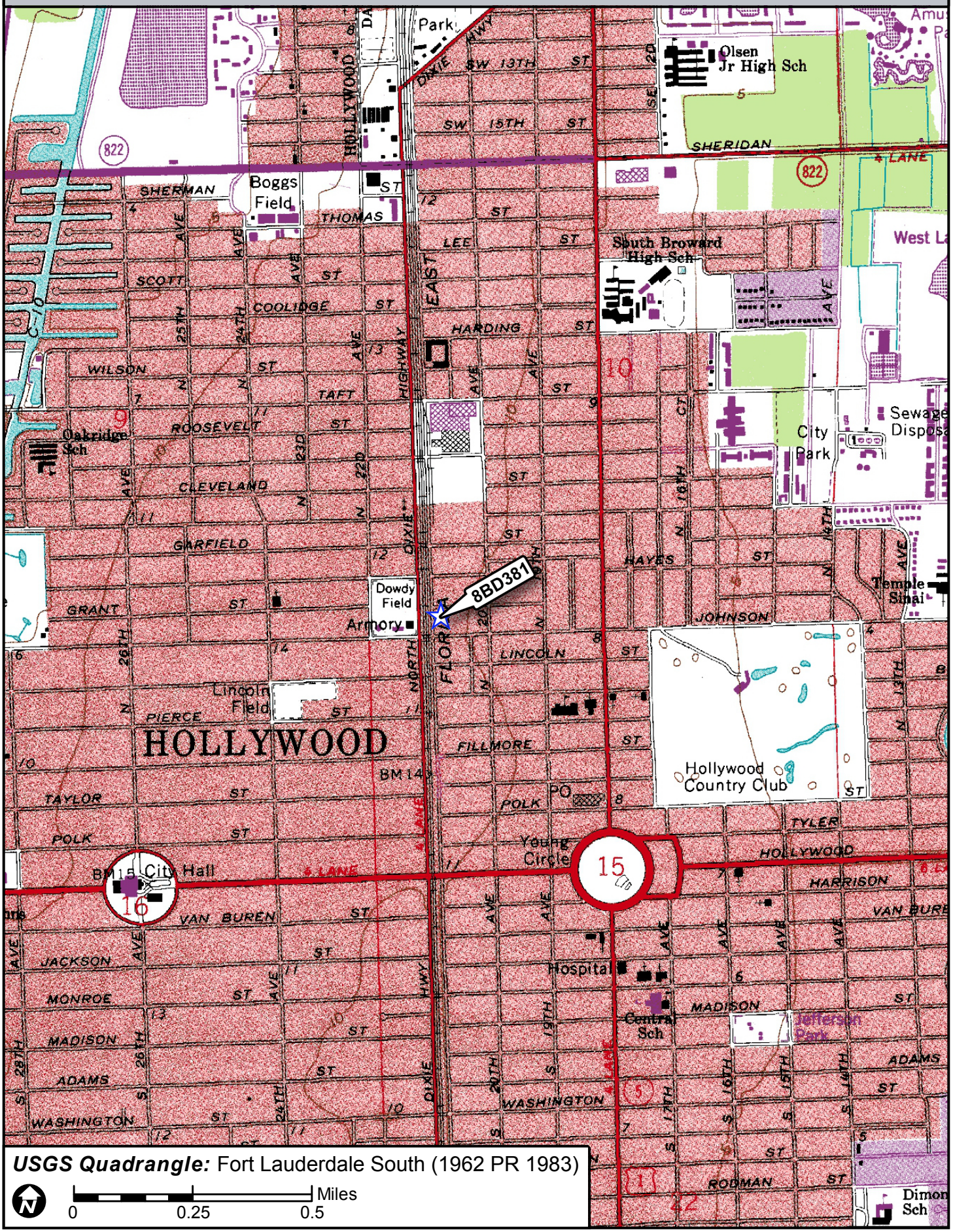
SKETCH MAP **8BD381**



PHOTOGRAPH **8BD381**

PHOTOGRAPH **8BD381**

USGS QUADRANGLE MAP **8BD381**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD00383
Field Date 6-30-2023
Form Date 7-13-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 109-111 N 21st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
109-111	N	21st	Avenue	

Address:
Cross Streets (nearest / between) N. Dixie Highway/N 21st Ave and Tyler Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514215011290 — Landgrant _____
Subdivision Name HOLLYWOOD — Block 8 — Lot 1-3
UTM Coordinates: Zone ☐16 ☒17 — Easting 585188 — Northing 2877173
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1935 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1960 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1980 — Nature new front doors
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Segbro Hollywood(2013); Jacob 1535 Properties Inc. (2004);Broward-Tulip Inc (1988); Ammar, S A Jr

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Flat — 2. _____ — 3. parapet
Roof Material(s) 1. Built-up — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

main/W elevation: three sets of storefront single light with six-lights along the top (original wood windows)

Distinguishing Architectural Features (exterior or interior ornaments)

parapet along roof line with scored stucco, pilasters with medallions at each end and between the store fronts (center), stuccoed light fixtures

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

n/a

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD00383

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Masonry - General 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

three storefronts with replacement metal doors under original 2-light wood transoms,matching lights above each door

Porch Descriptions (types, locations, roof types, etc.)

none

Condition (overall resource condition): ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

This is a Masonry Vernacular rectangular commercial structure that has a parapeted roof with scored stucco lines, pilasters with medallions, and original wood windows and door transoms.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☒ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☒ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

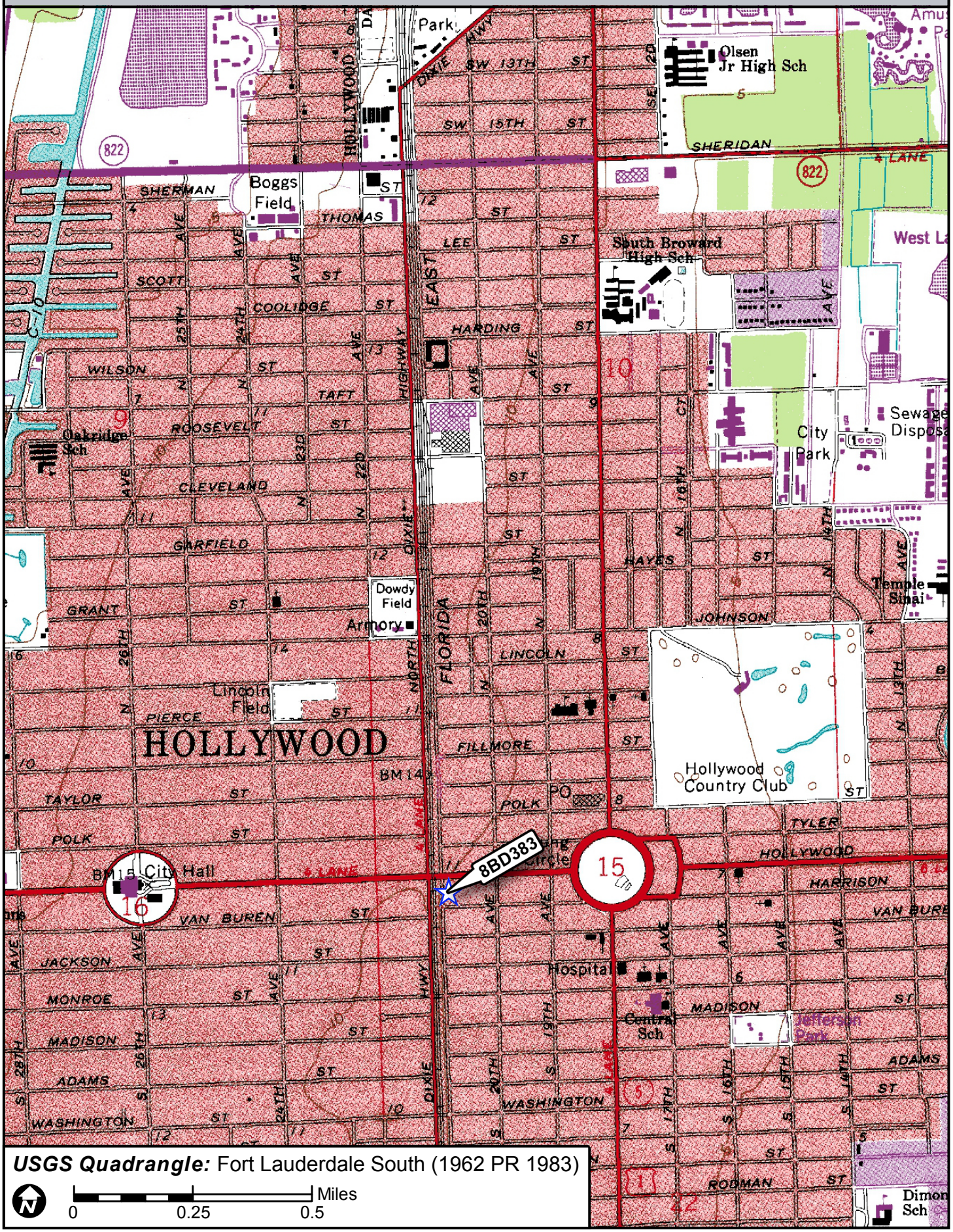
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD383

SKETCH MAP 8BD383

USGS QUADRANGLE MAP **8BD383**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD00414
Field Date 6-30-2023
Form Date 7-13-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2140 Fillmore Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2140		Fillmore	Street	

Cross Streets (nearest / between) N. Dixie Highway/N 21st Ave and Tyler Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # _____ — Landgrant _____
Subdivision Name HUTCHINSONS RESUB — Block D — Lot 6-7
UTM Coordinates: Zone ☐16 ☒17 — Easting 584948 — Northing 2877593
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1926 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Private Residence (House/Cottage/Ca — From (year): 1926 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1990 — Nature new windows
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Wald, Warren & Linda (2018);Fillmore St LLC (2012);Bank of NY Mellon(2012);Kapuscinska, Grazyna (1998), Gawrys, Michal & Ludmila (1991);Todorski,Zenon

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Frame Vernacular — Exterior Plan Rectangular — Number of Stories 2
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Clipped gable — 2. _____ — 3. _____
Roof Material(s) 1. Asphalt shingles — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

main/W elevation:1st floor:non-historic 3-over-3 vinyl windows; 2nd floor: non-historic 8-over-8 vinyl windows

Distinguishing Architectural Features (exterior or interior ornaments)

clipped gable roof, non-historic watercourse between the 1st and 2nd floors

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

n/a

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD00414

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Wood frame 2. _____ 3. _____
Foundation Type(s): 1. Unknown 2. _____
Foundation Material(s): 1. Obscured 2. _____
Main Entrance (stylistic details)

front entrance door is located on the West elevation and is obscured

Porch Descriptions (types, locations, roof types, etc.)

2nd story deck accessed via exterior stairs on the west elevation

Condition (overall resource condition): ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

This is a Frame Vernacular rectangular residential structure that has a clipped gable roof with stucco cladding, replaced windows, and a main entrance on the west elevation.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☒ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☒ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

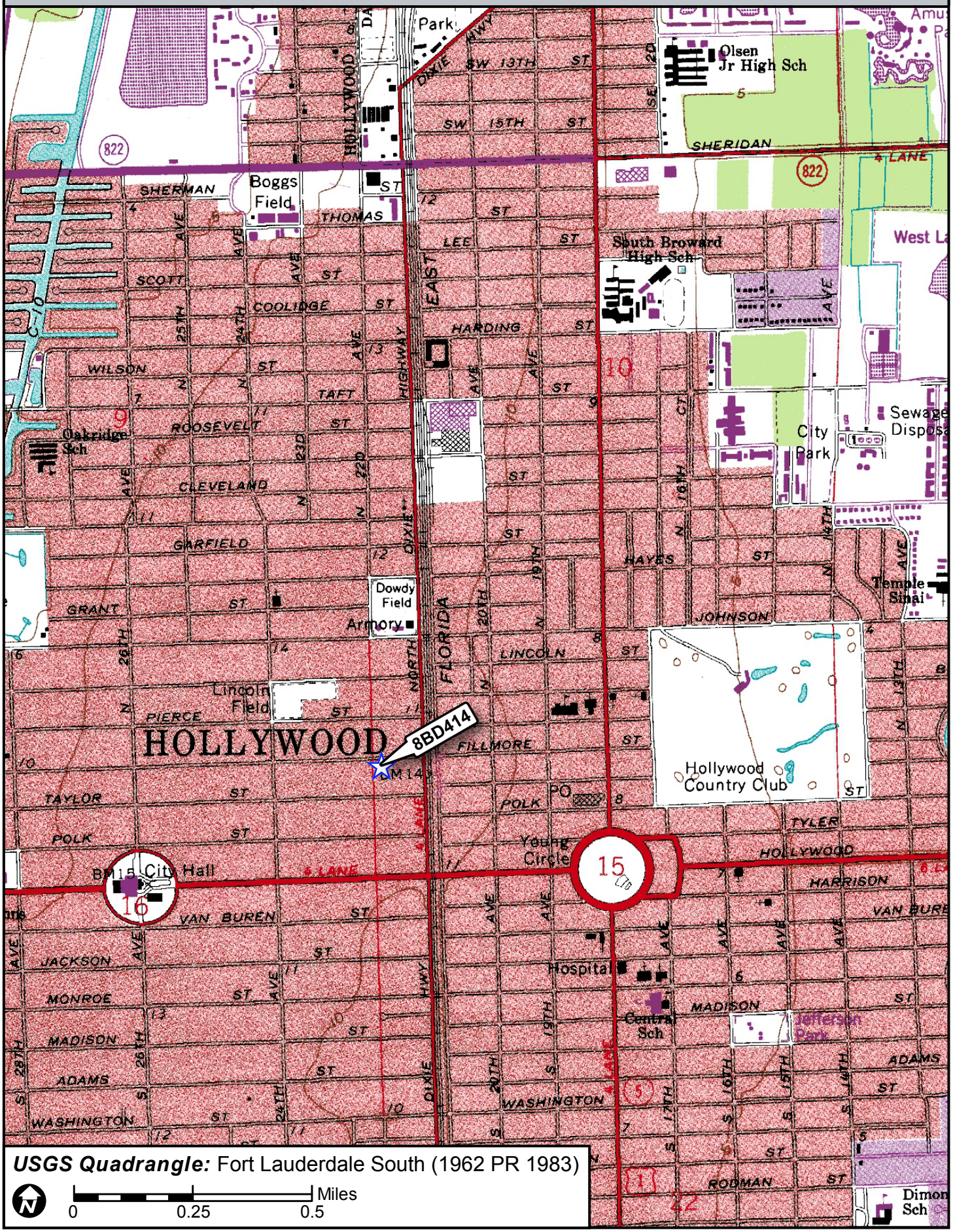
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD414

SKETCH MAP 8BD414

USGS QUADRANGLE MAP **8BD414**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD00888
Field Date 6-30-2023
Form Date 7-13-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2135 Taylor Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2135		Taylor	Street	

Cross Streets (nearest / between) N. Dixie Highway and Taylor Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514216080070 — Landgrant _____
Subdivision Name JD Cook and JC Kreusch — Block D — Lot 1-2
UTM Coordinates: Zone ☐16 ☒17 — Easting 584982 — Northing 2877491
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1926 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Private Residence (House/Cottage/Ca — From (year): 1926 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1974 — Nature new windows/door
Additions: ☒yes ☐no ☐unknown — Date: 1-1-1974 — Nature shed addition on W elevation
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

BFR Holdings (2012);Bazak,Ronen (2011);Fannie Mae(2010);Losz (2003), Mullenski, R and I (1998); Celentano, A & M

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Frame Vernacular — Exterior Plan Rectangular — Number of Stories 2
Exterior Fabric(s) 1. Stucco — 2. Wood siding — 3. _____
Roof Type(s) 1. Gable — 2. Shed — 3. _____
Roof Material(s) 1. Asphalt shingles — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. Shed extension — 2. _____

Windows (types, materials, etc.)

main/S elevation:non-historic 2-over-2 metal windows and a 1/1 metal window in the shed addition

Distinguishing Architectural Features (exterior or interior ornaments)

wood siding in the gable

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

n/a

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD00888

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Wood frame 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

front entrance is located on the S elevation is has a single non-historic 6-panel metal door

Porch Descriptions (types, locations, roof types, etc.)

front stoop covered by a historic metal awning

Condition (overall resource condition): ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

This is a Frame Vernacular rectangular residential structure that has a front gable roof with stucco cladding and wood siding in the gable, and replaced windows. A shed addition was added to the west elevation between 1973 and 1976 (based on aerials).

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☒ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☒ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

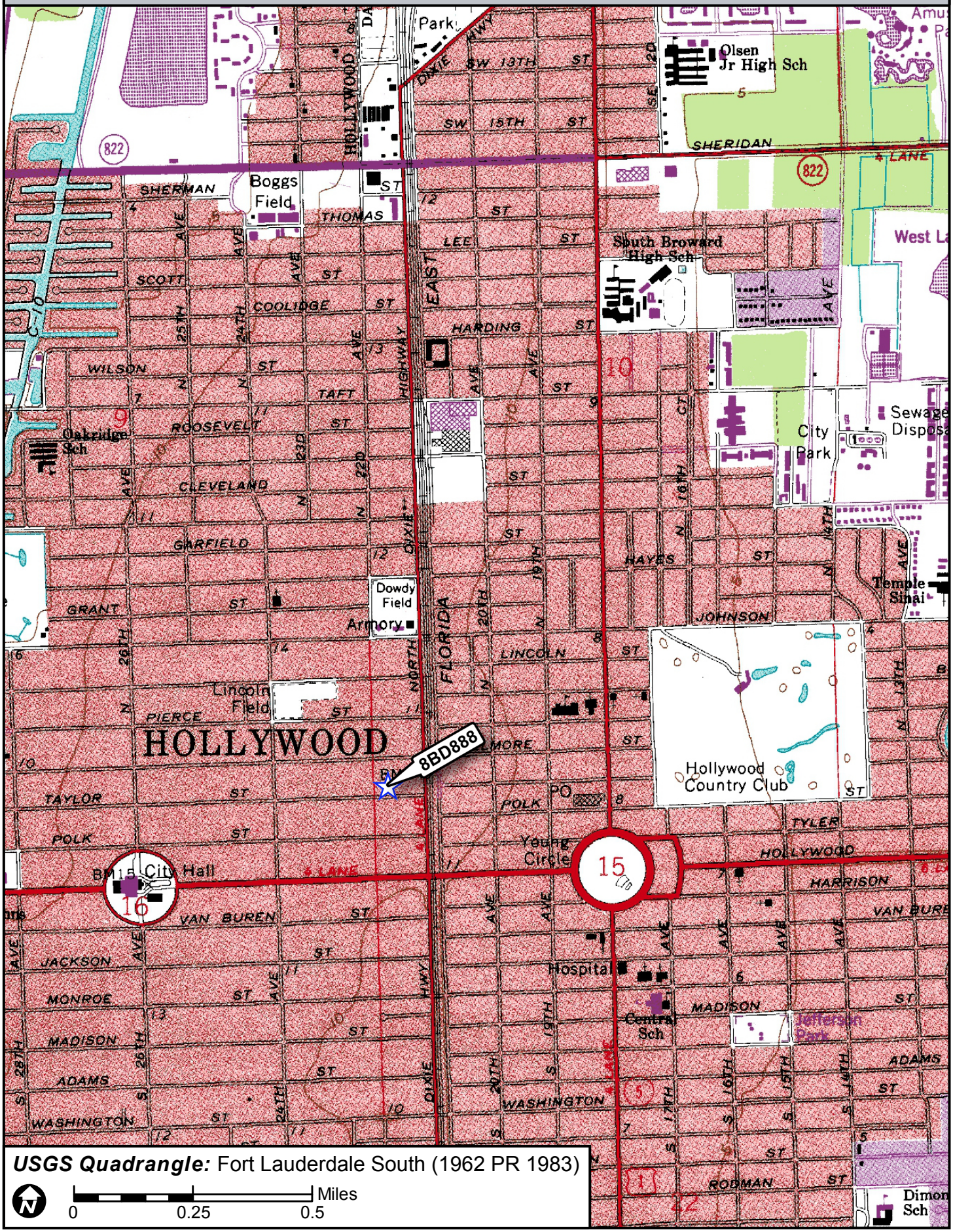
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD888

SKETCH MAP 8BD888

USGS QUADRANGLE MAP **8BD888**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

Miles
0 0.25 0.5

☐ Original
☒ Update

RESOURCE GROUP FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Consult the *Guide to the Resource Group Form* for additional instructions

Site # BD04227
Field Date 6-30-2023
Form Date 8-3-2023
Recorder# _____

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions** (MPSs). National Register MPSs are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☐ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☒ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name Dixie Highway **Multiple Listing [DHR only]** _____
Project Name CRAS Broward Commuter Rail PD&E Study **FMSF Survey #** _____
National Register Category (please check one): ☐building(s) ☒structure ☐district ☐site ☐object
Linear Resource Type (if applicable): ☐canal ☐railway ☒road ☐other (describe): _____
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☐private-nonspecific ☐city ☐county ☒state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address: Street Number | Direction | Street Name | Street Type | Suffix Direction
City/Town (within 3 miles) Hollywood In Current City Limits? ☒yes ☐no ☐unknown
County or Counties (do not abbreviate) Broward
Name of Public Tract (e.g., park) _____
1) **Township** 51S **Range** 42E **Section** 15 ¼ section: ☐NW ☐SW ☐SE ☐NE **Irregular-name:** _____
2) **Township** _____ **Range** _____ **Section** _____ ¼ section: ☐NW ☐SW ☐SE ☐NE
3) **Township** _____ **Range** _____ **Section** _____ ¼ section: ☐NW ☐SW ☐SE ☐NE
4) **Township** _____ **Range** _____ **Section** _____ ¼ section: ☐NW ☐SW ☐SE ☐NE
USGS 7.5' Map(s) 1) Name FORT LAUDERDALE SOUTH **USGS Date** 1962
2) Name _____ **USGS Date** _____
Plat, Aerial, or Other Map (map's name, originating office with location) _____
Landgrant _____
Verbal Description of Boundaries (description does not replace required map)

Within the project APE, the roadway consists of two segments, one that is approximately 3940 feet long and the other is 417 feet, both extending north and south

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐ Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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RESOURCE GROUP FORM

Site #8 BD04227

HISTORY & DESCRIPTION

Construction Year: 1915 ☒approximately ☐year listed or earlier ☐year listed or later
Architect/Designer: Unknown Builder: Unknown
Total number of individual resources included in this Resource Group: # of contributing 1 # of non-contributing _____
Time period(s) of significance (choose a period from the list or type in date range(s), e.g. *1895-1925*)
1. Twentieth C American 3. _____
2. _____ 4. _____
Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

The segments of Dixie Highway (8BD4227) consists of 3 SB travel lanes that are paired with 3 NB lanes on N 21st Ave. It has been widened from its original width of 2 lanes and has modern paving, pavement markings, signage, and signalization.

RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☐property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (specify) Historic aerial photography
Bibliographic References (give FMSF Manuscript # if relevant)

Janus Research 2019. FMSF Form for Dixie Highway (8BD4227). On file at Florida Department of Historical Resources, Tallahassee, Florida.

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient information
Potentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

These segments of Dixie Highway (8BD4227) exhibits modern alterations such as widening, paving, pavement markings, signalization, and signage. As a result, they are considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)

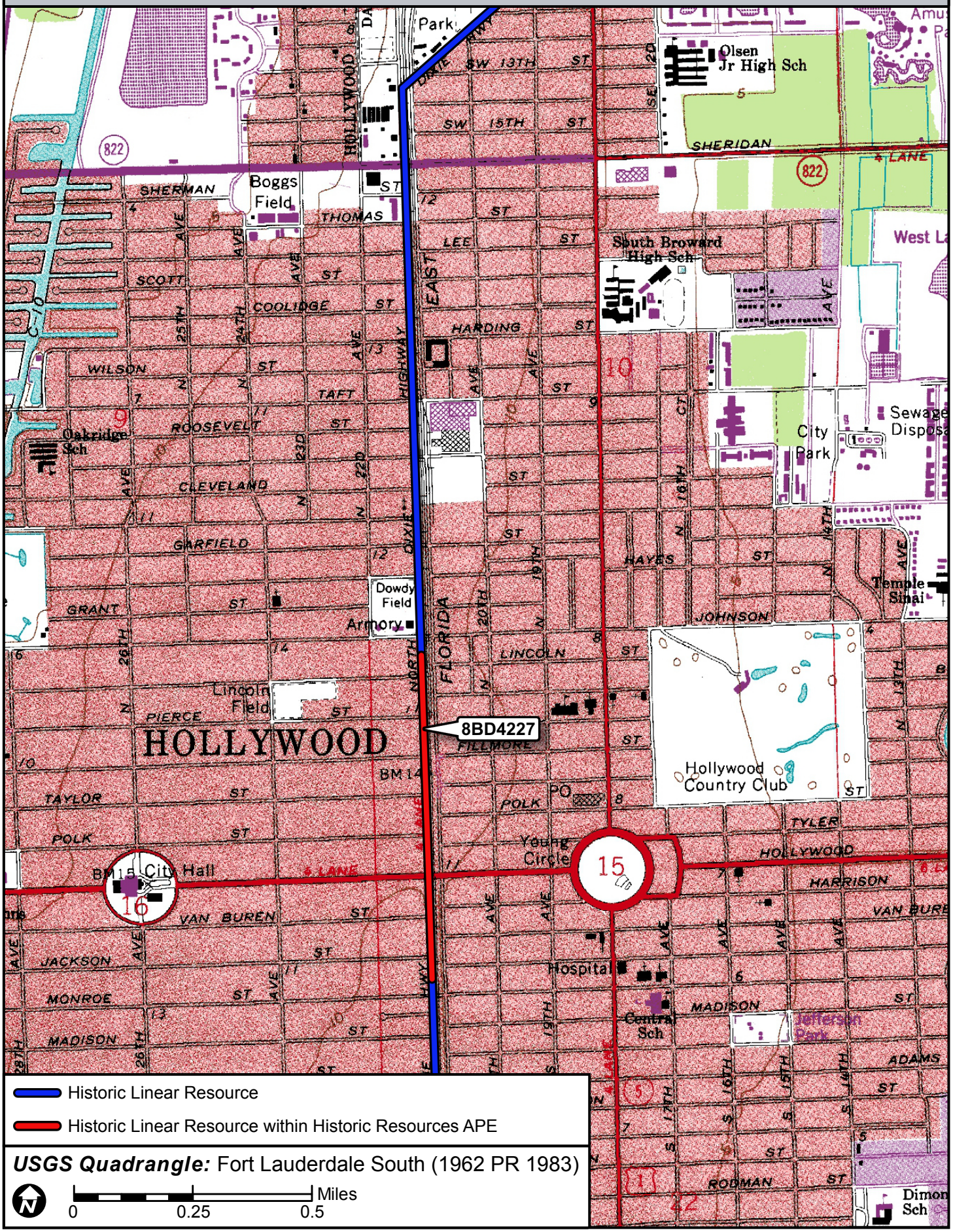
Required Attachments

❶ **PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED**
❸ **TABULATION OF ALL INCLUDED RESOURCES -** Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.
❹ **PHOTOS OF GENERAL STREETSCAPE OR VIEWS (Optional: aerial photos, views of typical resources)** When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH **8BD4227**

SKETCH MAP **8BD4227**

USGS QUADRANGLE MAP **8BD4227**



☐Original
☒Update

RESOURCE GROUP FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Consult the *Guide to the Resource Group Form* for additional instructions

Site #8 BD04373
Field Date 6-30-2023
Form Date 8-4-2023
Recorder# _____

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions** (MPSs). National Register MPSs are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☐ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☒ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name Federal Highway Multiple Listing [DHR only] _____
Project Name CRAS Broward Commuter Rail PD&E Study FMSF Survey #_____
National Register Category (please check one): ☐building(s) ☒structure ☐district ☐site ☐object
Linear Resource Type (if applicable): ☐canal ☐railway ☒road ☐other (describe): _____
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☐private-nonspecific ☐city ☐county ☒state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address: Street Number | Direction | Street Name | Street Type | Suffix Direction
City/Town (within 3 miles) Fort Lauderdale In Current City Limits? ☒yes ☐no ☐unknown
County or Counties (do not abbreviate) Broward
Name of Public Tract (e.g., park)_____
1) Township 50S Range 42E Section 27 ¼ section: ☐NW ☐SW ☐SE ☐NE Irregular-name: _____
2) Township 50S Range 42E Section 32 ¼ section: ☐NW ☐SW ☐SE ☐NE
3) Township _____ Range _____ Section _____ ¼ section: ☐NW ☐SW ☐SE ☐NE
4) Township _____ Range _____ Section _____ ¼ section: ☐NW ☐SW ☐SE ☐NE
USGS 7.5' Map(s) 1) Name FORT LAUDERDALE SOUTH USGS Date 1962
2) Name _____ USGS Date _____
Plat, Aerial, or Other Map (map's name, originating office with location) _____
Landgrant _____
Verbal Description of Boundaries (description does not replace required map)

Within the project APE, the roadway consists of a segment that is approximately 1344ft long extending north and south, parallel to the FEC Railway. SR A1A and Federal Highway are combined at this location.

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

RESOURCE GROUP FORM

Site #8 BD04373

HISTORY & DESCRIPTION

Construction Year: 1927 ☒approximately ☐year listed or earlier ☐year listed or later
Architect/Designer: Unknown Builder: Unknown
Total number of individual resources included in this Resource Group: # of contributing 1 # of non-contributing _____
Time period(s) of significance (choose a period from the list or type in date range(s), e.g. *1895-1925*)
1. Twentieth C American 3. _____
2. _____ 4. _____
Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

The segment of Federal Hwy consists of 3 SB travel lanes and 3 NB lanes with left and right turn lanes. It has been widened from its original width of 2 lanes and has modern paving, pavement markings, signage, and signalization.

RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☐property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (specify) Historic aerial photography
Bibliographic References (give FMSF Manuscript # if relevant)

Janus Research 2021. FMSF Form for Federal Highway (8BD4373). On file at Florida Department of Historical Resources, Tallahassee, Florida.

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient information
Potentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

The current segment of Federal Highway exhibits modern alterations such as widening, paving, pavement markings, signalization, and signage. As a result, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

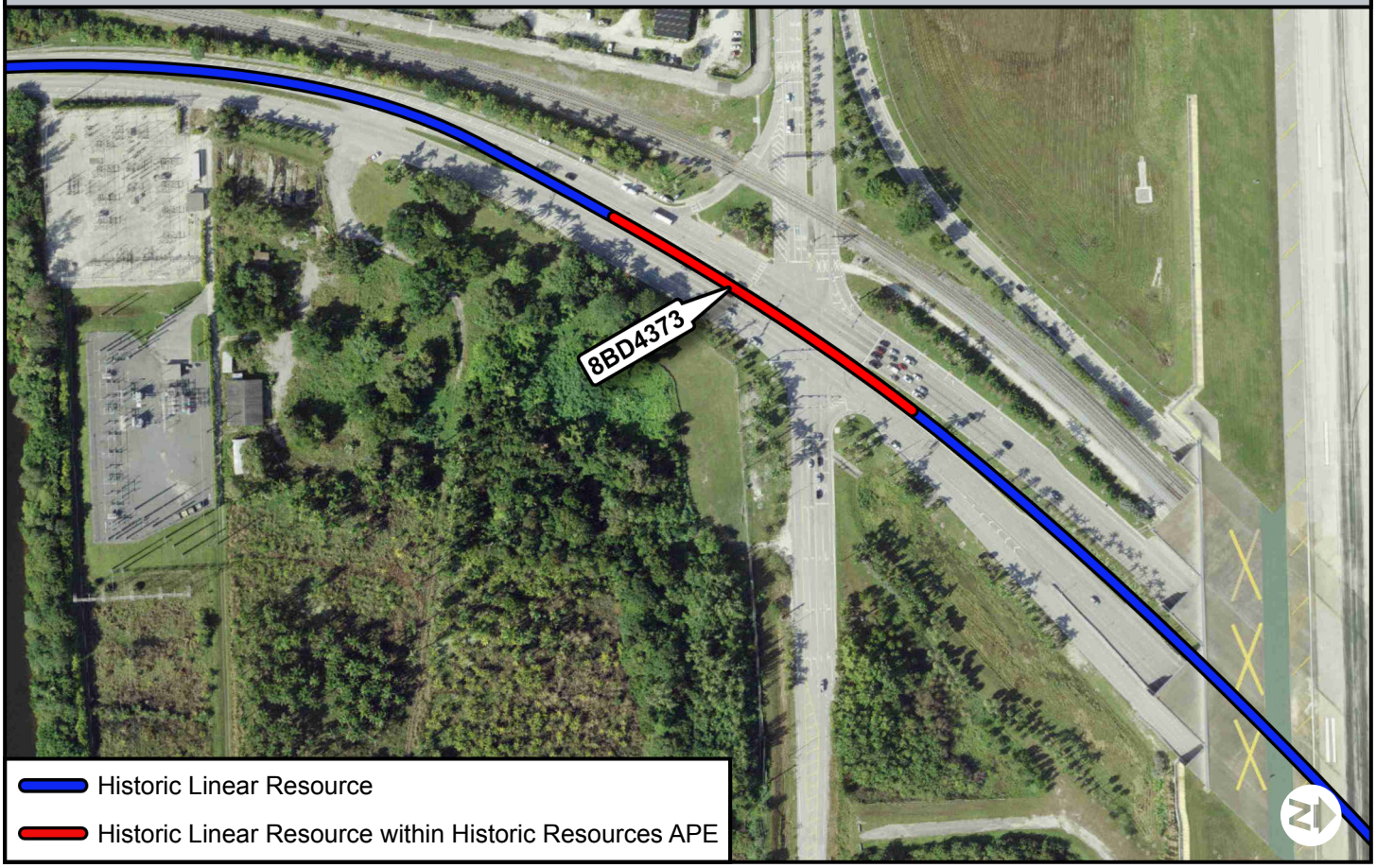
Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

❶ **PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED**
❸ **TABULATION OF ALL INCLUDED RESOURCES -** Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.
❹ **PHOTOS OF GENERAL STREETSCAPE OR VIEWS (Optional: aerial photos, views of typical resources)** When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

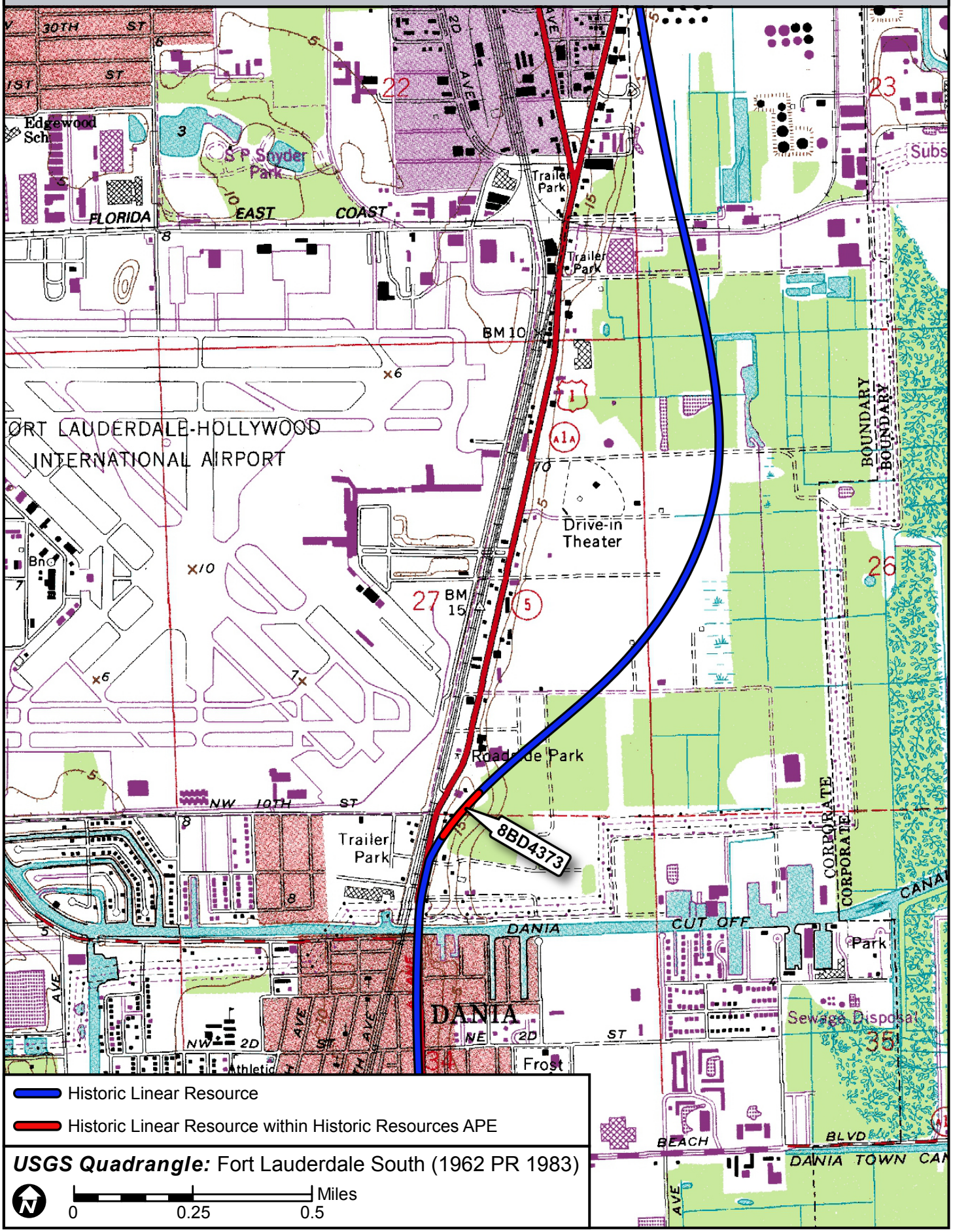
PHOTOGRAPH **8BD4373**

SKETCH MAP **8BD4373**



USGS QUADRANGLE MAP

8BD4373



Historic Linear Resource

Historic Linear Resource within Historic Resources APE

USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD04425
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1627 S. Andrews Avenue — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	1627	S	Andrews	Avenue	

Cross Streets (nearest / between) S Andrews Avenue and SE 17th Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Fort Lauderdale — **In City Limits?** ☒yes ☐no ☐unknown — **County** Broward
Township 50S — **Range** 42E — **Section** 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 504215400150 — **Landgrant** _____
Subdivision Name Croissant Park Resub — **Block** 38 — **Lot** 17
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 585755 — **Northing** 2887129
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1955 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1950 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature _____
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Gorenberg,S (1985); Hart, Elizabeth

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Rectangular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

12-light metal windows on all elevations with awnings

Distinguishing Architectural Features (exterior or interior ornaments)

pilasters, scored stucco, and eyebrow ledge on the facade, vertical brackets with circles on the E facade

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD04425

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

metal and glass window on E facade with pilasters on either side

Porch Descriptions (types, locations, roof types, etc.)

eyebrow ledge and vertical brackets are over the main entrance which is accessed by steps with metal railings.

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

This is a one-story Masonry Vernacular commercial building with some Streamline detailing including pilasters, eyebrow ledge, and front vertical brackets with circles.

Archaeological Remains n/a ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

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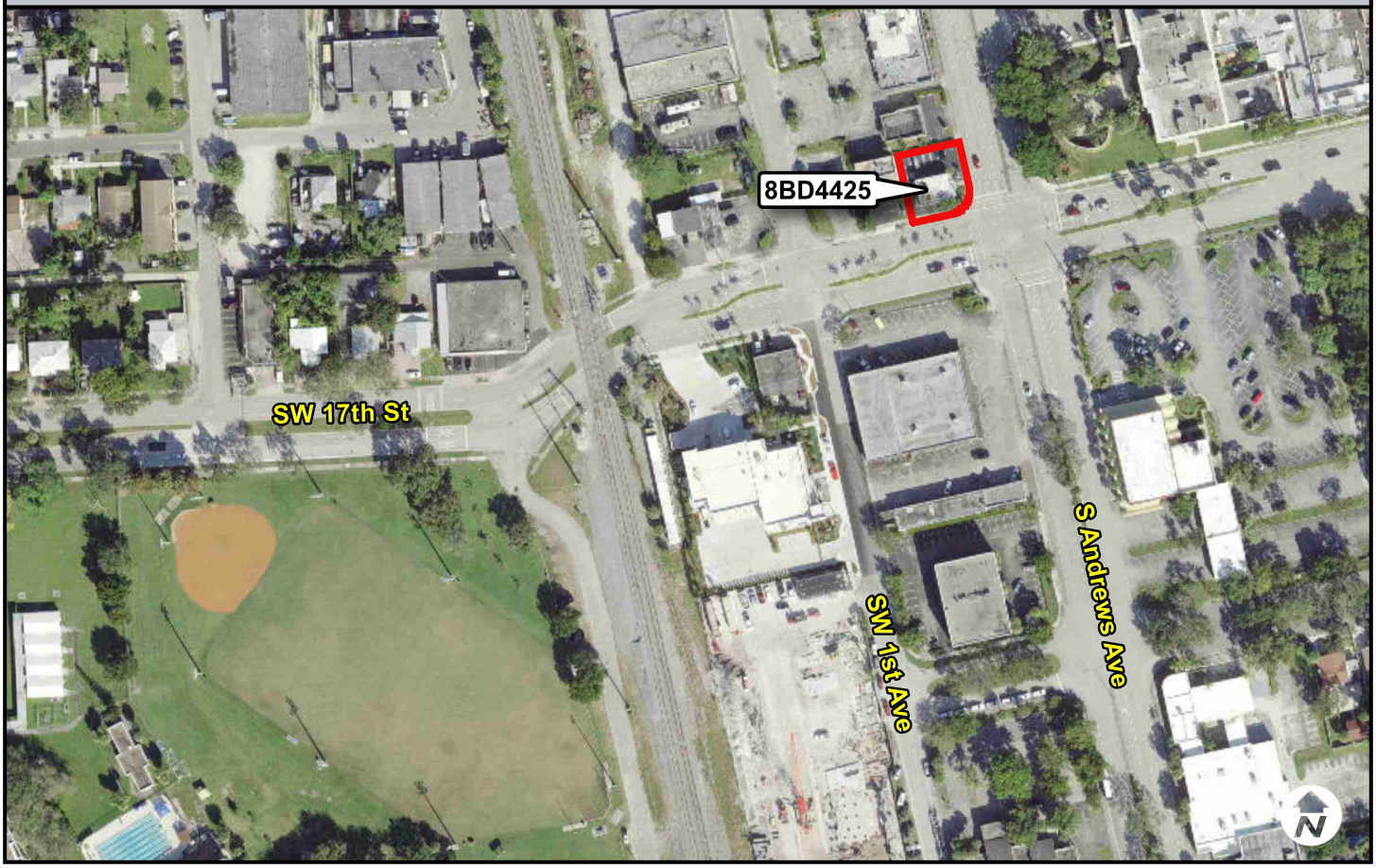
Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

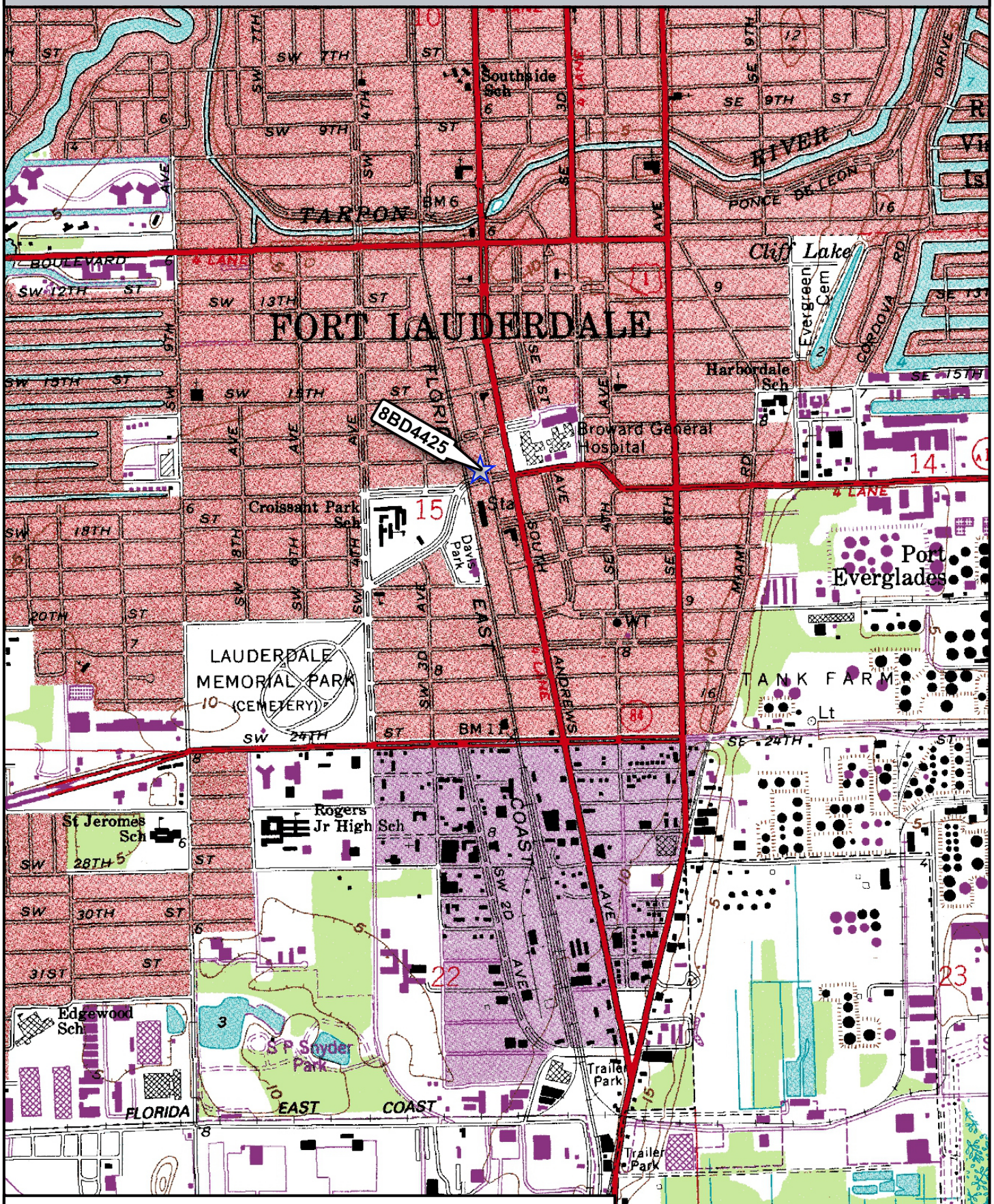
PHOTOGRAPH **8BD4425**

SKETCH MAP **8BD4425**



PHOTOGRAPH **8BD4425**

USGS QUADRANGLE MAP **8BD4425**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☐ Original
☒ Update

RESOURCE GROUP FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Consult the *Guide to the Resource Group Form* for additional instructions

Site # BD04776
Field Date 6-30-2023
Form Date 8-4-2023
Recorder# _____

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions** (MPSs). National Register MPSs are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☐ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☒ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name SR A1A Multiple Listing [DHR only] _____
Project Name CRAS Broward Commuter Rail PD&E Study FMSF Survey # _____
National Register Category (please check one): ☐building(s) ☒structure ☐district ☐site ☐object
Linear Resource Type (if applicable): ☐canal ☐railway ☒road ☐other (describe): _____
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☐private-nonspecific ☐city ☐county ☒state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address: Street Number | Direction | Street Name | Street Type | Suffix Direction
City/Town (within 3 miles) Fort Lauderdale In Current City Limits? ☒yes ☐no ☐unknown
County or Counties (do not abbreviate) Broward
Name of Public Tract (e.g., park) _____
1) Township 50S Range 42E Section 27 ¼ section: ☐NW ☐SW ☐SE ☐NE Irregular-name: _____
2) Township 50S Range 42E Section 32 ¼ section: ☐NW ☐SW ☐SE ☐NE
3) Township _____ Range _____ Section _____ ¼ section: ☐NW ☐SW ☐SE ☐NE
4) Township _____ Range _____ Section _____ ¼ section: ☐NW ☐SW ☐SE ☐NE
USGS 7.5' Map(s) 1) Name FORT LAUDERDALE SOUTH USGS Date 1962
2) Name _____ USGS Date _____
Plat, Aerial, or Other Map (map's name, originating office with location) _____
Landgrant _____
Verbal Description of Boundaries (description does not replace required map)

Within the project APE, the roadway consists of a segment that is approximately 1344ft long extending north and south, parallel to the FEC Railway. SR A1A and Federal Highway are combined at this location.

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐ Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

RESOURCE GROUP FORM

Site #8 BD04776

HISTORY & DESCRIPTION

Construction Year: 1927 ☒approximately ☐year listed or earlier ☐year listed or later
Architect/Designer: Unknown Builder: Unknown
Total number of individual resources included in this Resource Group: # of contributing 1 # of non-contributing _____
Time period(s) of significance (choose a period from the list or type in date range(s), e.g. *1895-1925*)
1. Twentieth C American 3. _____
2. _____ 4. _____
Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

The segment of SR A1A consists of 3 SB travel lanes and 3 NB lanes with left and right turn lanes. It has been widened from its original width of 2 lanes and has modern paving, pavement markings, signage, and signalization.

RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☐property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (specify) Historic aerial photography
Bibliographic References (give FMSF Manuscript # if relevant)

Janus Research 2020. FMSF Form for SR A1A (8BD4776). On file at Florida Department of Historical Resources, Tallahassee, Florida.

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient information
Potentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

The current segment of SR A1A exhibits modern alterations such as widening, paving, pavement markings, signalization, and signage. As a result, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

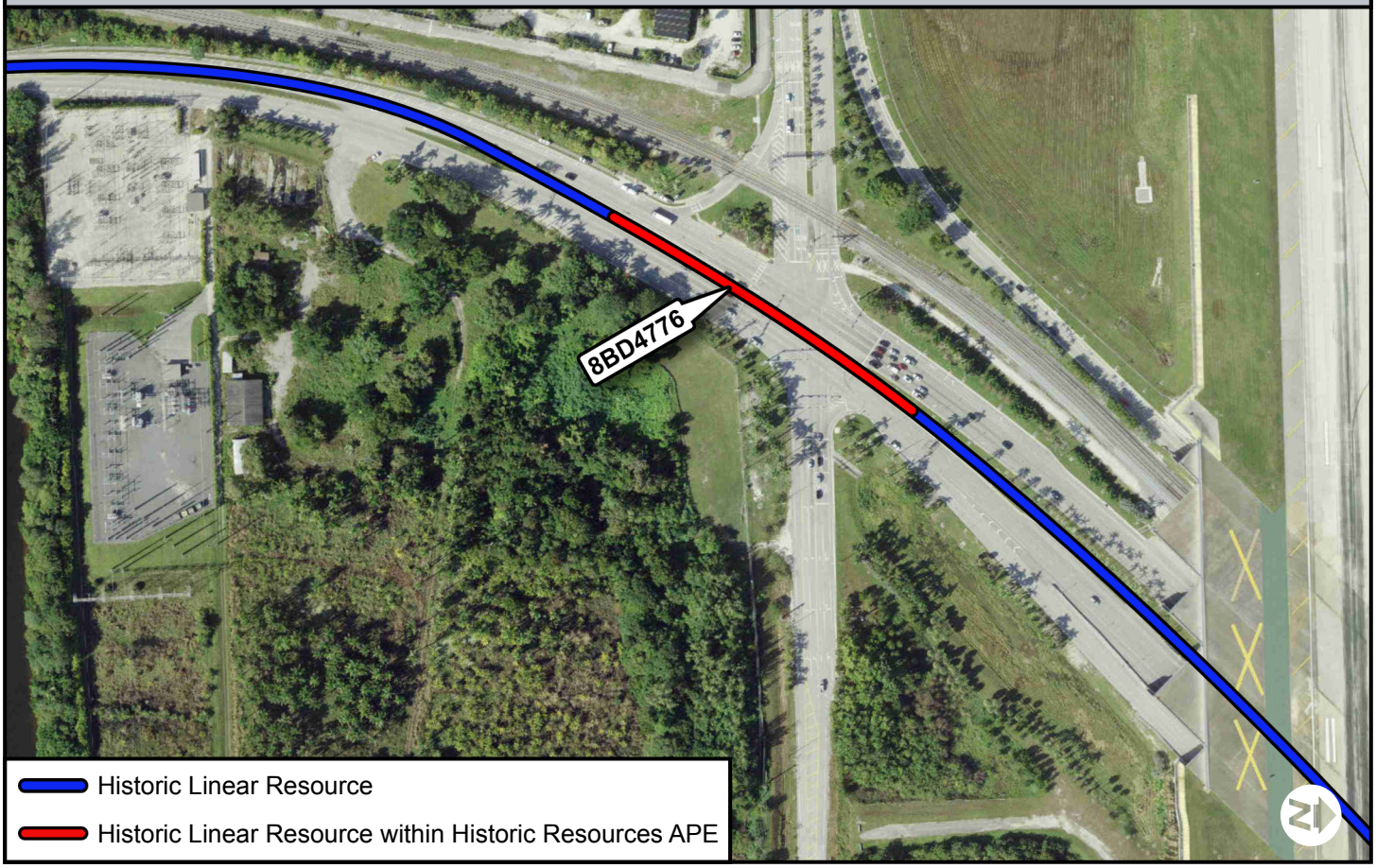
Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

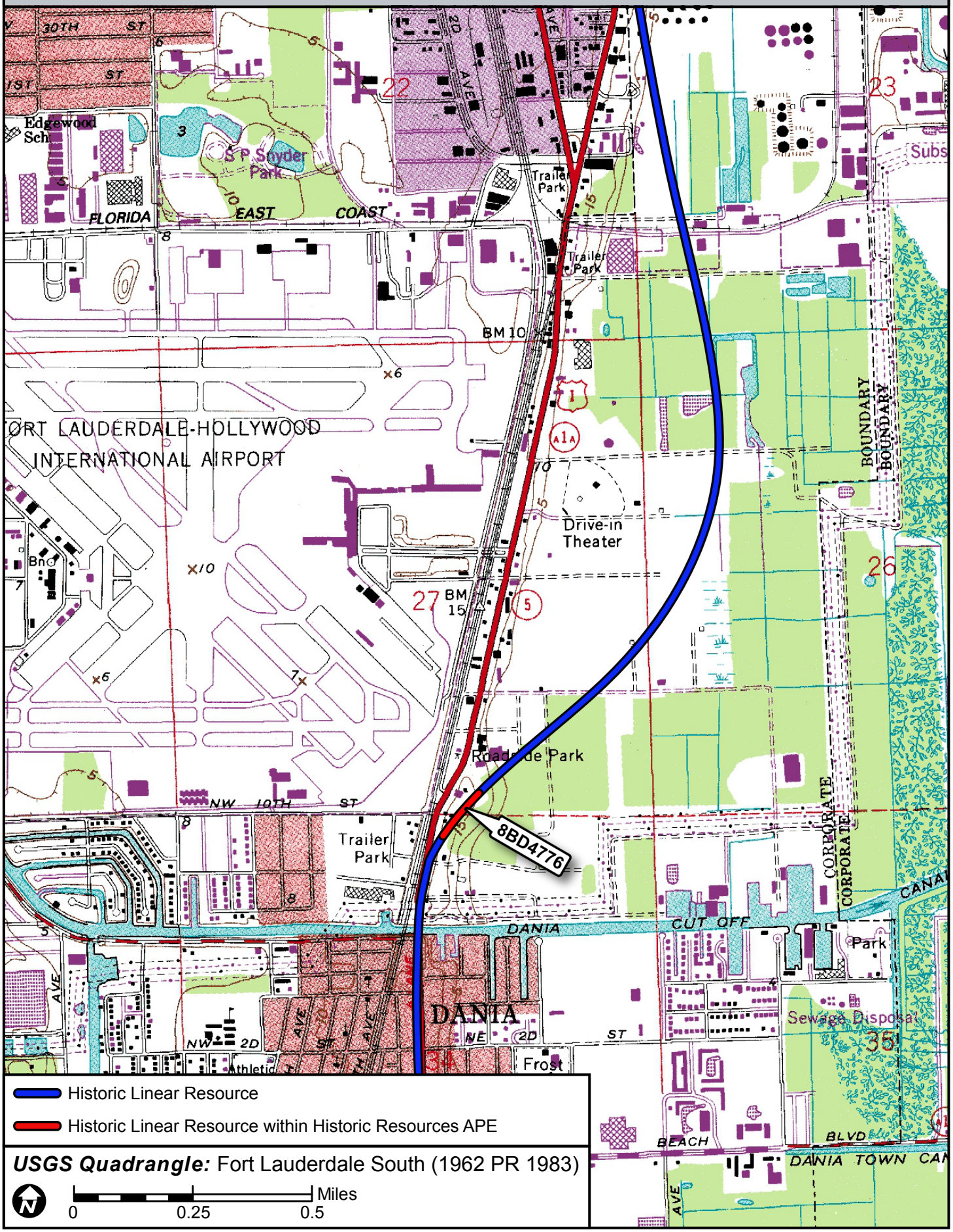
❶ **PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED**
❸ **TABULATION OF ALL INCLUDED RESOURCES -** Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.
❹ **PHOTOS OF GENERAL STREETSCAPE OR VIEWS (Optional: aerial photos, views of typical resources)** When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH **8BD4776**

SKETCH MAP **8BD4776**



USGS QUADRANGLE MAP **8BD4776**



Historic Linear Resource

Historic Linear Resource within Historic Resources APE

USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

Miles

0 0.25 0.5

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD08176
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 205 SW 17th Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
205	SW	17th	Street	

Address:
Cross Streets (nearest / between) SW 3rd Avenue and SW 17th Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☒yes ☐no ☐unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 504215014400 — Landgrant _____
Subdivision Name Croissant Park — Block 71 — Lot 13-15
UTM Coordinates: Zone ☐16 ☒17 — Easting 585596 — Northing 2887085
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1945 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1945 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1980 — Nature additions on north and south elevations
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Schofield, W R & V (2020); Schofield, W (pre-1998)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Brick 3. Metal
Roof Type(s) 1. Flat 2. Mansard 3. _____
Roof Material(s) 1. Built-up 2. Asphalt shingles 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

W: one 16-light metal window, two 8-light metal casement windows

Distinguishing Architectural Features (exterior or interior ornaments)

brick parapeted roof and eyebrow ledge on the original structure, mansard roof on north addition

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD08176

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W elevation: 3 metal doors, two bay doors (material unknown)

Porch Descriptions (types, locations, roof types, etc.)

eyebrow ledge over two entrances; mansard roof with wooden posts on northern addition

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

This is a one-story Masonry Vernacular commercial building with a brick parapet and eyebrow ledge on the original structure, with a mansard roof on the north addition.

Archaeological Remains n/a ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☒ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☒ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

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Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
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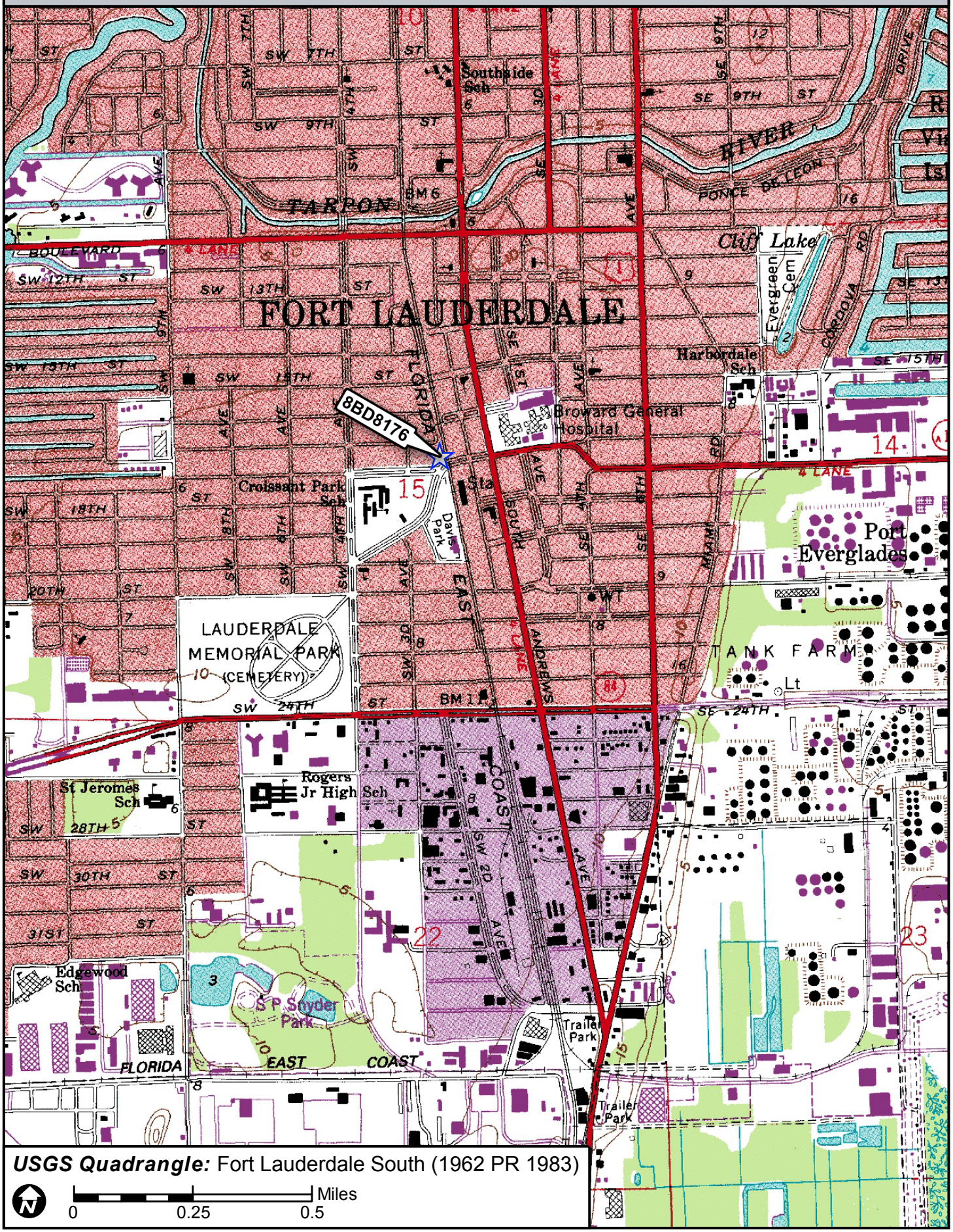
PHOTOGRAPH 8BD8176

SKETCH MAP 8BD8176

USGS QUADRANGLE MAP **8BD8176**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☐ Original
☒ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD08182
Field Date 6-30-2023
Form Date 7-13-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1527 SW 1st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	1527	SW	1st	Avenue	

Cross Streets (nearest / between) SW 1st Avenue and SW 16th Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☒yes ☐no ☐unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 504215102310 — Landgrant _____
Subdivision Name Croissant Park — Block 36 — Lot 9-18
UTM Coordinates: Zone ☐16 ☒17 — Easting 5 8 5 6 6 1 — Northing 2 8 8 7 2 7 1
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1950 ☒approximately ☐year listed or earlier ☐year listed or later

Original Use	Commercial	From (year): 1950	To (year): CURR
Current Use		From (year):	To (year):
Other Use	museum	From (year): 2000	To (year): 2011

Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☒yes ☐no ☐unknown Date: 1-1-1988 Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

constructed by J. Pitt Simpson (permit 1946),AABAR Plumbing until 1970s,variety of commercial uses until 2000 when it was opened as a car museum

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Bowed-arched 2. Flat 3. _____
Roof Material(s) 1. Sheet metal:corrugated 2. Built-up 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

original structure:glass blocks in picture-windows & metal fixed lights and 1-1 single hung; additions: glass blocks

Distinguishing Architectural Features (exterior or interior ornaments)

non-original parapets and brackets

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD08182

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

single glass and metal door at the angled façade with Single-light fixed windows flanking the entrance

Porch Descriptions (types, locations, roof types, etc.)

none

Condition (overall resource condition): ☐excellent ☐good ☒fair ☐deteriorated ☐ruinous
Narrative Description of Resource

See continuation sheet

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps
☒FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps
☒property appraiser / tax records ☒newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search
☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

See continuation sheet

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

See continuation sheet

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

SITE NAME: 1527 SW 1st Avenue

A. NARRATIVE DESCRIPTION OF SITE

The structure located at 1527 SW 1st Avenue is at the corner of SW 1st Avenue and SW 16th Street in Section 15 of Township 50 South, Range 42 East on the Hollywood (1962) United States Geological Survey (USGS) quadrangle map, in the City of Fort Lauderdale, Broward County, Florida. The original Masonry Vernacular building was constructed c 1950 (Figure 1) and was located at the corner of SW 1st Avenue and SW 16th Street. The original building (outlined in blue in Figure 2) has had four additions. The first addition (Figure 3) was added in c 1954 (Figure 2 – outlined in orange). The partially constructed addition is visible in an aerial from 1954 (Figure 4). The 1954 addition is almost indistinguishable from the original structure, except for the location of a door on the original east façade where the addition began. A second addition was placed on the north end of the original building c 1958, according to aerials and plat maps (Figure 5). The addition is outlined in purple on Figure 2 and circled in purple on Figure 5. The front façade for the second addition is very similar to that of the original building and first addition, but it extends further west than the original building and the first addition. The third addition to the original building was a large, cylindrical-roofed addition on the far north elevation (Figure 6). The addition is outlined in green on Figure 2. This addition appears on aerials between 1992 and 2002 (Figure 7). The final addition (Figure 8) was placed on the west elevation between 2006 and 2008 (Figure 9). This addition is outlined in pink in Figure 2.

Figure 1: 1527 SW 1st Avenue (8BD8182), c 1950, Considered National Register Ineligible, facing Northwest

SITE NAME: 1527 SW 1st Avenue

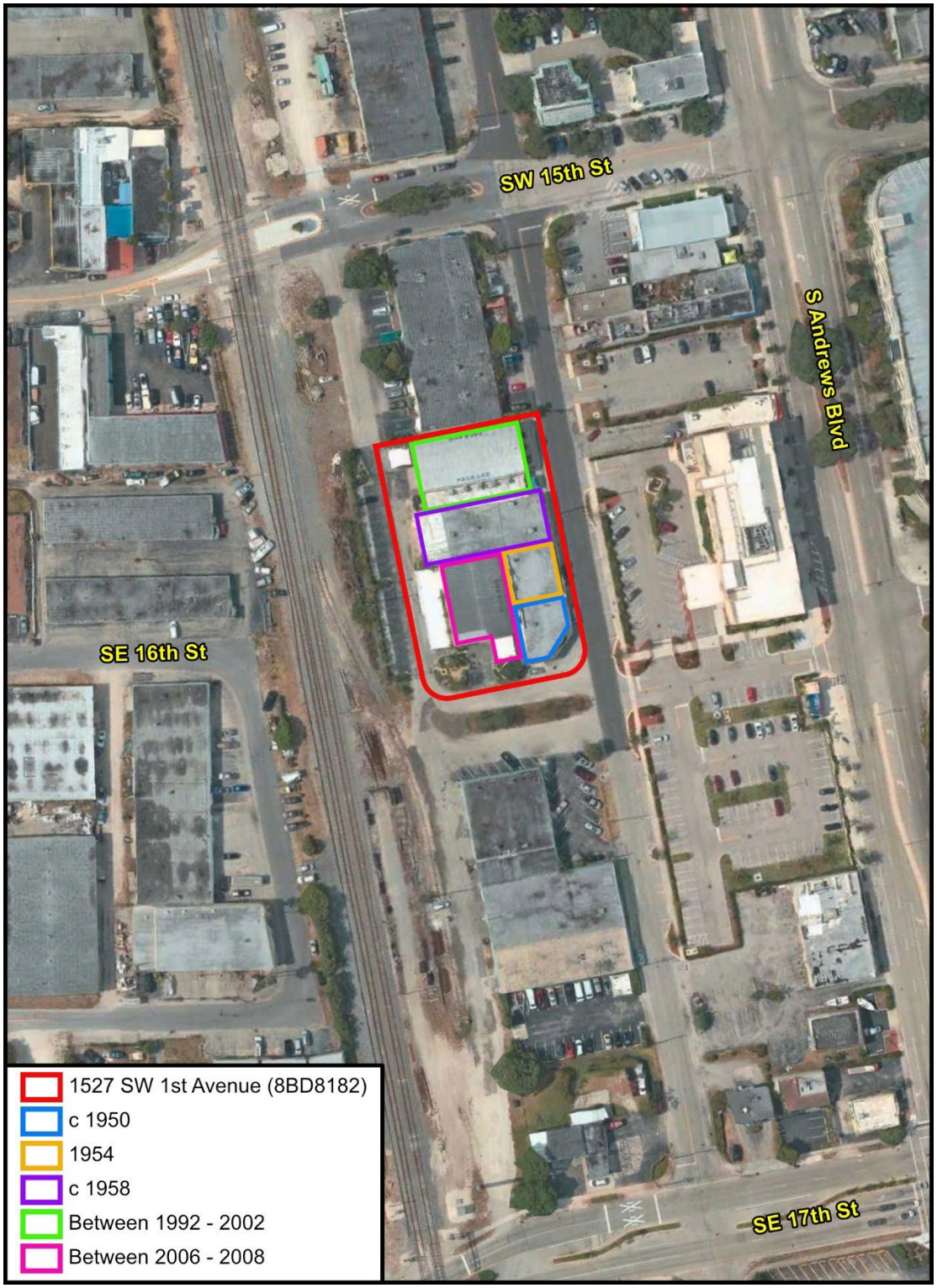


Figure 2: Modern (2023) aerial of 1527 SW 1st Avenue showing the multiple additions.

SITE NAME: 1527 SW 1st Avenue

Figure 3: 1527 SW 1st Avenue (8BD8182), c 1950, Considered National Register Ineligible, facing Northwest

Figure 4: 1954 aerial showing the structure at 1527 SW 1st Avenue (8BD8182), showing the construction of the first addition on the north side of the original one-story building. This photograph also demonstrates the lack of ornamentation on the original structure. Image courtesy of the Fort Lauderdale History Center.

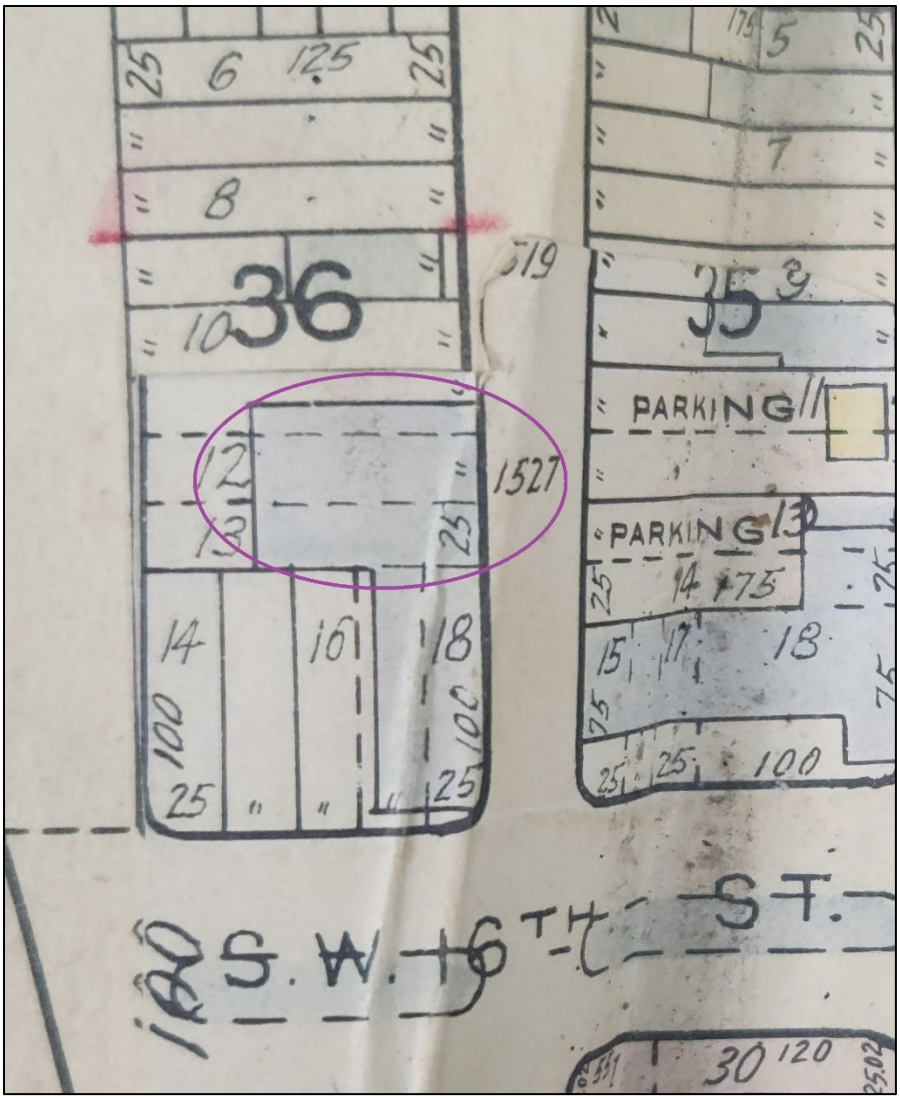


Figure 5: 1959 Plat Map Showing the c 1958 addition (circled in purple) at 1527 SW 1st Avenue (8BD8182). Image courtesy of the Fort Lauderdale History Center.

SITE NAME: 1527 SW 1st Avenue

Figure 6: 1527 SW 1st Avenue (8BD8182), Considered National Register Ineligible, showing the addition on the north elevation, facing West.

SITE NAME: 1527 SW 1st Avenue

Figure 7: Aerials from 1992 and 2002 showing the third addition on the structure at 1527 SW 1st Avenue (8BD8182)

Figure 8: 1527 SW 1st Avenue (8BD8182), Considered National Register Ineligible, showing the addition on the west elevation, facing North

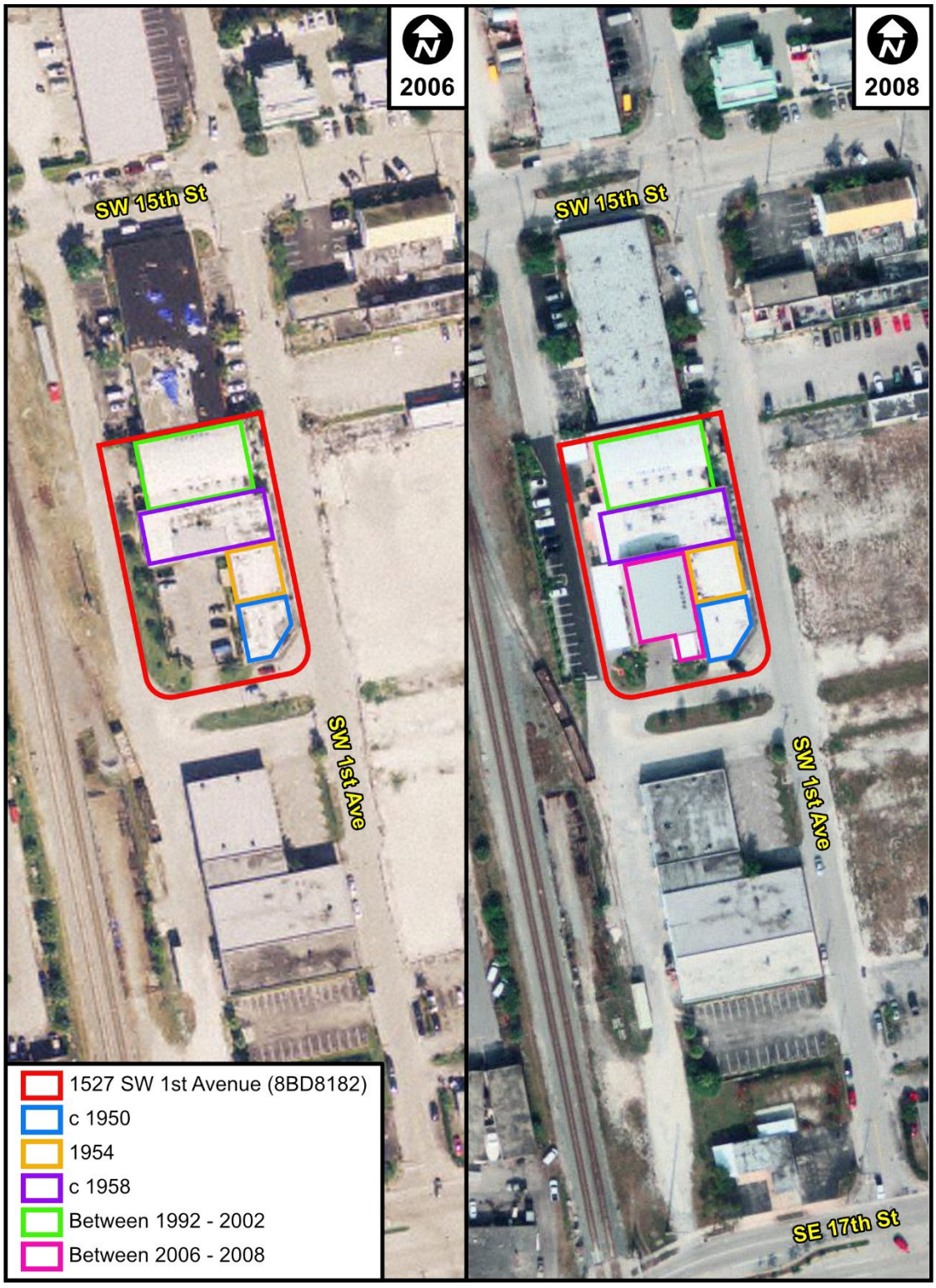


Figure 9: Aerials from 2006 and 2008 showing the fourth addition on the structure at 1527 SW 1st Avenue (8BD8182)

The original building is a one story Masonry Vernacular structure with entrances on both the south and east elevations. An angled façade and roof are present on the original structure at the corner of SW 1st Avenue and SW 16th Street (Figure 1). There are non-historic glass doors on the south façade, a single glass and metal door at the angled façade, and four single metal doors on the east elevation. The original sidelights and transoms in the west entrance have been enclosed but the openings are still visible. Single-light fixed windows flank the original angled entrance. On the additions on the north elevation are two metal doors, one with a fixed glass transom and the other with a transom with a two-light metal window.

Many of the architectural details on the structure are not original (Figure 3) including the stepped parapet with circular cutouts and stuccoed support brackets. The original structure fenestration consists of glass blocks in picture-window configurations on the east elevation and non-historic fixed lights and single-hung metal windows on the south elevation. The windows in the next two additions (located on the north elevation) consist of narrow vertical band windows with glass blocks. On the newest addition, on the west elevation, is a single bay entrance and a metal door on the west elevation.

The third addition (placed between 1992 and 2002) is cylindrical shaped and is connected to the original building's north façade by a short stucco-clad addition. The attaching section has a wooden, double-door. The cylindrical building has a prominent center parapet with stepped pilasters on the east elevation. Sets of three narrow, vertical glass-block windows flank both sides of the central pilasters. The building is clad in stucco.

The fourth and final addition is also a cylindrical structure that was added between 2006 and 2008 according to aerials. It has stucco cladding and a metal roof. A central bay entrance is located on the south elevation and is flanked by three glass-block vertical windows on each side and a glass entrance door on the east side. A fixed glass-block window is located directly above the bay entrance. A glass and metal double-door entrance is located on the west elevation.

The building has sustained four alterations that have impacted the front elevation. Most windows and doors have also been replaced. There has also been the addition of architectural stylization such as parapets and eave brackets.

B. DISCUSSION OF SIGNIFICANCE

The original building was permitted by J. Pitt Simpson in 1946 and this likely consisted of only the corner portion of the one-story structure as aerials from 1947 and 1949 show only a small structure on the parcel (*Fort Lauderdale News* 1946; University of Florida, George A. Smathers Library 2023). The building was potentially both commercial and residential, as a 1948 newspaper article provides this address as the residence for Mr. Simpson (*Fort Lauderdale News* 1948). The building was also the location of Mr. Simpson's business, the Aabar Plumbing Company (*Fort Lauderdale News* 1964) at least until the mid-1960s based

on newspaper ads. It appears that it remained the location of his residence until at least 1968 when Mr. Simpson died (*Fort Lauderdale News* 1968). It is possible that another business was also at this location. A 1962 plat labels the building as being the location of an auto painting business.

After the death of Mr. Simpson, the company remained in business under the ownership of the business partner of Mr. Simpson, Dik Jones until 1976 when Mr. Jones retired. It is unclear if the business remained headquartered at 1527 SW 1st Avenue (*South Florida Sun-Sentinel* 1984). However, the building remained under the ownership of Mr. Simpson's daughter, Lorna W. Simpson until 1988 when she sold the property to Arthur and Shirley Stone (Broward County Property Appraiser 2023).

Arthur Stone was a long-time Fort Lauderdale businessman who collected automobile memorabilia, with a specialty in historic Packard vehicles. In 2000, Mr. Stone opened the Fort Lauderdale Antique Car Museum. The museum continued to serve the public after Mr. Stone died in 2010 (Deutsch 2004; Nolin 2010). The Fort Lauderdale Antique Museum closed between 2019 and 2021. Currently the building is vacant.

The building is recommended ineligible for the National Register due to its lack of significant historical associations and significantly altered integrity. The four additions to the original building have significantly impacted the design, workmanship, and massing of the structure. Aerials also demonstrate that the most distinctive architectural stylizations on the building are not original. For these reasons, the structure is recommended ineligible for the National Register individually and as a contributing resource to a historic district.

C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

Broward County Property Appraiser
2023 Property Deed records for 1527 SW 1st Avenue. Accessed at bcpa.net on July 13, 2023.

Deutsch, Kevin
2004 "Autos of the Past" in *Miami Herald*, November 21, 2004 page 3BR. Accessed via newspapers.com on July 12, 2023.

Florida Department of Transportation (FDOT), Office of Surveying and Mapping
2023 Aerial Photo Look Up System. Electronic documents, https://fdotewp1.dot.state.fl.us/AerialPhotoLookUpSystem/, accessed April 12, 2023.

Fort Lauderdale News
1946 *Building Permits*, April 9, 1946, page 1, . Accessed via newspapers.com on July 12, 2023.
1948 *Two Residents Injured When Truck Overturns*, August 16, 1948. Accessed via newspapers.com on July 12, 2023.

1968 *Obituary for J. Pitt Simpson*, June 10, 1968. Accessed via newspapers.com on July 12, 2023.

History Fort Lauderdale
1954 *Aerial Photographs of Fort Lauderdale*. Available at History Fort Lauderdale Archives.

Nolin, Robert
2010 *Packard Collector, Florist Chain Owner, Arthur Stone, 89* (obituary) in the *South Florida Sun-Sentinel*, February 19, 2010. Accessed via newspapers.com on July 12, 2023.

South Florida Sun-Sentinel
1984 *Dik Jones, longtime resident* (obituary), March 5, 1984. Accessed via newspapers.com on July 12, 2023.

University of Florida, George A. Smathers Libraries
1999–2023 Aerial Photography: Florida Collection. University of Florida Digital Collections. Electronic documents, https://ufdc.ufl.edu/collections/aerials, accessed April 12, 2023.

PHOTOGRAPH **8BD8182**

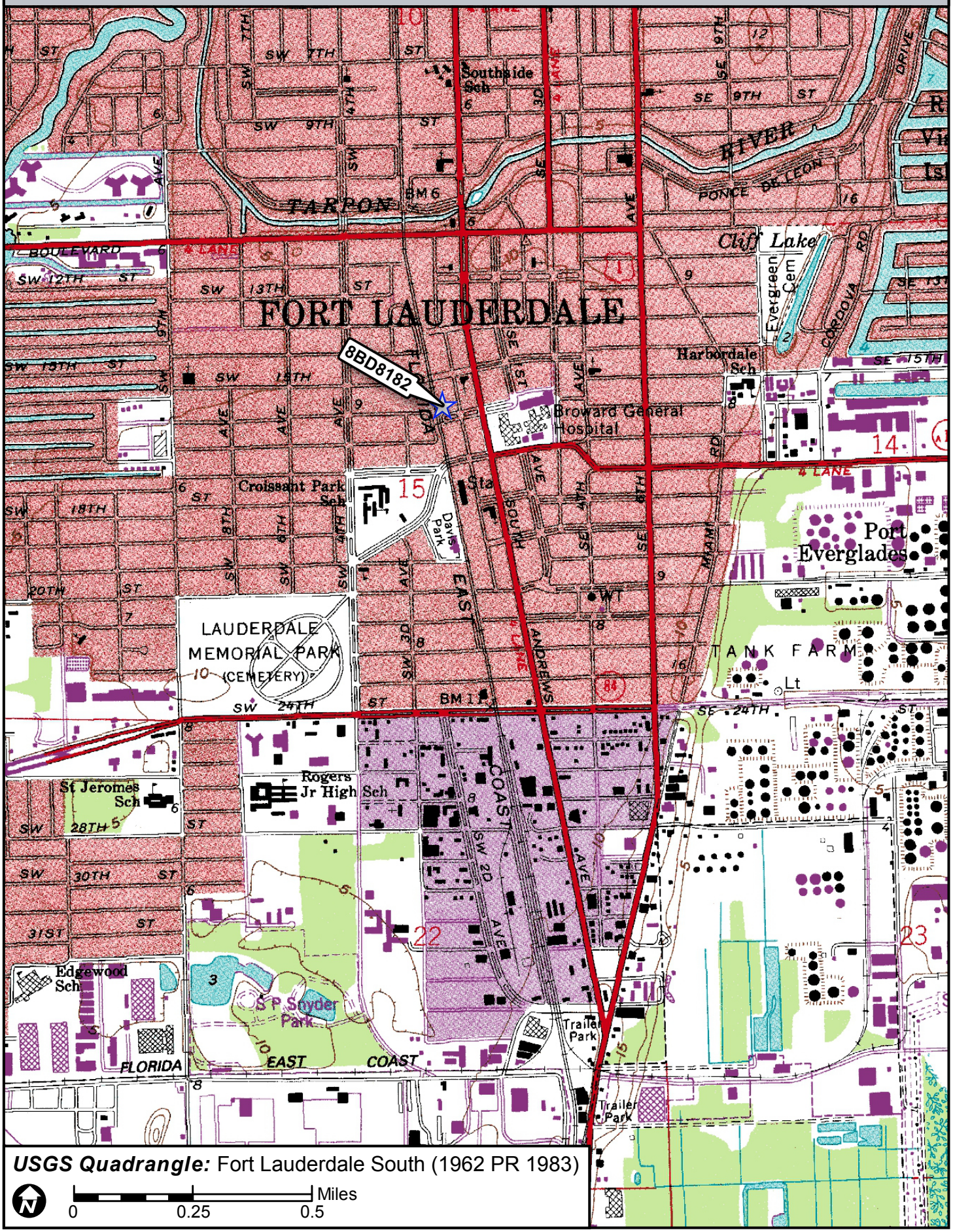
SKETCH MAP **8BD8182**

PHOTOGRAPH **8BD8182**

PHOTOGRAPH **8BD8182**

PHOTOGRAPH **8BD8182**

USGS QUADRANGLE MAP **8BD8182**


8BD8182
FORT LAUDERDALE
TARPON
RIVER
Cliff Lake
Evergreen Cem
Harbordale Sch
Broward General Hospital
Croissant Park Sch
Davis Park
Port Everglades
TANK FARM
LAUDERDALE MEMORIAL PARK (CEMETERY)
Rogers Jr High Sch
St Jeromes Sch
Edgewood Sch
S P Snyder Park
Trailer Park
Trailer Park
Southside Sch
SW 7TH ST
SW 9TH ST
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SE 140TH AVE
SE 141ST AVE
SE 142ND AVE
SE 143RD AVE
SE

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD08252
Field Date 4-12-2023
Form Date 4-21-2023
Recorder # 1

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 100 SW 15th Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	100	SW	15th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Fort Lauderdale — **In City Limits?** ☒yes ☐no ☐unknown — **County** Broward
Township 50S — **Range** 42E — **Section** 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5042-15-10-2280 — **Landgrant** _____
Subdivision Name Croissant Park (4-28B) — **Block** 36 — **Lot** _____
UTM Coordinates: Zone ☐16 ☒17 — **Easting** 585632 — **Northing** 2887350
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1973 ☐approximately ☐year listed or earlier ☒year listed or later

		From (year):	To (year):
Original Use	Warehouse	1973	UNK
Current Use	Commercial	UNK	CURR
Other Use			

Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding, windows
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Pennypalmz, LLC (2017); John S. Daggett (1977); John & Virginia Daggett

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Rectangular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

SHS, metal, paired, 2/2; Sliding, metal, single, 1/1

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping, non-structural half-hip roof entryway overhangs w/ composition and clay tile shingles, roll up garage doors

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # 8 BD08252

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Continuous 2. _____

Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details)

E & W ELEV: single door per unit (solid or full view light), beneath a non-structural half-hip entryway overhang

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style building w/ several units and roll-up garage doors. The building was formerly utilized as warehouse space and is now converted to commercial spaces.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Young Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

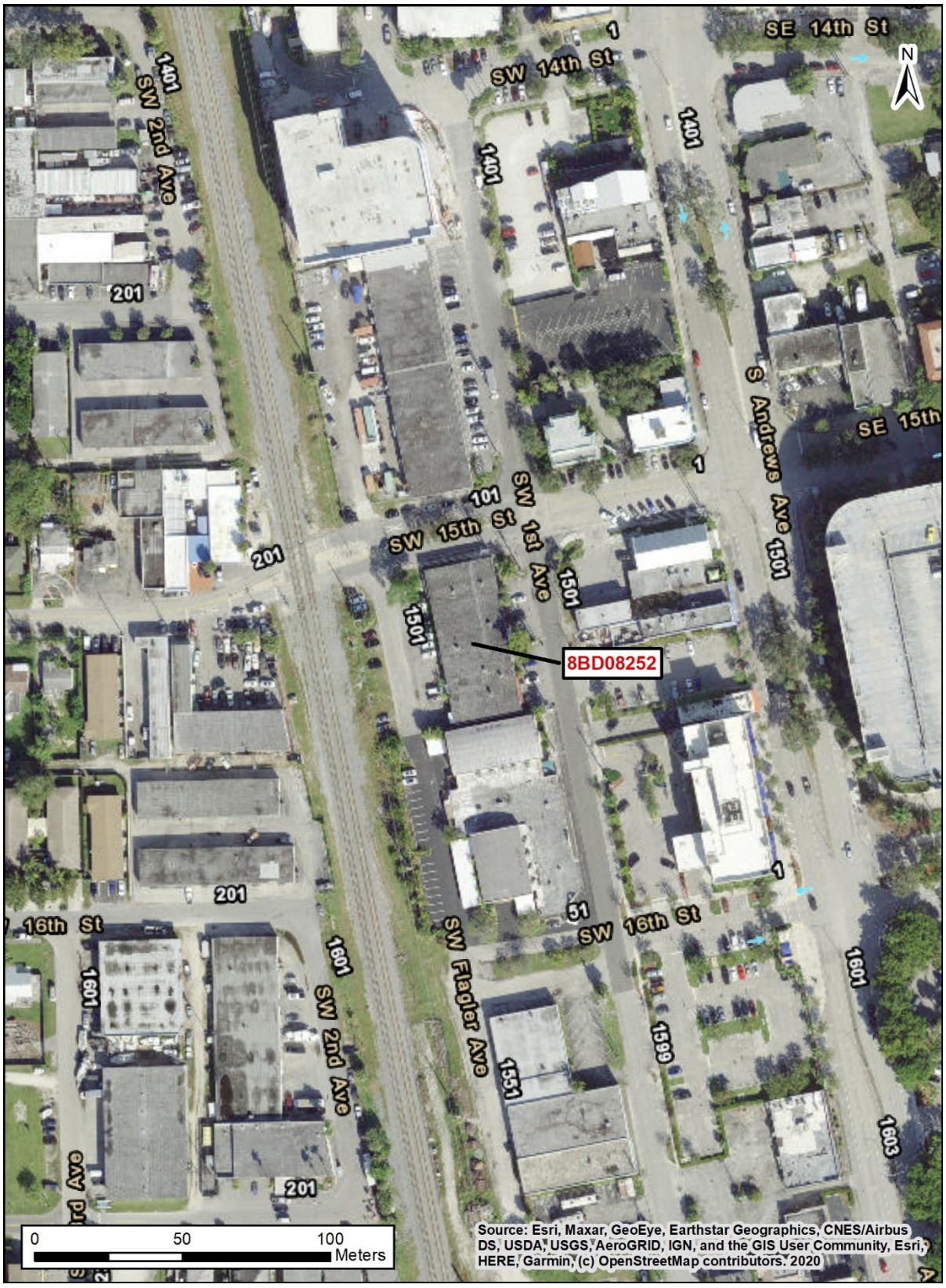
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

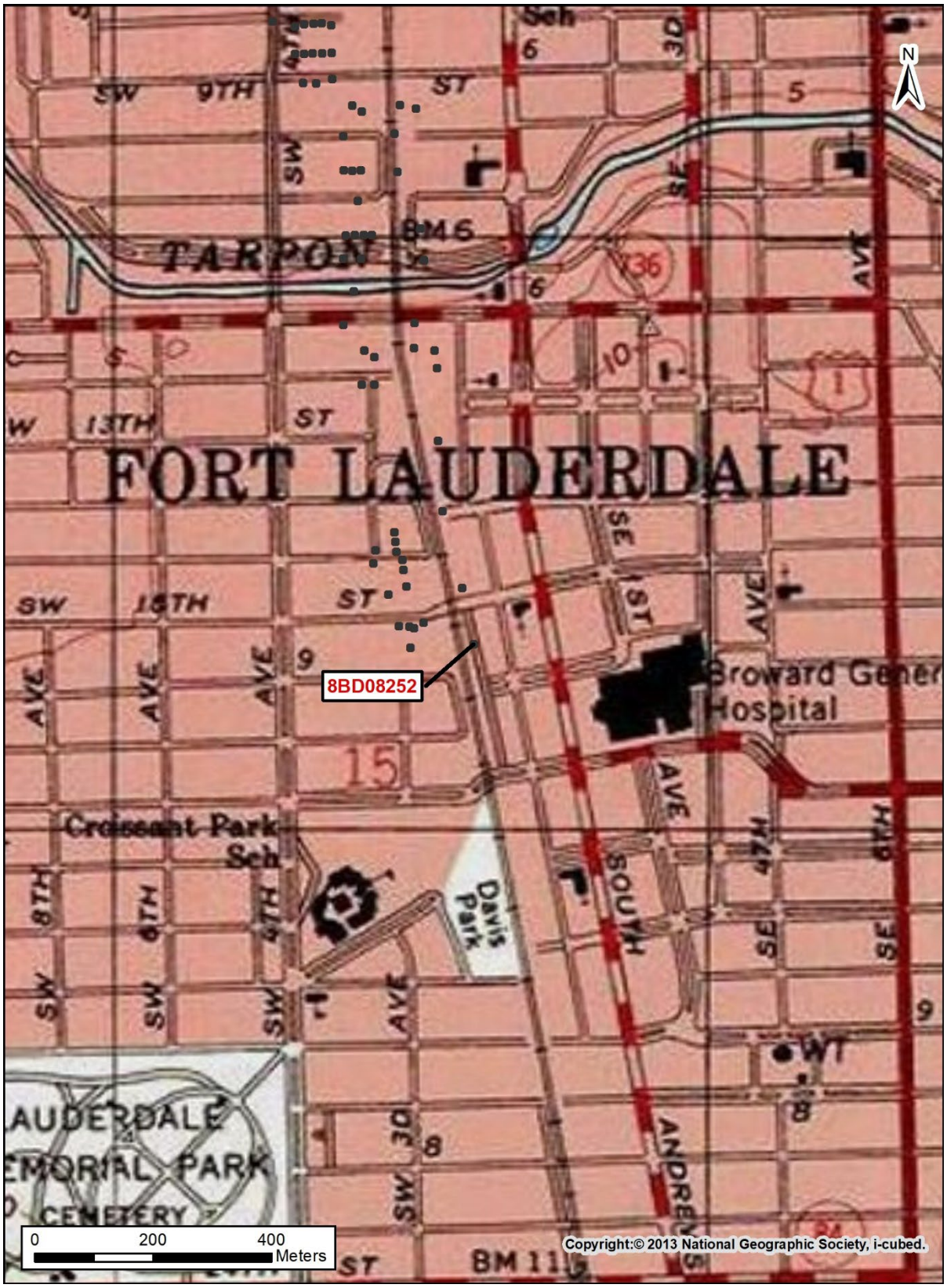
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


SE 14th St
SW 14th St
SW 2nd Ave
SW 15th St
SW 1st Ave
S Andrews Ave
SE 15th
SW 16th St
SW Flagler Ave
SW 2nd Ave
8BD08252
N
0
50
100
Meters
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, 2020

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD08254
Field Date 4-12-2023
Form Date 4-21-2023
Recorder # 3

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1417 SW 1st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address:	Street Number	Direction	Street Name	Street Type	Suffix Direction
	1417	SW	1st	Avenue	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☒yes ☐no ☐unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-10-1330 — Landgrant _____
Subdivision Name Croissant Park (4-28B) — Block _____ — Lot _____
UTM Coordinates: Zone ☐16 ☒17 — Easting 585606 — Northing 2887440
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1972 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1972 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, windows
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

FT 1417, LLC & SS 1417, LLC (2011); Arthur O. Stone Family Trust (2011); Arthur & Shirley Stone

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Irregular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Brick 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light, 2-light; SHS, metal, paired, 2/2

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping, non-structural half-hip roof entryway overhangs w/ clay tile shingles, roll up garage doors

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # 8 BD08254

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

E ELEV: single door per unit, beneath a non-structural half-hip entryway overhang

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ several units, each w/ an exterior single door entrance and roll-up garage doors. An additional, recessed entryway is located on the S ELEV and enclosed w/ metal fencing.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

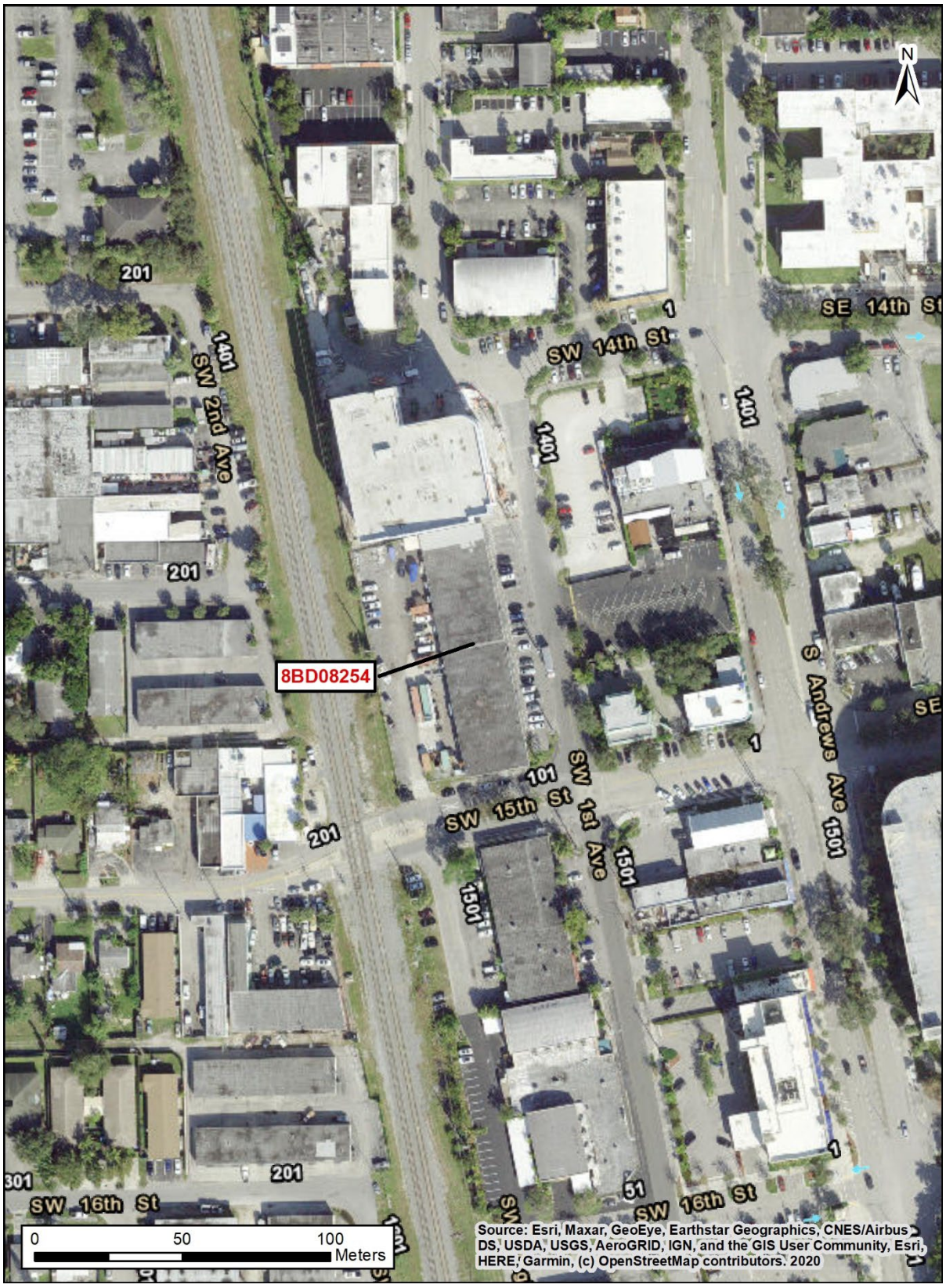
Recorder Name Savannah Young Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


N
8BD08254
201
1401
SW 2nd Ave
SW 14th St
SE 14th St
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S Andrews Ave
1501
SW 15th St
101
SW 1st Ave
1501
1501
201
201
301
SW 16th St
51
SW 16th St
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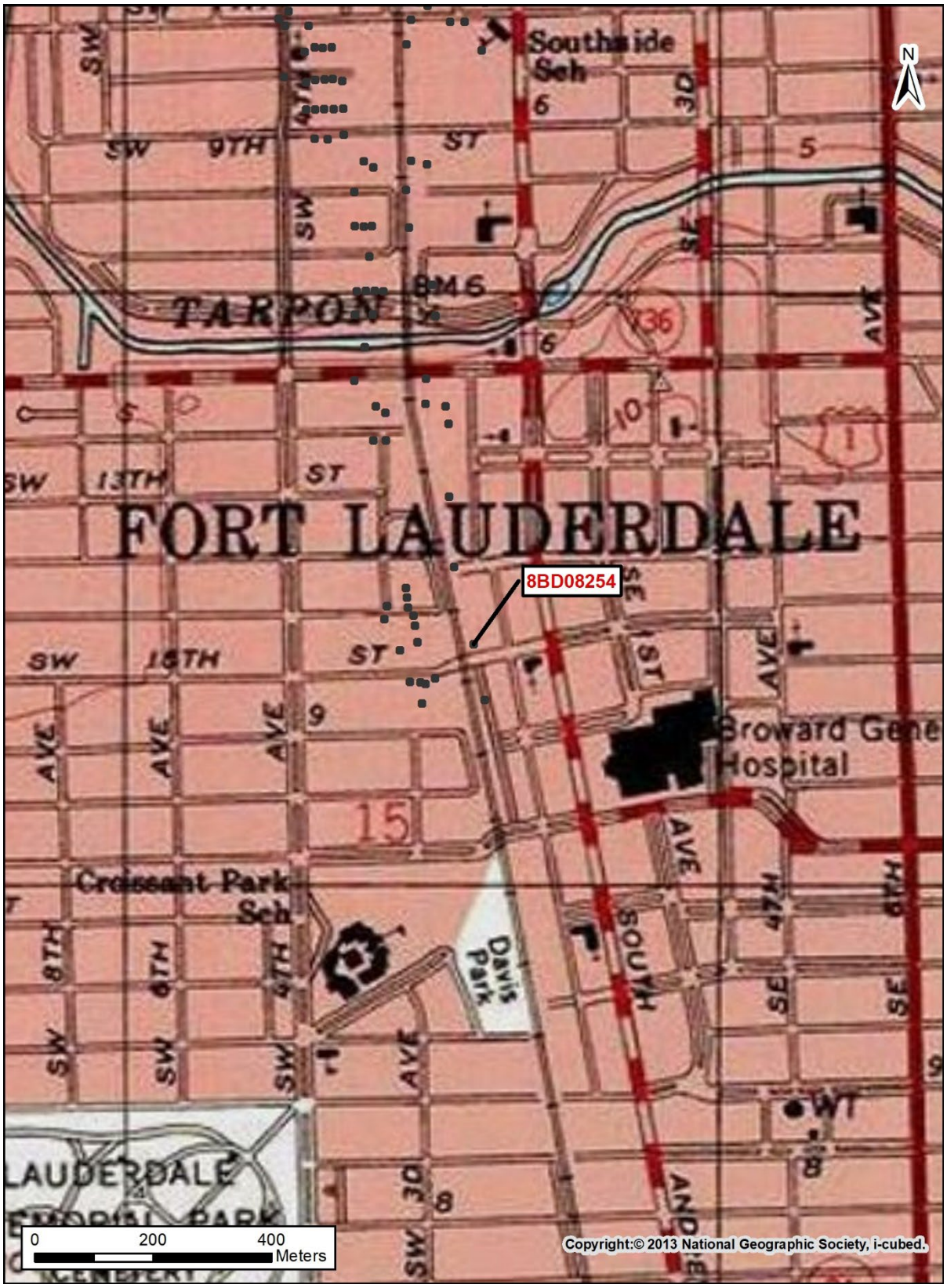
Meters
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors. 2020

USGS Fort Lauderdale
Township 50 South, Range 42 East, Section 15



Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD08255
Field Date 4-12-2023
Form Date 4-21-2023
Recorder # 4

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 201 SW 15th Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	201	SW	15th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☒yes ☐no ☐unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-01-2841 — Landgrant _____
Subdivision Name Lauderdale (2-9 D) — Block 55 — Lot _____
UTM Coordinates: Zone ☐16 ☒17 — Easting 585550 — Northing 2887387
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1969 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1969 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding, trim, quoins, shutters
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Senko Industries, LLC (2021); Kevin & Christie Jago (1998); James F. Moore

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Awning, metal, single, 3-stacked

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping, stucco trim w/ faux keystones, quoins, canvas awnings, hurricane shutters, vertical plank shutters

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD08255

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

S ELEV: single door w/ stucco trim, beneath a canvas awning

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ multiple windows covered w/ hurricane shutters. A garage bay w/ a roll up garage door is located on the S ELEV adjacent to the entryway.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

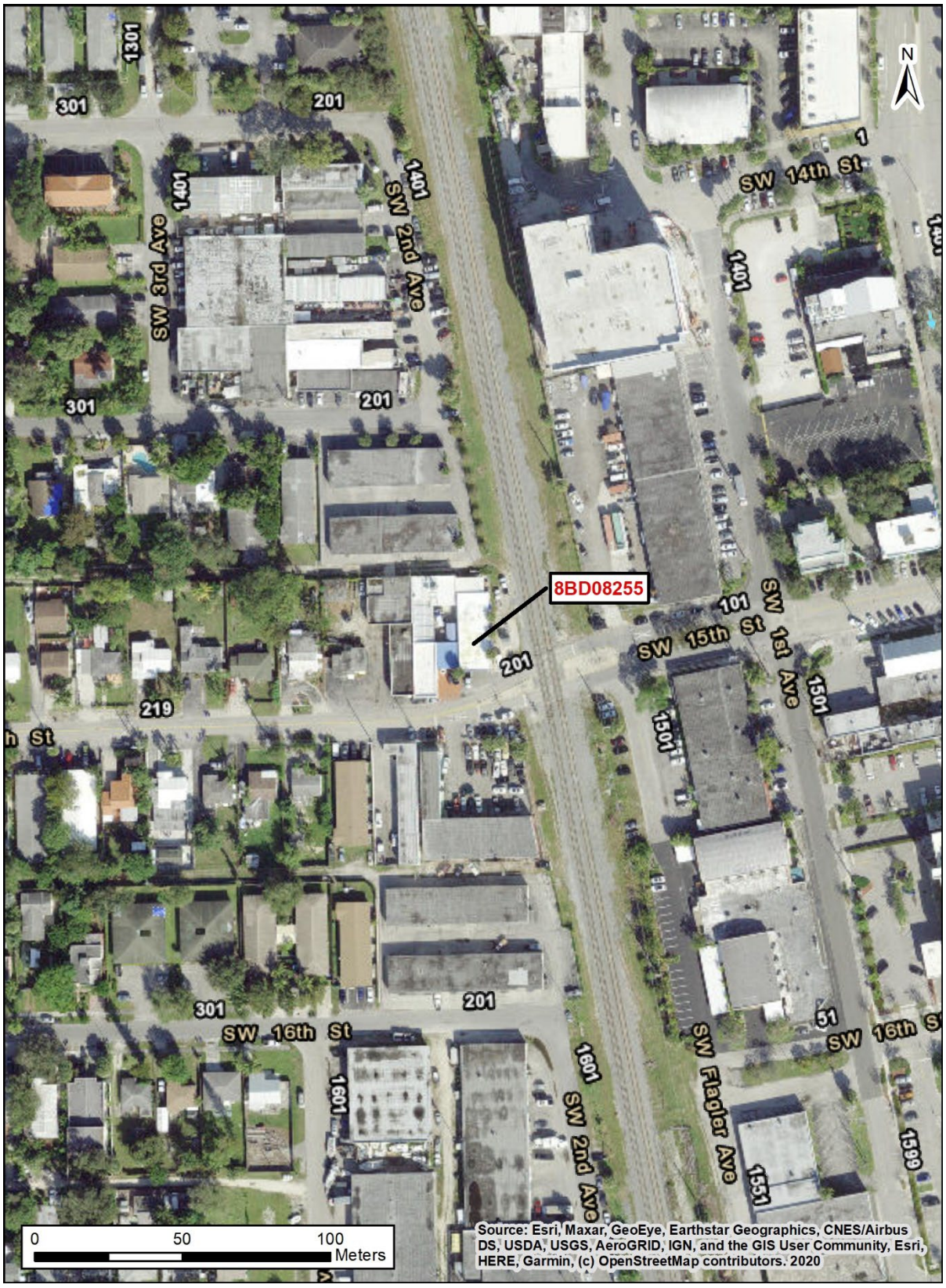
Recorder Name Savannah Young Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD08255
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SW 14th St
SW 15th St
SW 16th St
SW 1st Ave
SW 2nd Ave
SW 3rd Ave
SW Flagler Ave
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201
1401
219
101
1501
1601
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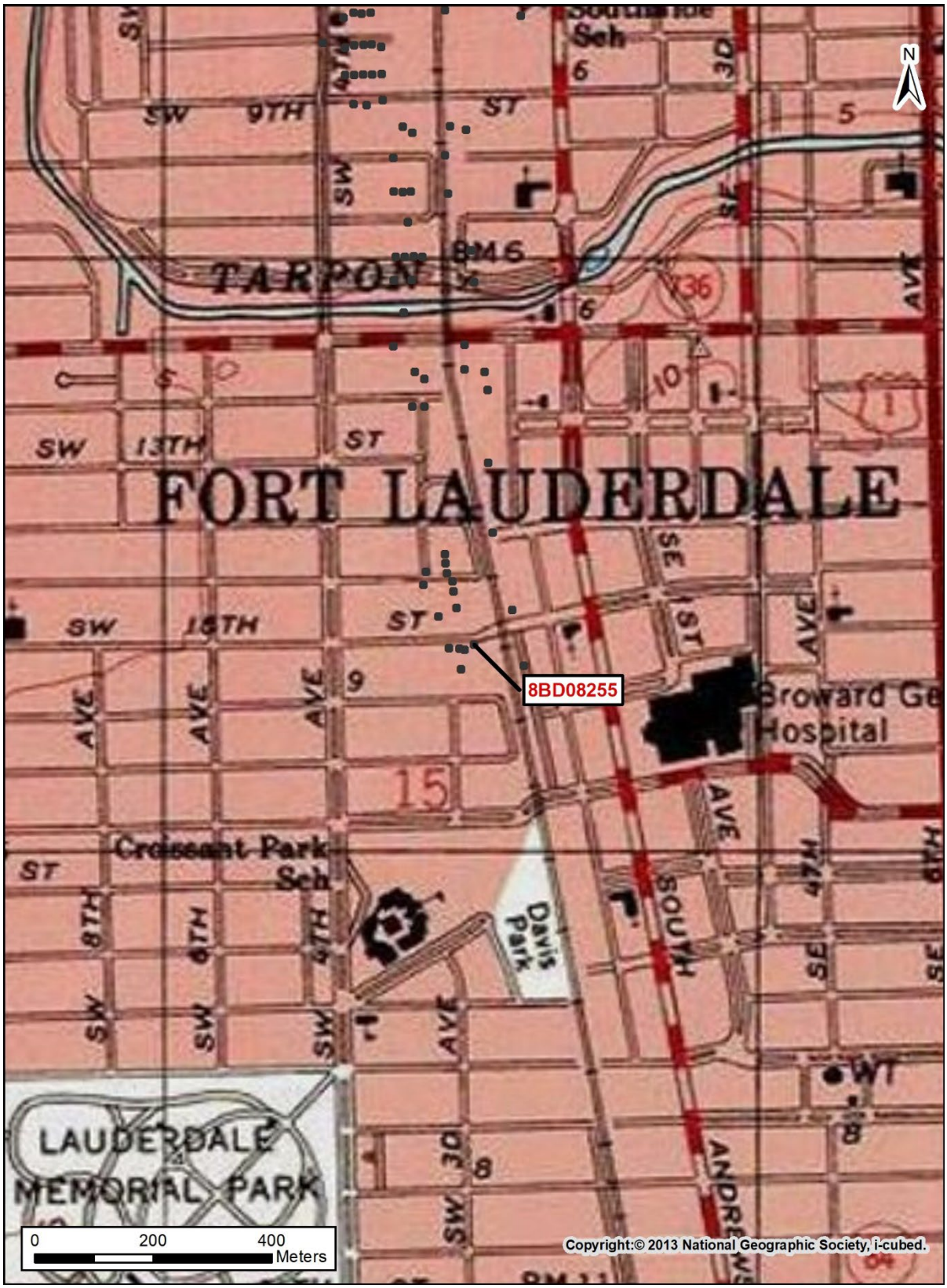
Meters
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors. 2020

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD08256
Field Date 4-12-2023
Form Date 4-21-2023
Recorder # 5

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 209 SW 15th Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	209	SW	15th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Fort Lauderdale — **In City Limits?** ☒ yes ☐ no ☐ unknown — **County** Broward
Township 50S — **Range** 42E — **Section** 15 — ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE — **Irregular-name:** _____
Tax Parcel # 5042-15-01-2840 — **Landgrant** _____
Subdivision Name Lauderdale (2-9 D) — **Block** 55 — **Lot** _____
UTM Coordinates: **Zone** ☐ 16 ☒ 17 — **Easting** 585532 — **Northing** 2887737
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1945 ☐ approximately ☐ year listed or earlier ☒ year listed or later

		From (year):	To (year):
Original Use	Warehouse	1945	UNK
Current Use	Shop, auto repair	UNK	CURR
Other Use			

Moves: ☐ yes ☒ no ☐ unknown — Date: _____ — Original address _____
Alterations: ☒ yes ☐ no ☐ unknown — Date: _____ — Nature: Roofing, siding, windows, awnings
Additions: ☒ yes ☐ no ☐ unknown — Date: _____ — Nature: Flat roof
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Ronald Ramcharran (2004); Roger Tavenner (1987); Frank & Dorothy Long

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Irregular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. Artif masonry veneer 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, 3-light; SHS, metal, single, 2/2

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ non-historic cornice detail, decorative stucco trim, affixed signage, canvas awnings, hurricane shutters, garage bay

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐ Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info Date _____ Init. _____ KEEPER – Determined eligible: ☐ yes ☐ no Date _____ NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD08256

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

E ELEV: single metal frame full view door

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ a garage bay and security gate on the S ELEV. A large awning is located on the E ELEV and a flat roof addition is on the N ELEV.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Young Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
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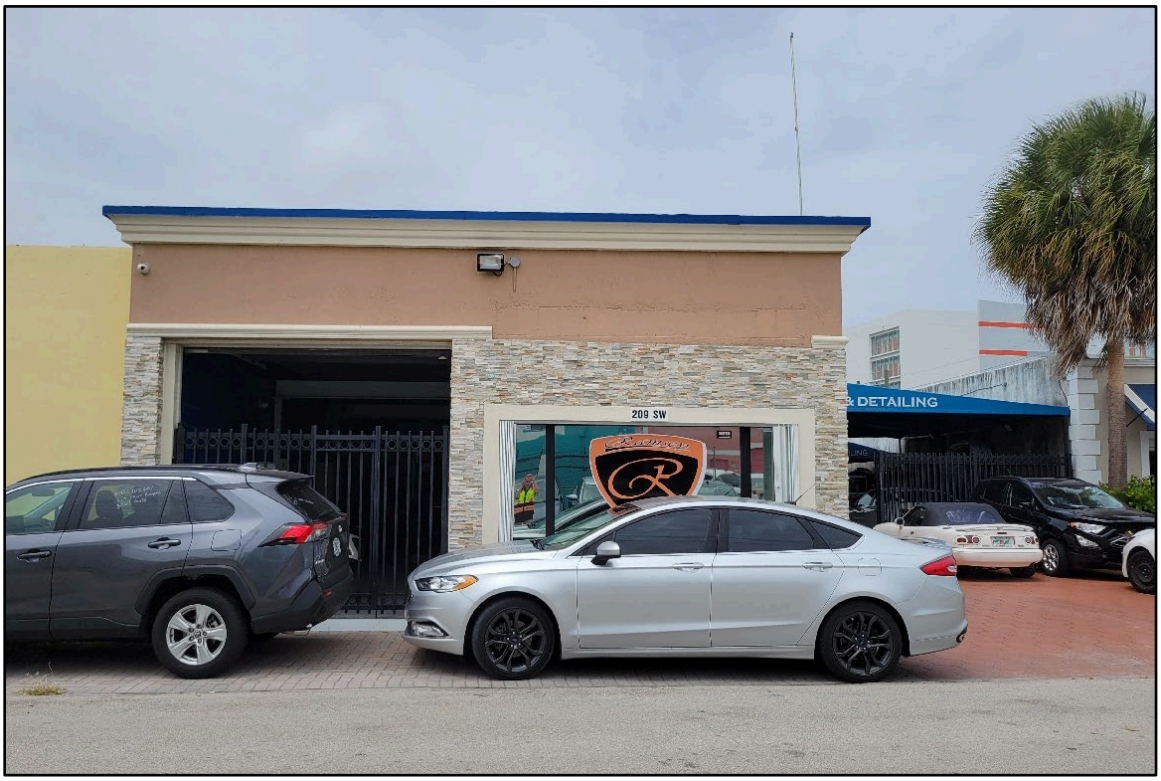
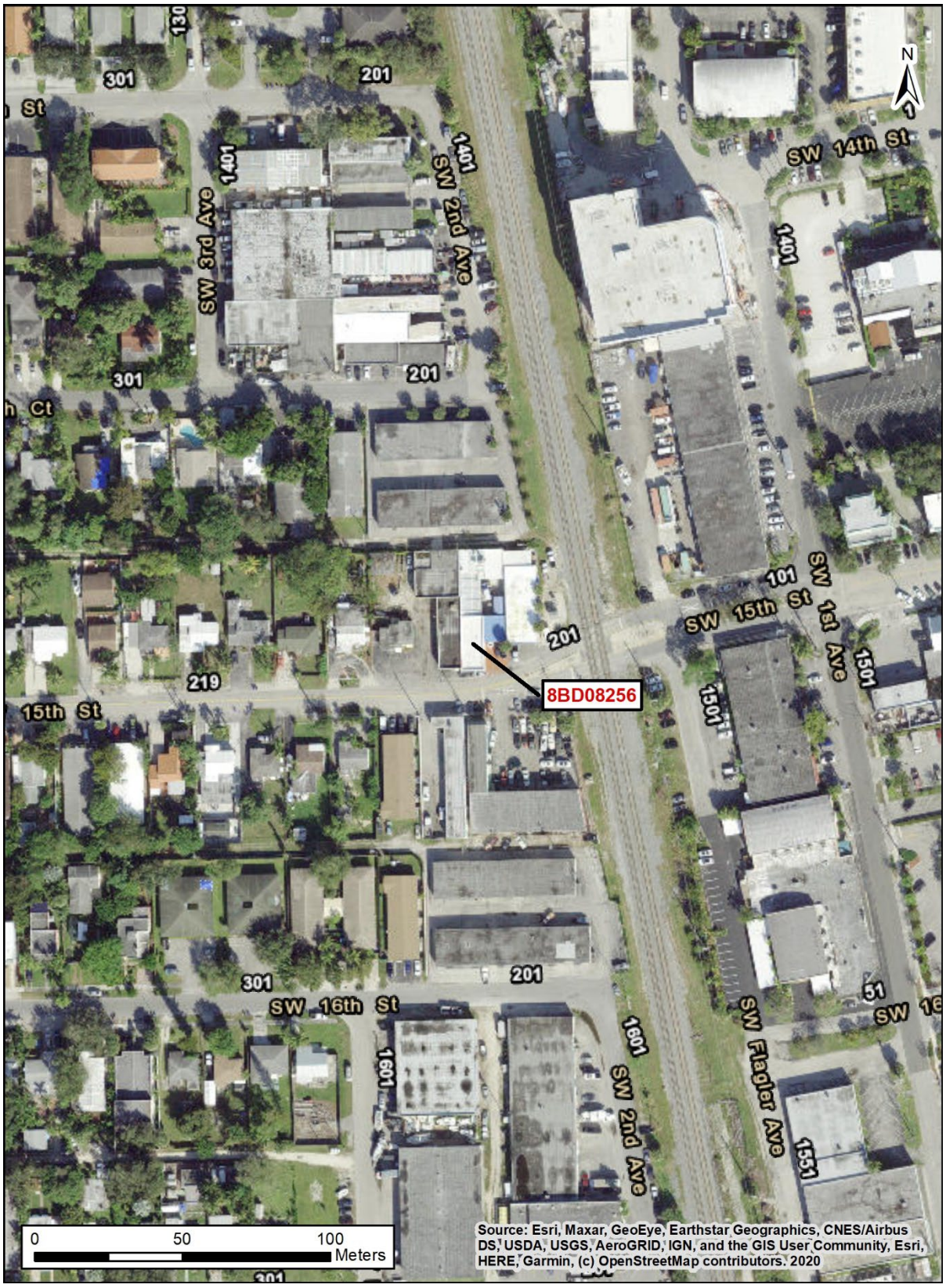
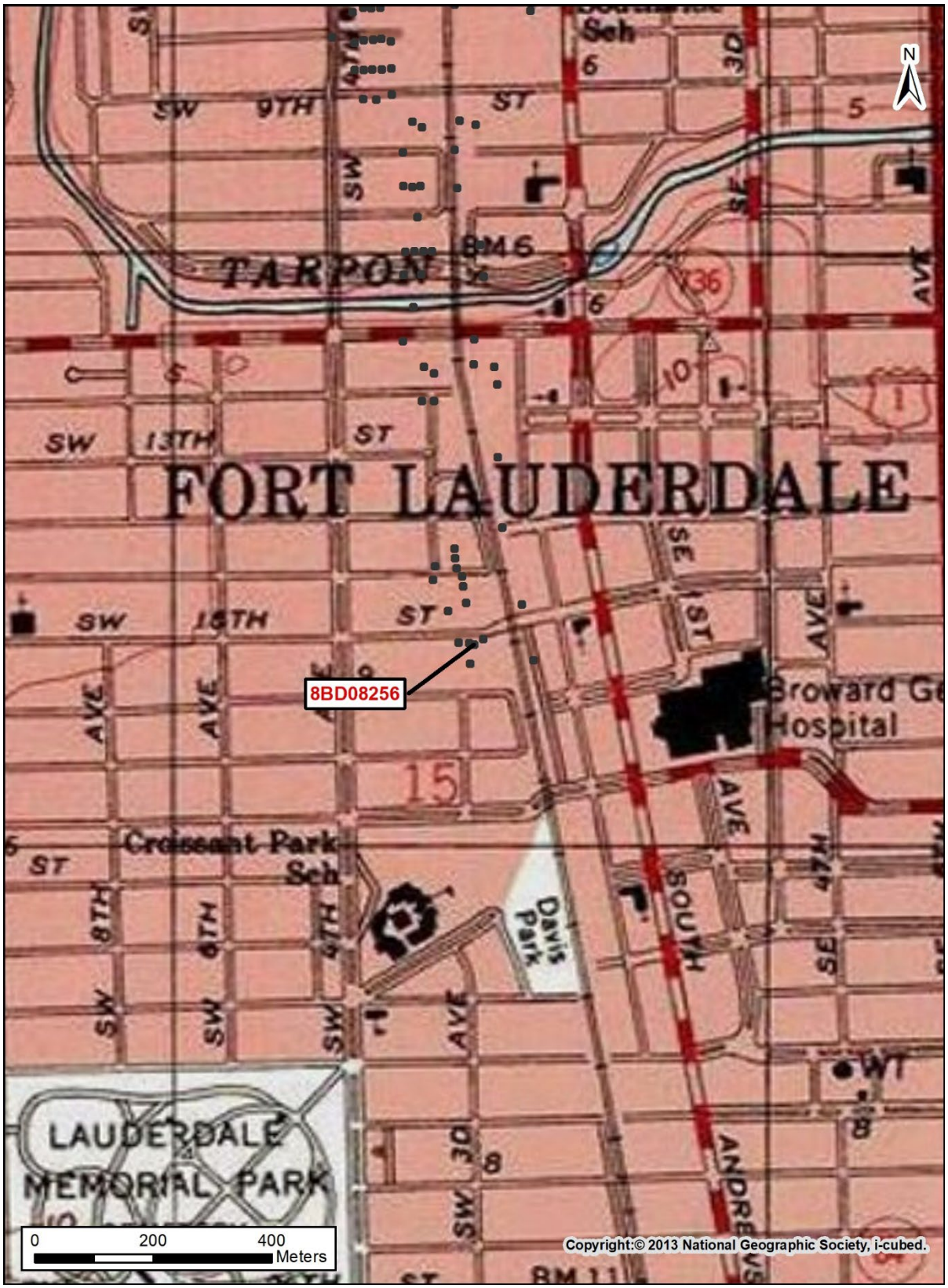
PHOTOGRAPHS



AERIAL MAP


8BD08256
N
SW 14th St
SW 2nd Ave
SW 3rd Ave
SW 1st Ave
SW 15th St
15th St
SW 16th St
SW Flagler Ave
SW 2nd Ave
1401
1501
1601
1551
201
301
219
101
0
50
100
Meters
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors. 2020

USGS Fort Lauderdale
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD08259
Field Date 4-12-2023
Form Date 4-21-2023
Recorder # 9

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 200 SW 14th Court — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	200	SW	14th	Court	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☒yes ☐no ☐unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-AG-0010 — Landgrant _____
Subdivision Name East Side Toy Storage — Block _____ — Lot _____
UTM Coordinates: Zone ☐16 ☒17 — Easting 585519 — Northing 2887447
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1968 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Allen L. Willis (2010); East Side Toy Storage I, LLC

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Irregular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. Flat extension 2. _____
Windows (types, materials, etc.)

None visible from public right-of-way

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping, nine garage bays w/ roll up doors, flood lights

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Additional ca. 1968 warehouse building (inaccessible from public right-of-way)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # 8 BD08259

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N ELEV: single metal door adjacent to garage baby, per unit (approx. nine units)

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ nine warehouse units equipped w/ a main entryway and garage bay per unit. A second warehouse building is located to the south; however, it is inaccessible from the public ROW.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

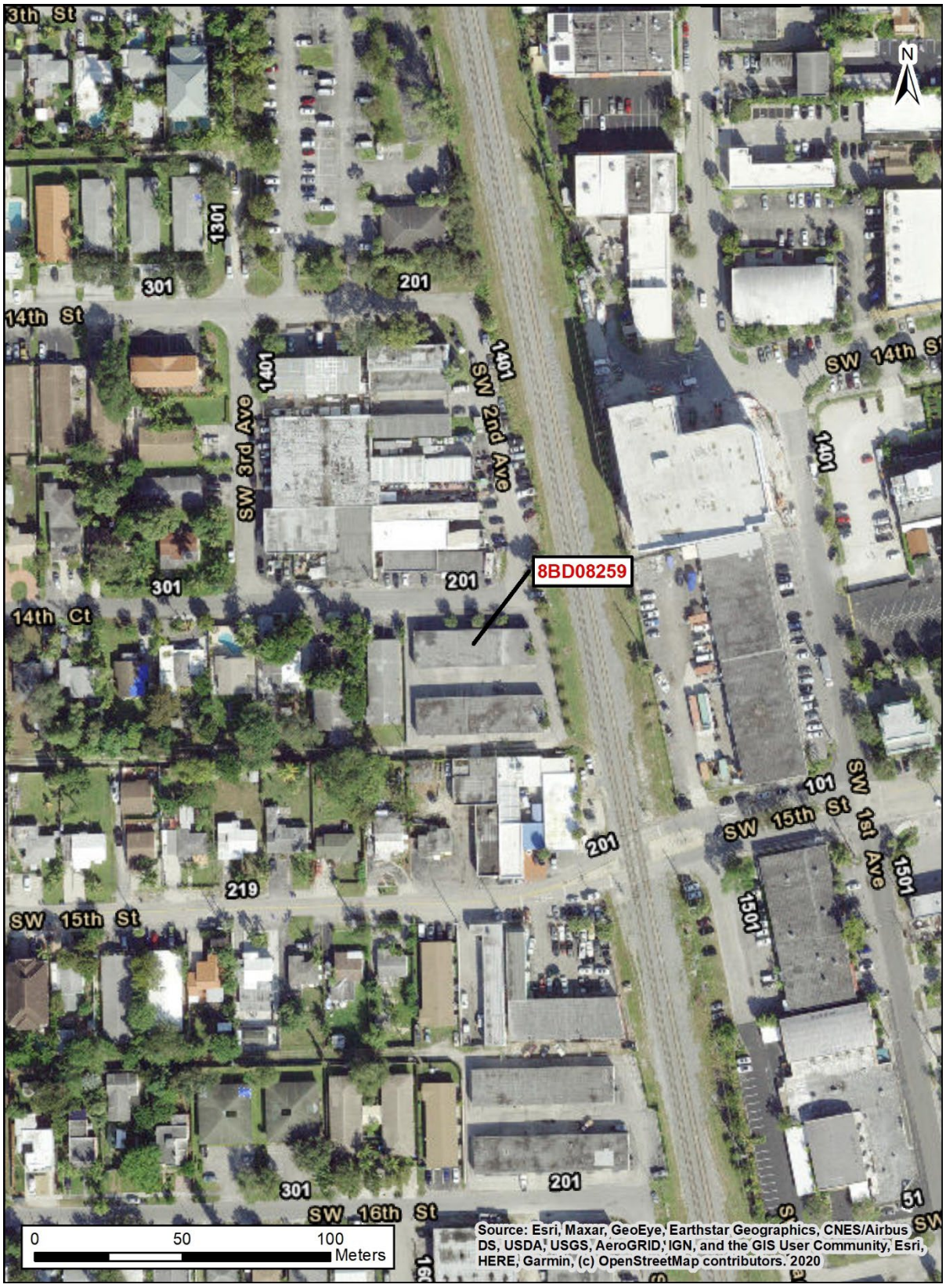
Recorder Name Savannah Young Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

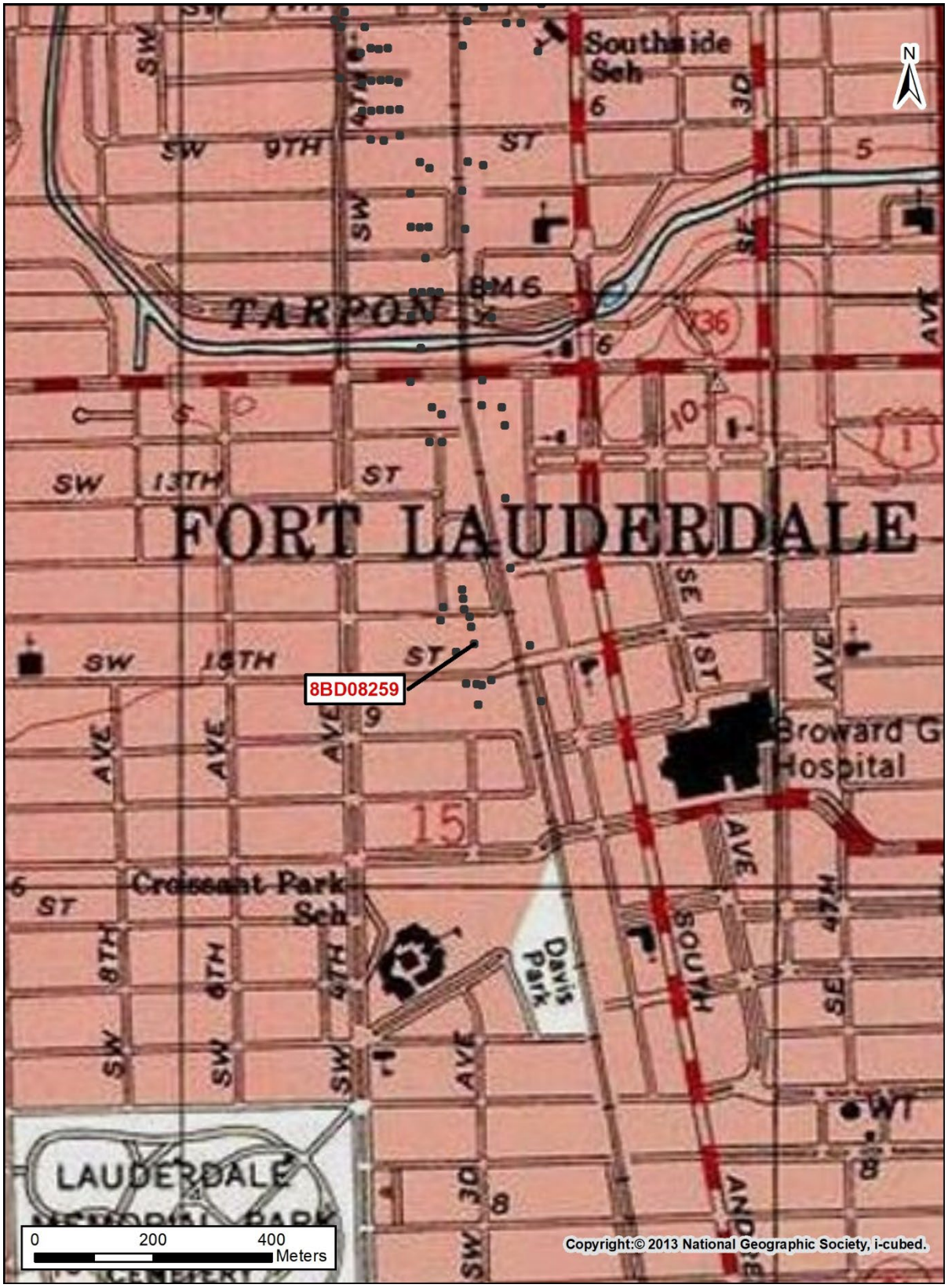
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


3th St
14th St
14th Ct
SW 15th St
SW 16th St
SW 14th St
SW 3rd Ave
SW 2nd Ave
SW 1st Ave
1301
301
201
1401
219
101
1501
51
8BD08259
N
0
50
100
Meters
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors. 2020

USGS Fort Lauderdale South



Township 50 South, Range 42 East, Section 15

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09326
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 2

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 211 SW 16th Street (Building 1) **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	211	SW	16th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH **USGS Date** 1962 **Plat or Other Map** _____
City / Town (within 3 miles) Fort Lauderdale **In City Limits?** ☐yes ☐no ☒unknown **County** Broward
Township 50S **Range** 42E **Section** 15 **¼ section:** ☐NW ☐SW ☐SE ☐NE **Irregular-name:** _____
Tax Parcel # 5042-15-01-3502 **Landgrant** _____
Subdivision Name Lauderdale (2-9 D) **Block** 58 **Lot** 37-39
UTM Coordinates: Zone ☐16 ☒17 **Easting** 585545 **Northing** 2887276
Other Coordinates: X: _____ Y: _____ **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse From (year): 1968 To (year): CURR
Current Use _____ From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ **Original address** _____
Alterations: ☒yes ☐no ☐unknown Date: _____ **Nature** Roofing, windows, awnings
Additions: ☐yes ☒no ☐unknown Date: _____ **Nature** _____
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

AM Property Enterprises, LLC (2022); Eastside Toy Storage I, LLC (2007); Dick Doetsch, LLC (1999); Martha Doetsch

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown **Describe** _____

DESCRIPTION

Style Masonry Vernacular **Exterior Plan** Irregular **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

SHS, vinyl, single, 1/1

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping, garage bays, canvas awnings

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

ca. 1968 Masonry Vernacular warehouse (8BD09327)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09326

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N & S ELEV: single metal door, per unit

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ 12 warehouse units on the N & S ELEV (24 units total). Each unit has a garage bay w/ roll up door.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

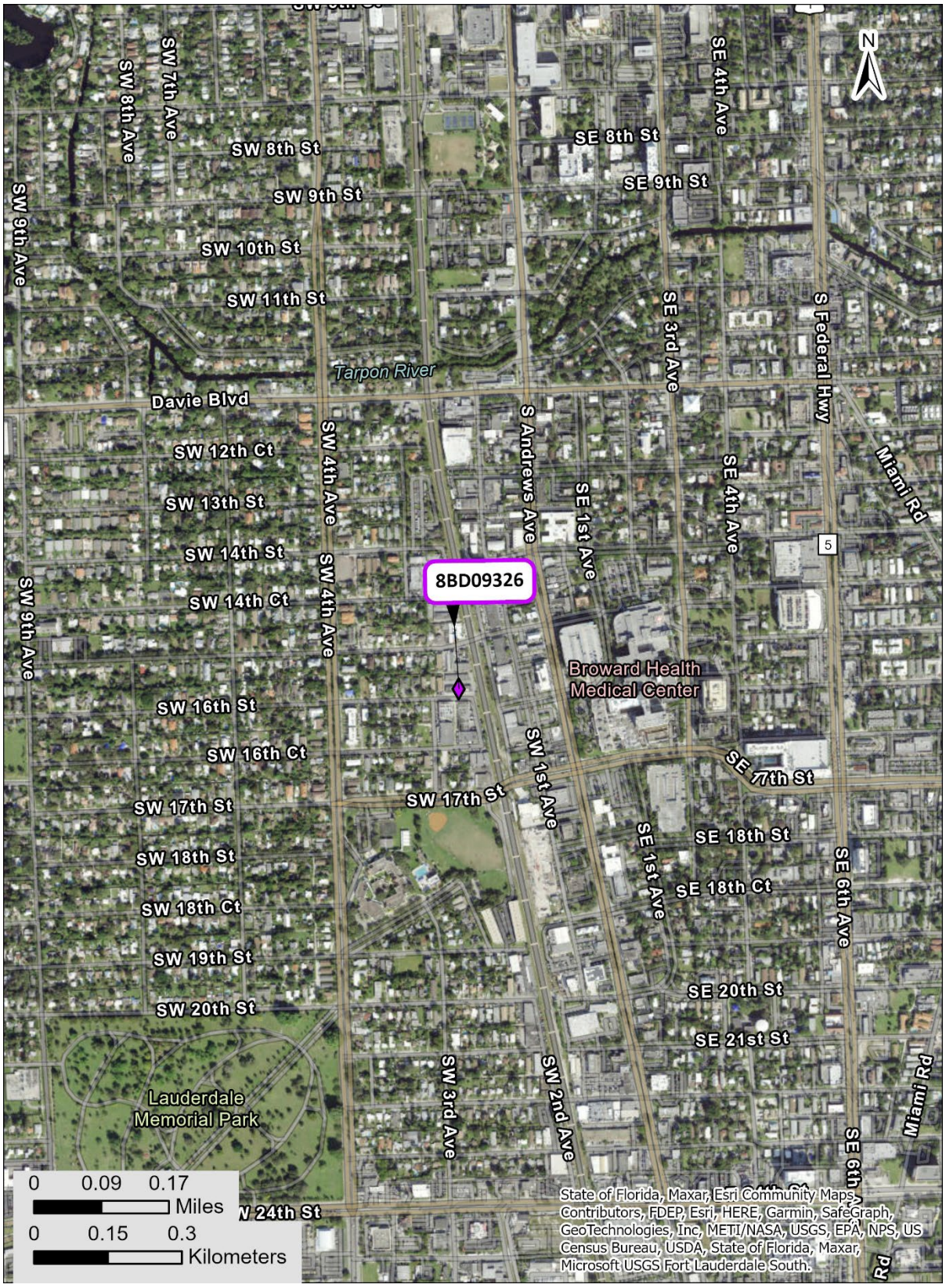
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

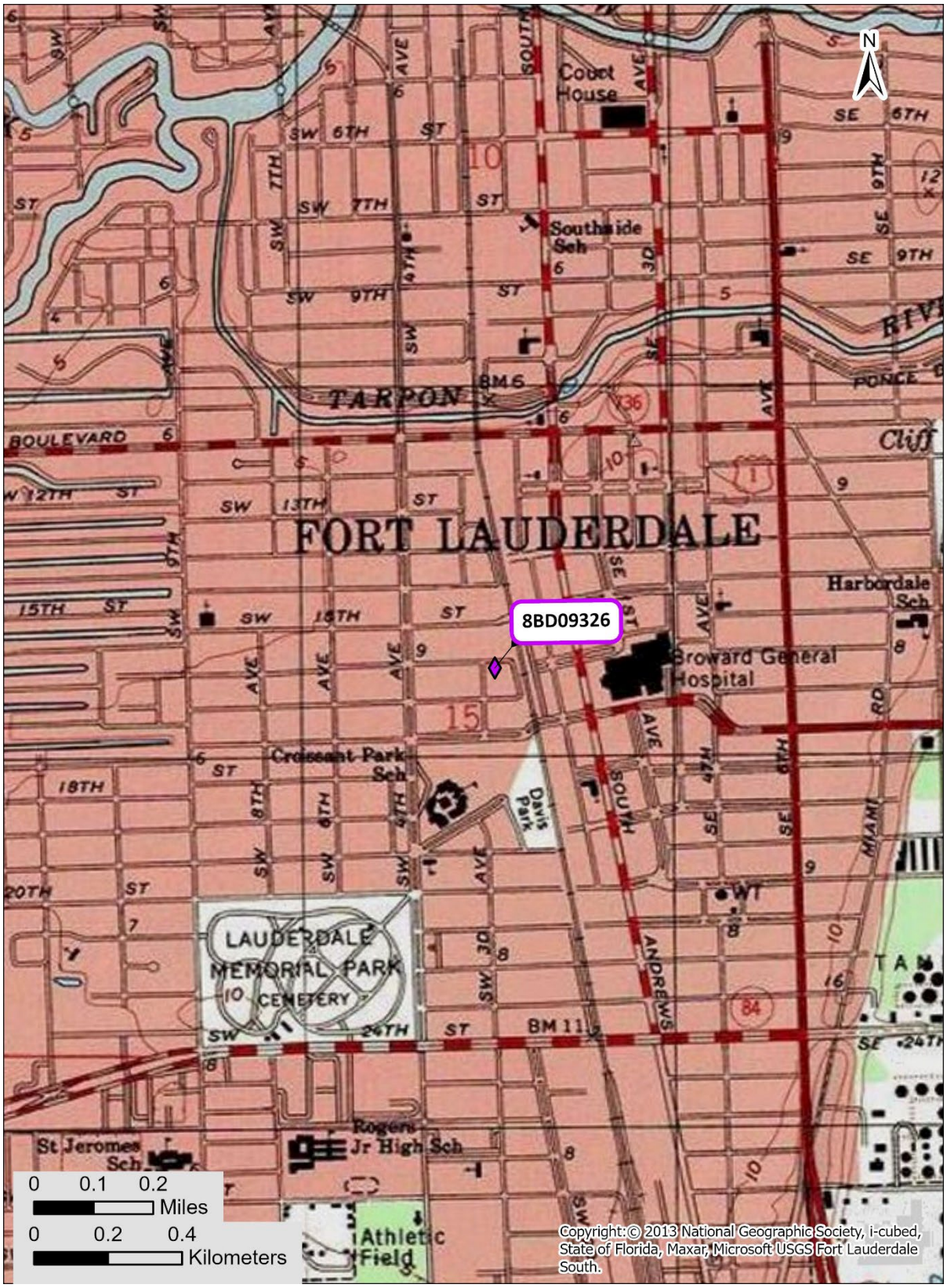
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


N
8BD09326
SW 8th St
SW 9th St
SW 10th St
SW 11th St
SW 12th Ct
SW 13th St
SW 14th St
SW 14th Ct
SW 16th St
SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
SW 24th St
SW 7th Ave
SW 8th Ave
SW 9th Ave
SW 4th Ave
SW 3rd Ave
SW 2nd Ave
SW 1st Ave
S Andrews Ave
SE 8th St
SE 9th St
SE 4th Ave
SE 3rd Ave
SE 1st Ave
SE 17th St
SE 18th St
SE 18th Ct
SE 20th St
SE 21st St
SE 6th Ave
S Federal Hwy
Miami Rd
Tarpon River
Davie Blvd
Broward Health Medical Center
Lauderdale Memorial Park
5
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09327
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 3

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 211 SW 16th Street (Building 2) **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	211	SW	16th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH **USGS Date** 1962 **Plat or Other Map** _____
City / Town (within 3 miles) Fort Lauderdale **In City Limits?** ☐yes ☐no ☒unknown **County** Broward
Township 50S **Range** 42E **Section** 15 **¼ section:** ☐NW ☐SW ☐SE ☐NE **Irregular-name:** _____
Tax Parcel # 5042-15-01-3502 **Landgrant** _____
Subdivision Name Lauderdale (2-9 D) **Block** 58 **Lot** 37-39
UTM Coordinates: Zone ☐16 ☒17 **Easting** 585542 **Northing** 2887298
Other Coordinates: X: _____ Y: _____ **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse From (year): 1968 To (year): CURR
Current Use _____ From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ **Original address** _____
Alterations: ☒yes ☐no ☐unknown Date: _____ **Nature** Roofing, windows
Additions: ☐yes ☒no ☐unknown Date: _____ **Nature** _____
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

AM Property Enterprises, LLC (2022); Eastside Toy Storage I, LLC (2007); Dick Doetsch, LLC (1999); Martha Doetsch

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown **Describe** _____

DESCRIPTION

Style Masonry Vernacular **Exterior Plan** Irregular **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

SHS, vinyl, single, 1/1

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping, garage bays

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

ca. 1968 Masonry Vernacular warehouse (8BD09326)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09327

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N & S ELEV: single metal door, per unit

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ 11 warehouse units on the N & S ELEV (22 units total). Each unit has a garage bay w/ roll up door.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

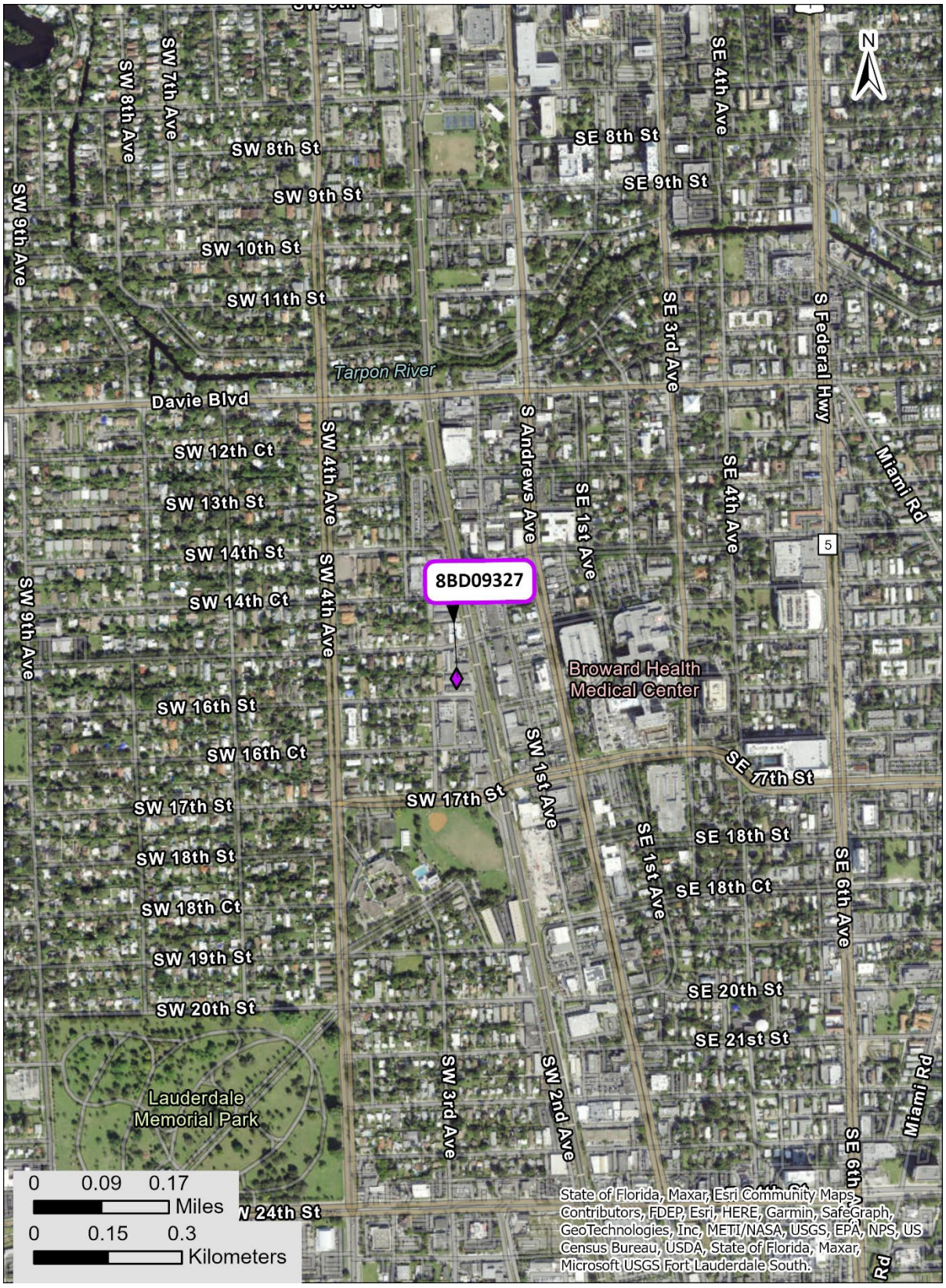
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

TOW-AWAY
24 HRS ZONE 7 DAYS
ALL COUNTY TOWING
954-564-0488

AERIAL MAP


N
8BD09327
SW 8th St
SW 9th St
SW 10th St
SW 11th St
Tarpon River
Davie Blvd
SW 12th Ct
SW 13th St
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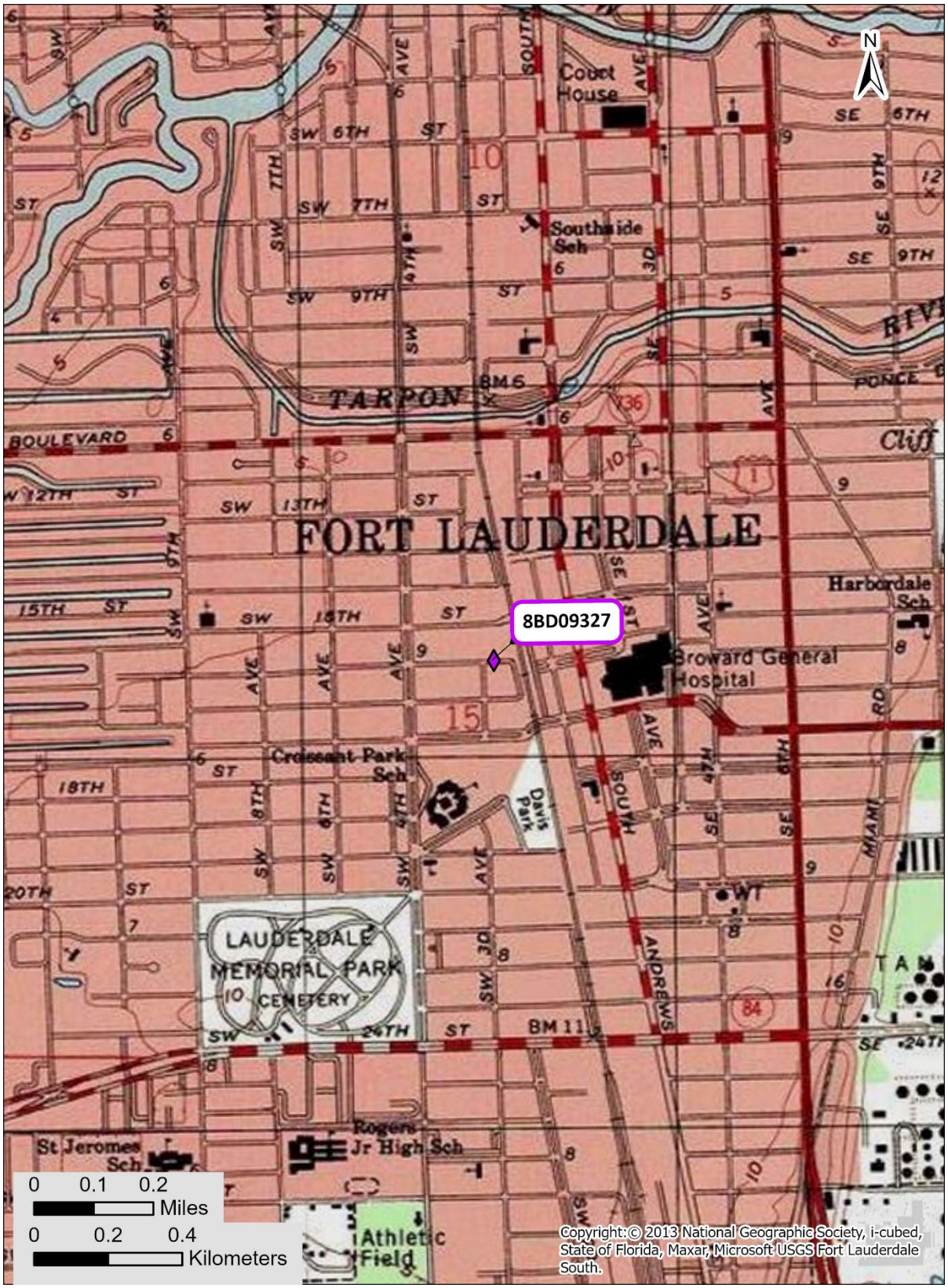
SW 14th Ct
SW 16th St
SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
SW 24th St
SW 7th Ave
SW 8th Ave
SW 9th Ave
SW 4th Ave
SW 3rd Ave
SW 2nd Ave
SW 1st Ave
S Andrews Ave
SE 8th St
SE 9th St
SE 4th Ave
SE 3rd Ave
SE 1st Ave
S Federal Hwy
Miami Rd
SE 17th St
SE 18th St
SE 18th Ct
SE 6th Ave
SE 20th St
SE 21st St
Broward Health Medical Center
Lauderdale Memorial Park
0 0.09 0.17 Miles
0 0.15 0.3 Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09330
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 6

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 200 SW 16th Court (Building 1) **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	200	SW	16th	Court	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH **USGS Date** 1962 **Plat or Other Map** _____
City / Town (within 3 miles) Fort Lauderdale **In City Limits?** ☐yes ☐no ☒unknown **County** Broward
Township 50S **Range** 42E **Section** 15 **¼ section:** ☐NW ☐SW ☐SE ☐NE **Irregular-name:** _____
Tax Parcel # 5042-15-01-4310 **Landgrant** _____
Subdivision Name Lauderdale (2-9D) **Block** 71 **Lot** 1
UTM Coordinates: Zone ☐16 ☒17 **Easting** 585588 **Northing** 2887132
Other Coordinates: X: _____ Y: _____ **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1954 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse From (year): 1954 To (year): CURR
Current Use _____ From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ **Original address** _____
Alterations: ☒yes ☐no ☐unknown Date: _____ **Nature** Roofing, metal security bars
Additions: ☐yes ☒no ☐unknown Date: _____ **Nature** _____
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Music/Video Machine, Inc. (2012); Marie-Luise Hoove

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown **Describe** _____

DESCRIPTION

Style Masonry Vernacular **Exterior Plan** Rectangular **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ overhanging eaves, concrete canopy, garage bays, metal security bars (windows)

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

ca. 1954 Masonry Vernacular style warehouse (8BD09331)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09330

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N ELEV: single metal door, beneath a concrete canopy

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ one garage bay on the N ELEV and two garage bays on the S ELEV. Two additional entrances beneath concrete canopies are located on the S ELEV.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

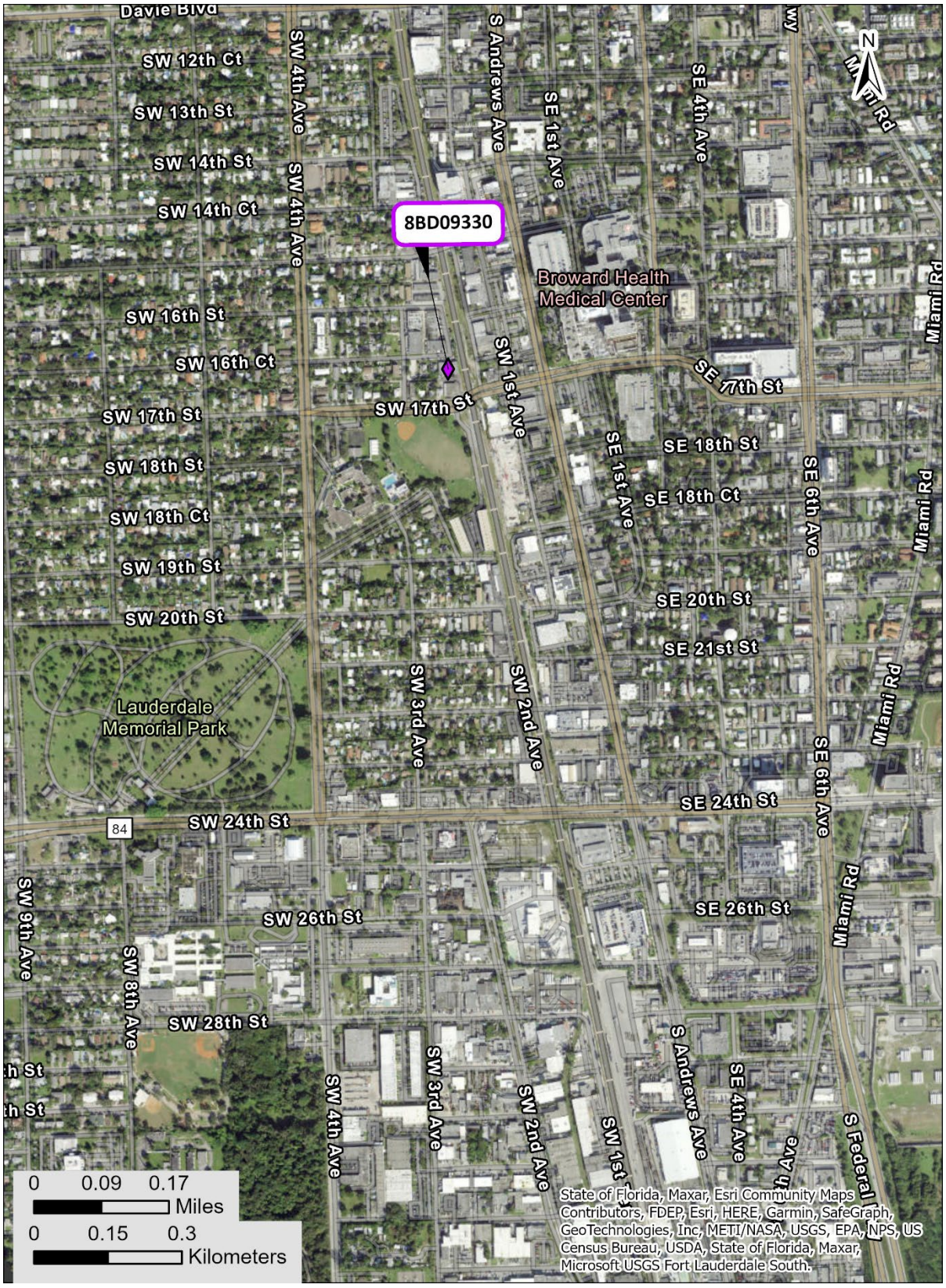
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09330
Broward Health Medical Center
Lauderdale Memorial Park
Davie Blvd
SW 12th Ct
SW 13th St
SW 14th St
SW 14th Ct
SW 16th St
SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
SW 24th St
SW 26th St
SW 28th St
SW 4th Ave
SW 8th Ave
SW 9th Ave
SW 3rd Ave
SW 2nd Ave
SW 1st Ave
S Andrews Ave
SE 1st Ave
SE 4th Ave
SE 6th Ave
SE 17th St
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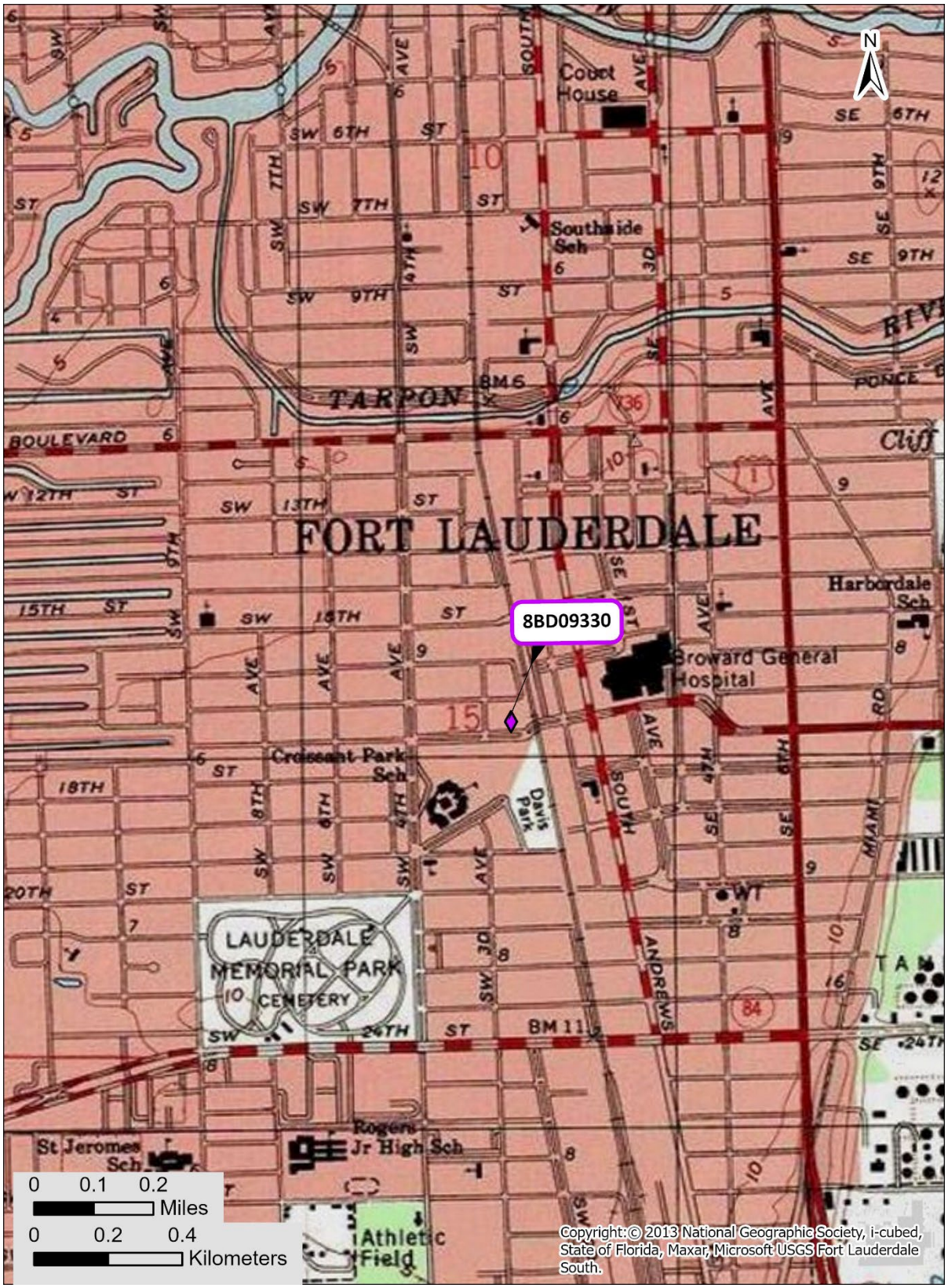
SE 18th Ct
SE 20th St
SE 21st St
SE 24th St
SE 26th St
Miami Rd
S Federal Hwy
84
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09331
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 7

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 200 SW 16th Court (Building 2) Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	200	SW	16th	Court	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH USGS Date 1962 Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale In City Limits? ☐yes ☐no ☒unknown County Broward
Township 50S Range 42E Section 15 ¼ section: ☐NW ☐SW ☐SE ☐NE Irregular-name: _____
Tax Parcel # 5042-15-01-4310 Landgrant _____
Subdivision Name Lauderdale (2-9D) Block 71 Lot 1
UTM Coordinates: Zone ☐16 ☒17 Easting 585602 Northing 2887134
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1954 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse From (year): 1954 To (year): CURR
Current Use _____ From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, enclosed entrance & windows
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Music/Video Machine, Inc. (2012); Marie-Luise Hoove

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Enclosed w/ plywood

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ overhanging eaves and exposed rafter detail, concrete canopies, garage bays

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

ca. 1954 Masonry Vernacular style warehouse (8BD09330)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # 8 BD09331

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

S ELEV: single metal door, beneath a concrete canopy

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ a garage bay with roll up door on the N & S ELEV. An entrance on the N ELEV has been enclosed. A secondary entrance is located on the S ELEV and the windows have been enclosed w/ plywood.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location — Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen — File or accession #'s P14019

2) Document type _____ — Maintaining organization _____
Document description _____ — File or accession #'s _____

RECORDER INFORMATION

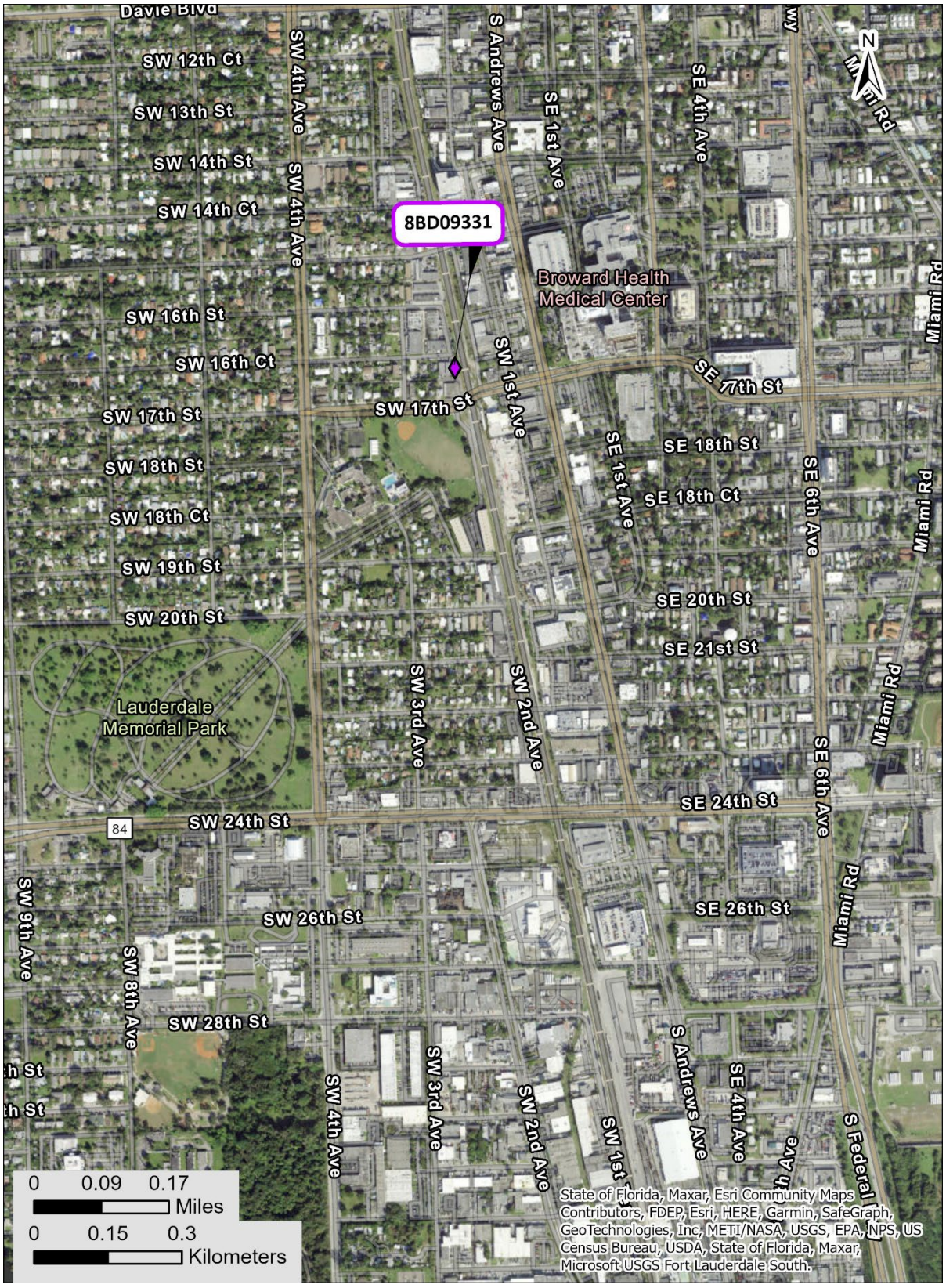
Recorder Name Savannah Y. Finch — Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

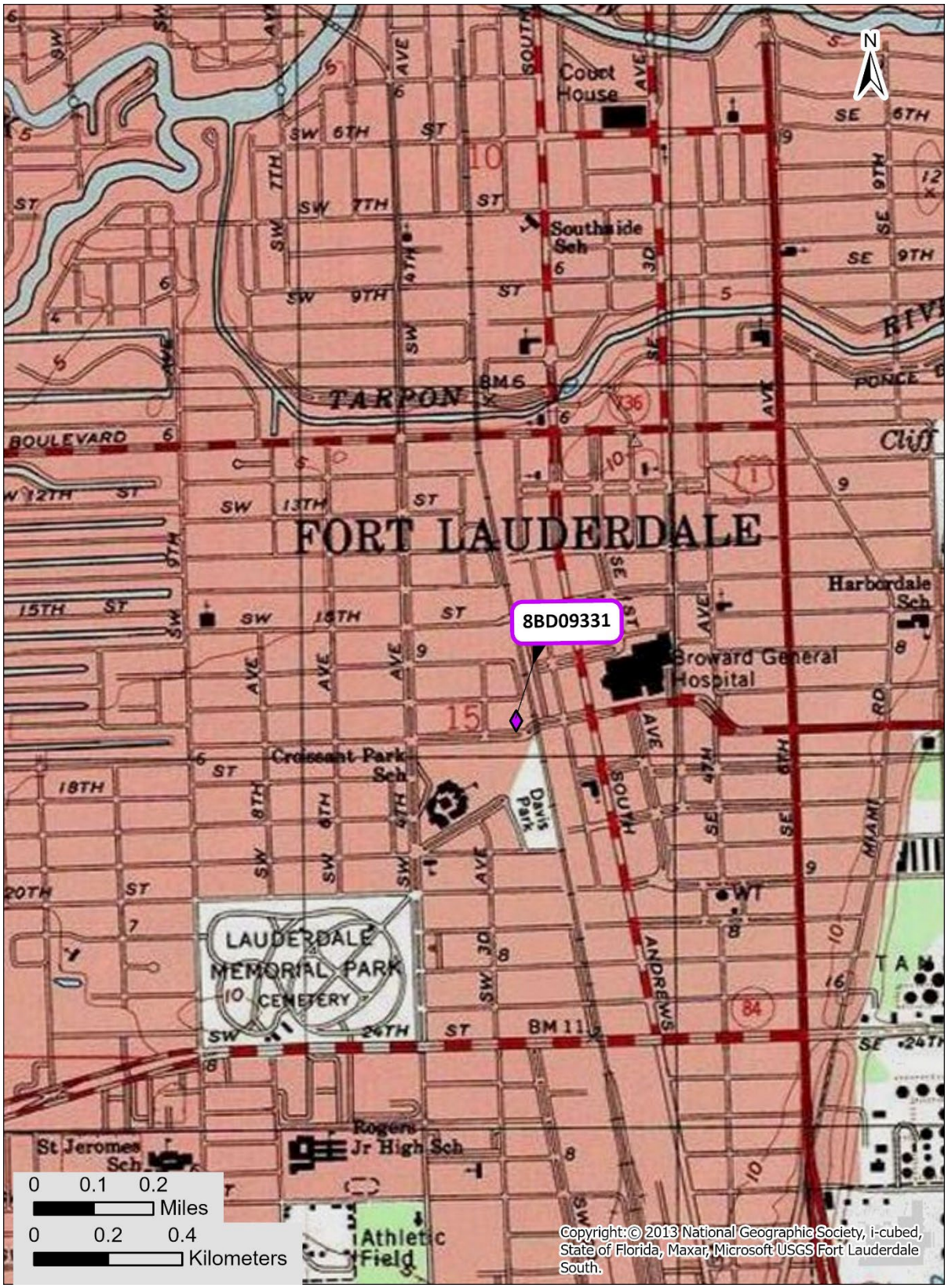
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09331
Broward Health Medical Center
Lauderdale Memorial Park
Davie Blvd
SW 12th Ct
SW 13th St
SW 14th St
SW 14th Ct
SW 16th St
SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
SW 24th St
SW 26th St
SW 28th St
SW 4th Ave
SW 8th Ave
SW 9th Ave
SW 3rd Ave
SW 2nd Ave
SW 1st Ave
S Andrews Ave
SE 1st Ave
SE 4th Ave
SE 17th St
SE 18th St
SE 18th Ct
SE 6th Ave
SE 20th St
SE 21st St
SE 24th St
SE 26th St
Miami Rd
Miami Pl
S Federal Hwy
84
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09332
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 14

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 100 SW 16th Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	100	SW	16th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-10-2370 — Landgrant _____
Subdivision Name Croissant Park (4-28B) — Block 37 — Lot 3-5
UTM Coordinates: Zone ☐16 ☒17 — Easting 585652 — Northing 2887212
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1957 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1957 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding, windows, encl. garage
Additions: ☒yes ☐no ☐unknown Date: _____ Nature Flat roof
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

BJK Ventures, LLC (2021); Jerry's Marine Service of Ft. Lauderdale, Inc. (1973); Helen F. Jenkins

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Artif masonry veneer 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, grouped (3), one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet, affixed signage, artificial masonry veneer accent panel, garage bays

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # 8 BD09332

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N ELEV: double metal frame full view doors w/ sidelights and transom

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ several material alterations, incl. the install. of the main entrance where a former garage bay was located. Garage bays w/ roll up doors are located on the W ELEV & a flat roof addition is on the S ELEV.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

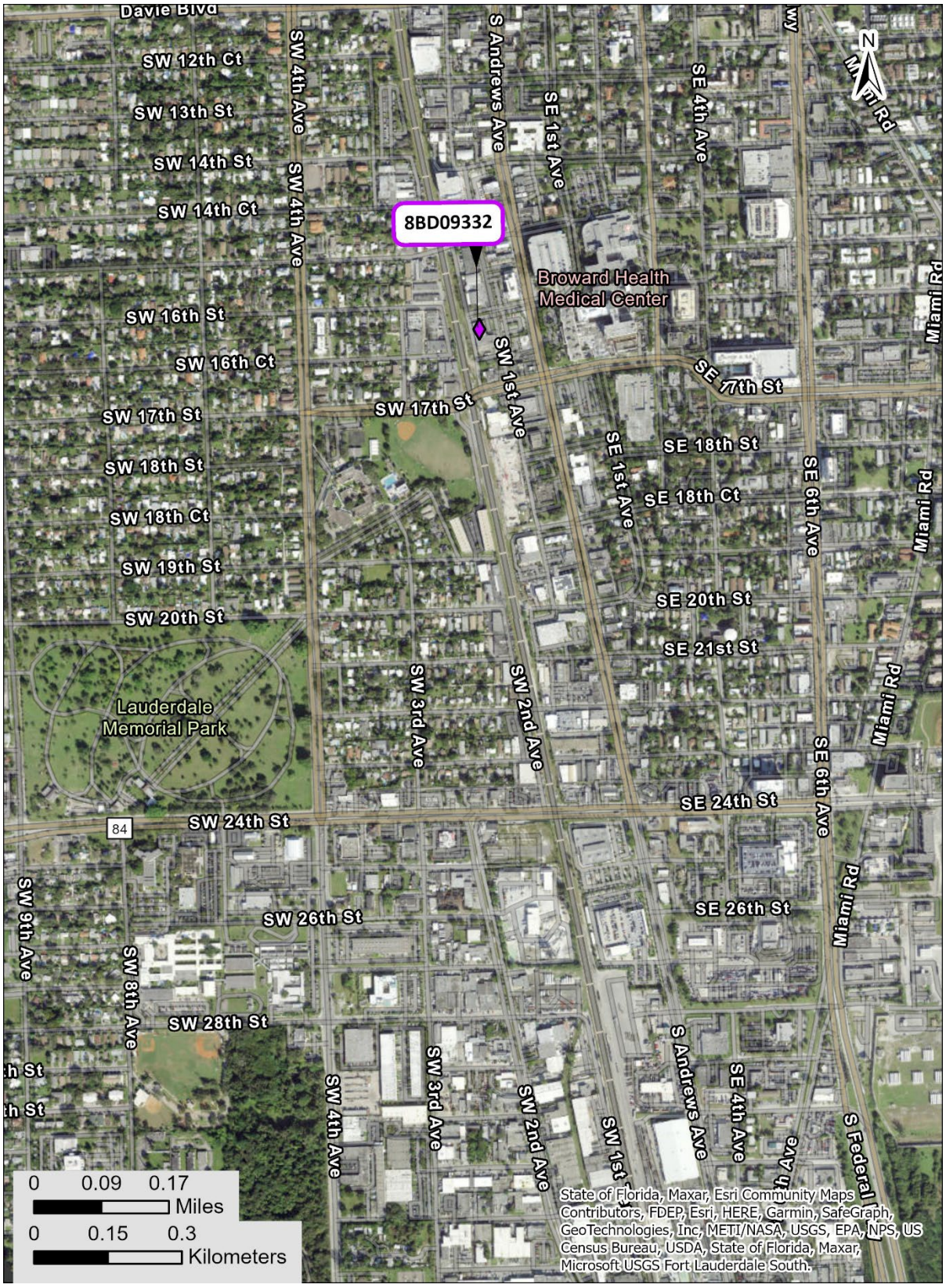
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09332
Broward Health Medical Center
Lauderdale Memorial Park
Davie Blvd
SW 12th Ct
SW 13th St
SW 14th St
SW 14th Ct
SW 16th St
SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
SW 24th St
SW 26th St
SW 28th St
SW 4th Ave
SW 8th Ave
SW 9th Ave
SW 3rd Ave
SW 2nd Ave
SW 1st Ave
S Andrews Ave
SE 1st Ave
SE 4th Ave
SE 17th St
SE 18th St
SE 18th Ct
SE 6th Ave
SE 20th St
SE 21st St
SE 24th St
SE 26th St
Miami Rd
S Federal Hwy
84
N
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Miles
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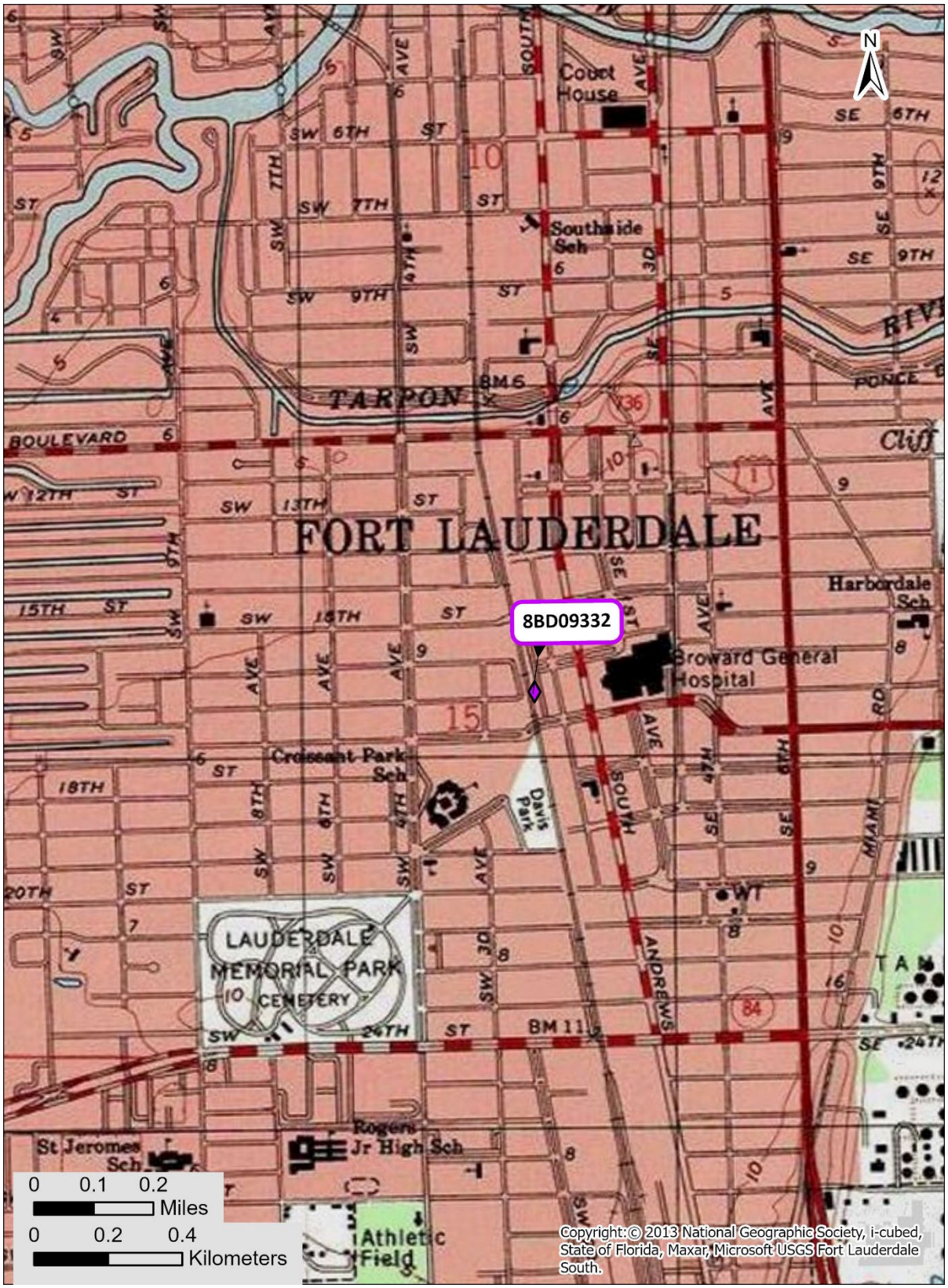
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09333
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 12 & 13

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1605 & 1611 SW 1st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address:	Street Number	Direction	Street Name	Street Type	Suffix Direction
	1605/1611	SW	1st	Avenue	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-10-2380/2390 — Landgrant _____
Subdivision Name Croissant Park (4-28B) — Block 37 — Lot 6-9
UTM Coordinates: Zone ☐16 ☒17 — Easting 585666 — Northing 2887182
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1950 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1950 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, enclosed garages/entry
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

BJK Ventures, LLC (2021); Jerry's Marine Service of Ft. Lauderdale, Inc. (1986); Frances B. Rankins

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, grouped(3), one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet, Spanish tile pent roof awning, garage bay

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # 8 BD09333

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

E ELEV: single door, per unit (one metal door and one metal frame door w/ full view light)

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style building w/ a garage bay with a roll up door on the E ELEV. Three additional garage bays and an entrance have been enclosed w/ stucco siding on the E ELEV.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

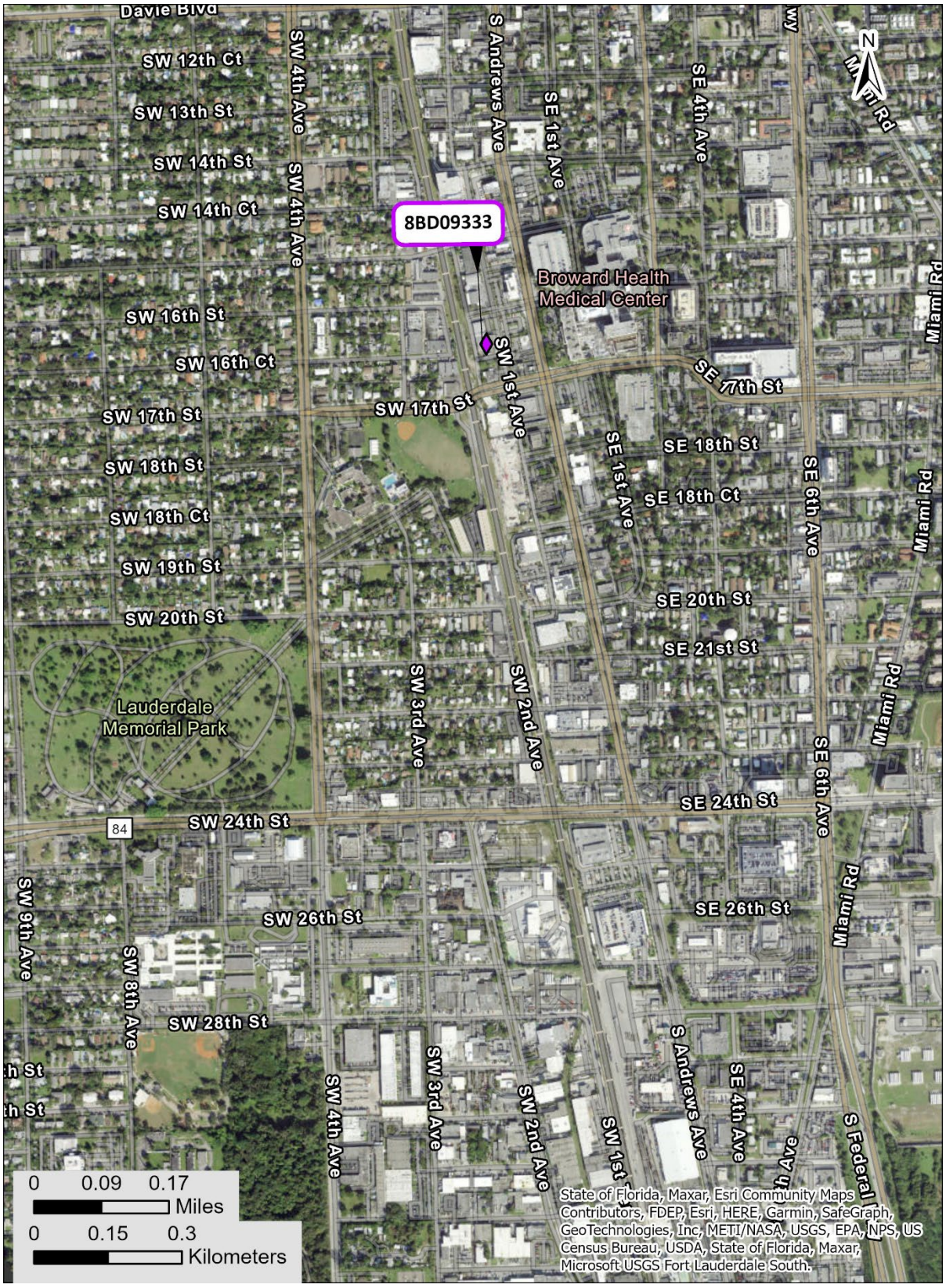
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09333
Broward Health Medical Center
Lauderdale Memorial Park
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SW 12th Ct
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SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
SW 24th St
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SW 3rd Ave
SW 2nd Ave
SW 1st Ave
S Andrews Ave
SE 1st Ave
SE 4th Ave
SE 17th St
SE 18th St
SE 18th Ct
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SE 20th St
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SE 24th St
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Miami Rd
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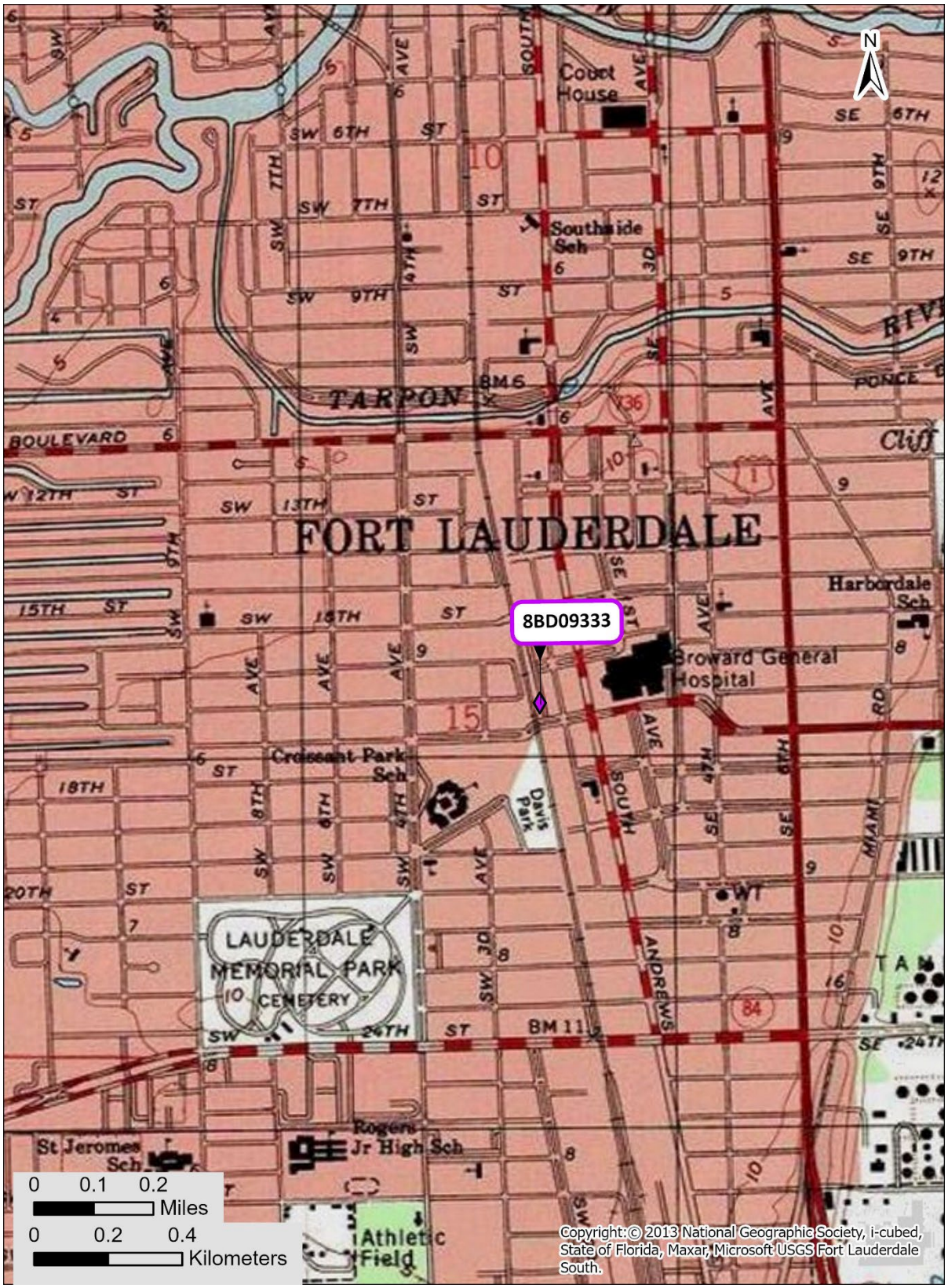
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09334
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 10

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1611 S Andrews Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	1611	S	Andrews	Avenue	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-40-0170 — Landgrant _____
Subdivision Name Croissant Park Resub — Block 38 — Lot 21-24
UTM Coordinates: Zone ☐16 ☒17 — Easting 585744 — Northing 2887181
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Commercial — From (year): 1959 — To (year): UNK
Current Use Vacant — From (year): UNK — To (year): CURR
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ — Nature Roofing, siding, windows
Additions: ☐yes ☒no ☐unknown Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

North Broward Hospital District (2019); C.E.V. Kirkiles, Inc. (1985); Blanche Wachtel

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Commercial — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Wood/Plywood 3. Brick
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, paired, grouped (3), one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet, flat metal canopy, metal hurricane shutters, brick veneer panels

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09334

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

E ELEV: four entrances (two metal frame full view doors and two solid metal doors), beneath a metal canopy

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☐ good ☒ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

A one-story Commercial style building w/ three or four retail units on the E ELEV. One unit is clad in brick veneer, and one has been partially enclosed with concrete block. The remaining unit(s) are covered w/ plywood siding.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

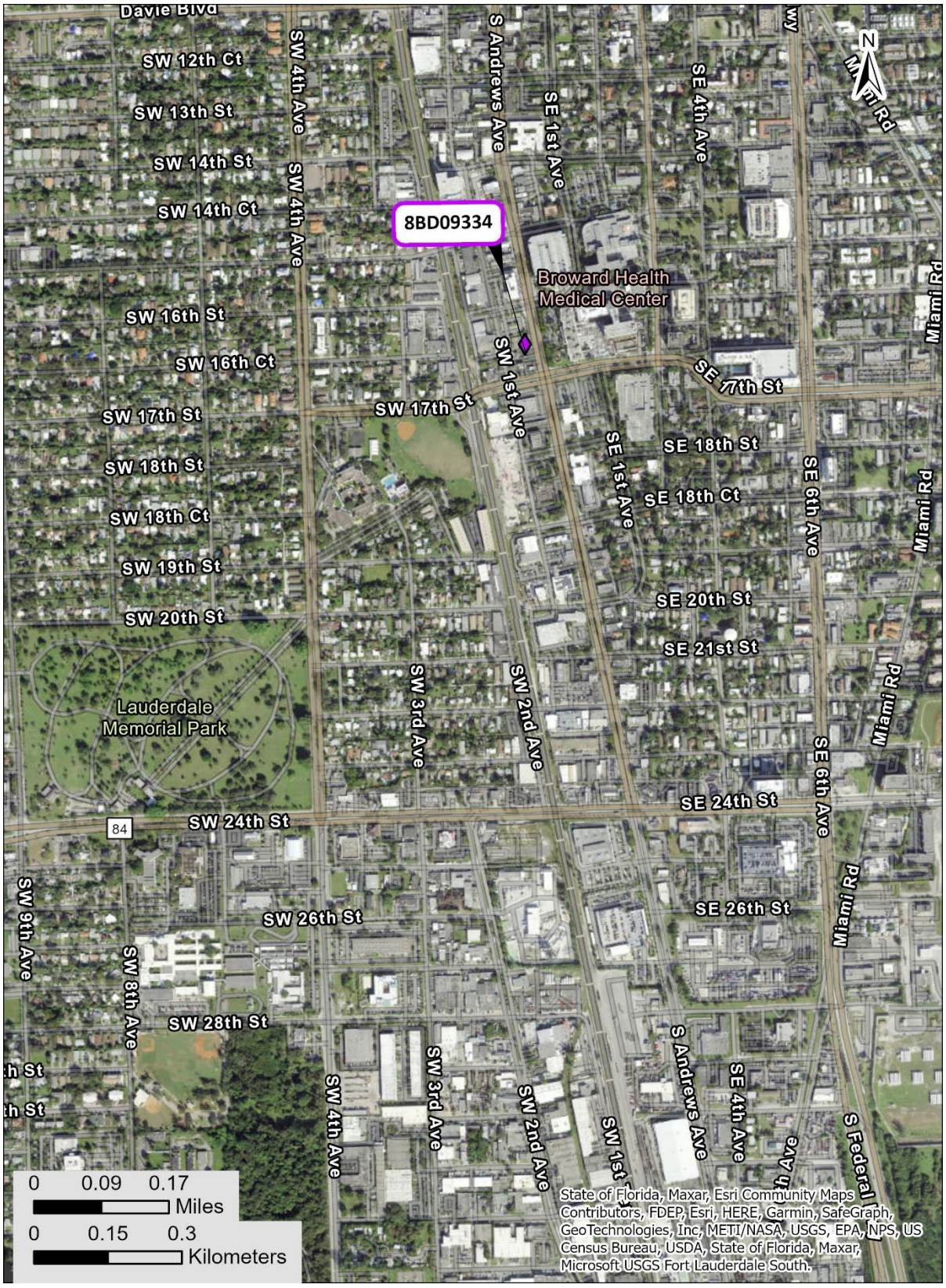
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09334
Broward Health Medical Center
Lauderdale Memorial Park
Davie Blvd
SW 12th Ct
SW 13th St
SW 14th St
SW 14th Ct
SW 16th St
SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
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SW 1st Ave
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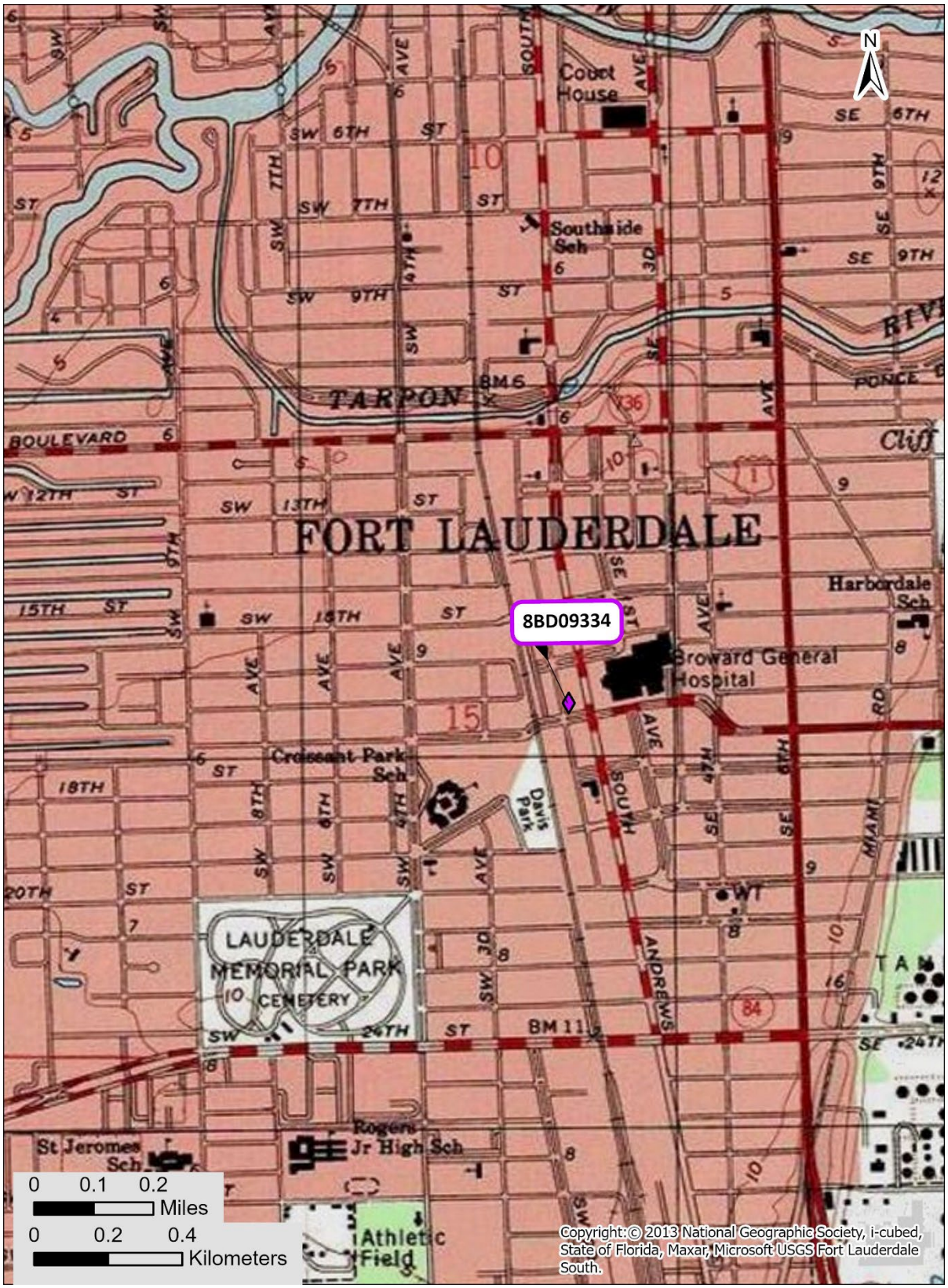
SE 17th St
SE 18th St
SE 18th Ct
SE 6th Ave
SE 20th St
SE 21st St
SE 24th St
SE 26th St
Miami Rd
S Federal Hwy
84
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09335
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 9

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1623 S Andrews Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address:	Street Number	Direction	Street Name	Street Type	Suffix Direction
	1623	S	Andrews	Avenue	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-40-0160 — Landgrant _____
Subdivision Name Croissant Park Resub. — Block 38 — Lot 18-20
UTM Coordinates: Zone ☐16 ☒17 — Easting 585745 — Northing 2887154
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1958 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Restaurant — From (year): 1958 — To (year): UNK
Current Use Vacant — From (year): UNK — To (year): CURR
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding, windows, shutters
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

North Broward Hospital District (2019); C.E.V. Kirkiles, Inc. (1994); Dobbs Houses Restaurants, Inc.

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Commercial — Exterior Plan Irregular — Number of Stories 1
Exterior Fabric(s) 1. Concrete block 2. Board and batten 3. Stucco
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Covered w/ plywood

Distinguishing Architectural Features (exterior or interior ornaments)

Non-structural faux-mansard style composition shingle parapet, shutters, turned wooden posts, textured stucco

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09335

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

E ELEV: covered w/ plywood

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☐ good ☒ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Commercial style building that was originally constructed as a Dobb's House Restaurant. The building is currently vacant w/ boarded windows and entrance.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

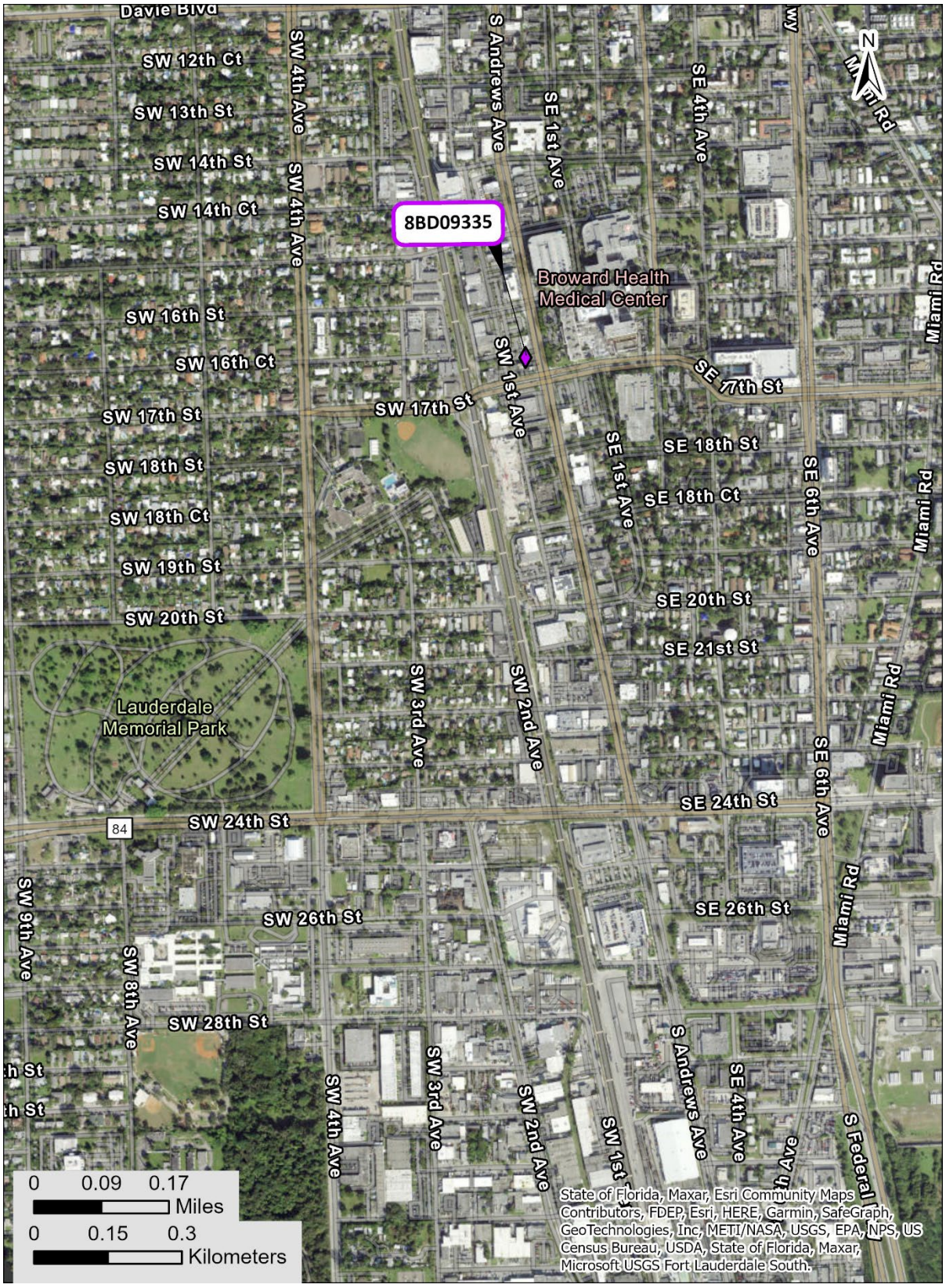
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09335
Broward Health Medical Center
Lauderdale Memorial Park
Davie Blvd
SW 12th Ct
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SW 17th St
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SW 18th Ct
SW 19th St
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SW 3rd Ave
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S Andrews Ave
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SE 20th St
SE 21st St
SE 24th St
SE 26th St
Miami Rd
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84
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Miles
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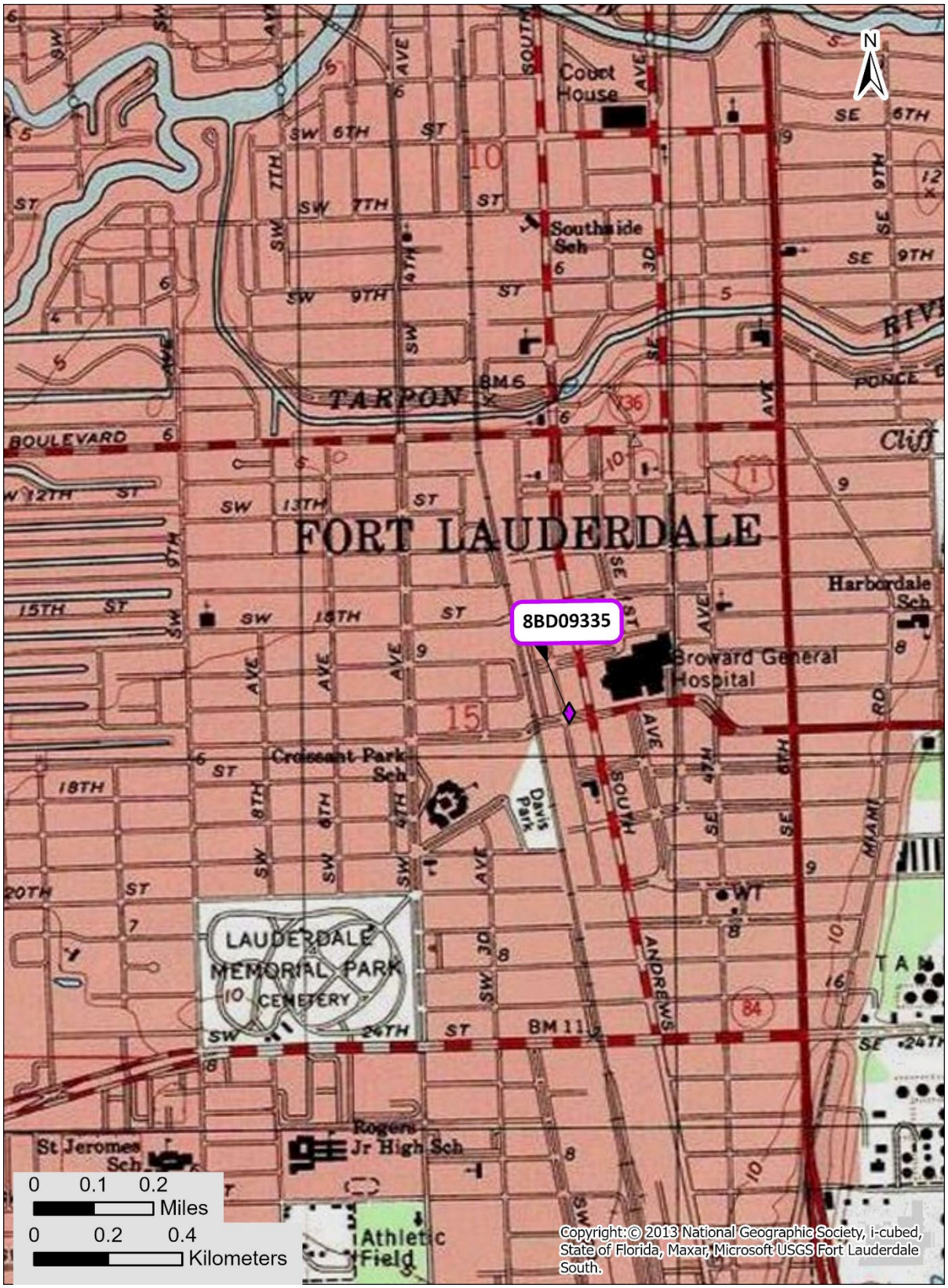
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09336
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 11

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Farm Stores — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	17	SW	17th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-15-40-0100 — Landgrant _____
Subdivision Name Croissant Park Resub. — Block 38 — Lot 13-16
UTM Coordinates: Zone ☐16 ☒17 — Easting 585720 — Northing 2887133
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1963 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Commercial — From (year): 1963 — To (year): UNK
Current Use Vacant — From (year): UNK — To (year): CURR
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ — Nature Roofing, metal security bars
Additions: ☐yes ☒no ☐unknown Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

North Broward Hospital District (2019); C.E.V. Kirkiles, Inc. (1991); Carol R. Fowler

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Commercial — Exterior Plan Irregular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. Other 3. Butterfly
Roof Material(s) 1. Built-up 2. _____ 3. Composition roll
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

None visible

Distinguishing Architectural Features (exterior or interior ornaments)

Butterfly roof w/ exposed beam detail, large rectangular shop openings (E & W ELEV) enclosed w/ security bars

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09336

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

E & W ELEV: rectangular openings w/ security bars, beneath a butterfly roof

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Commercial style building that was constructed as a "Farm Stores" drive-thru convenience store commonly found throughout South Florida.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS) ☐historic photos ☐interior inspection ☐HABS/HAER record search
☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

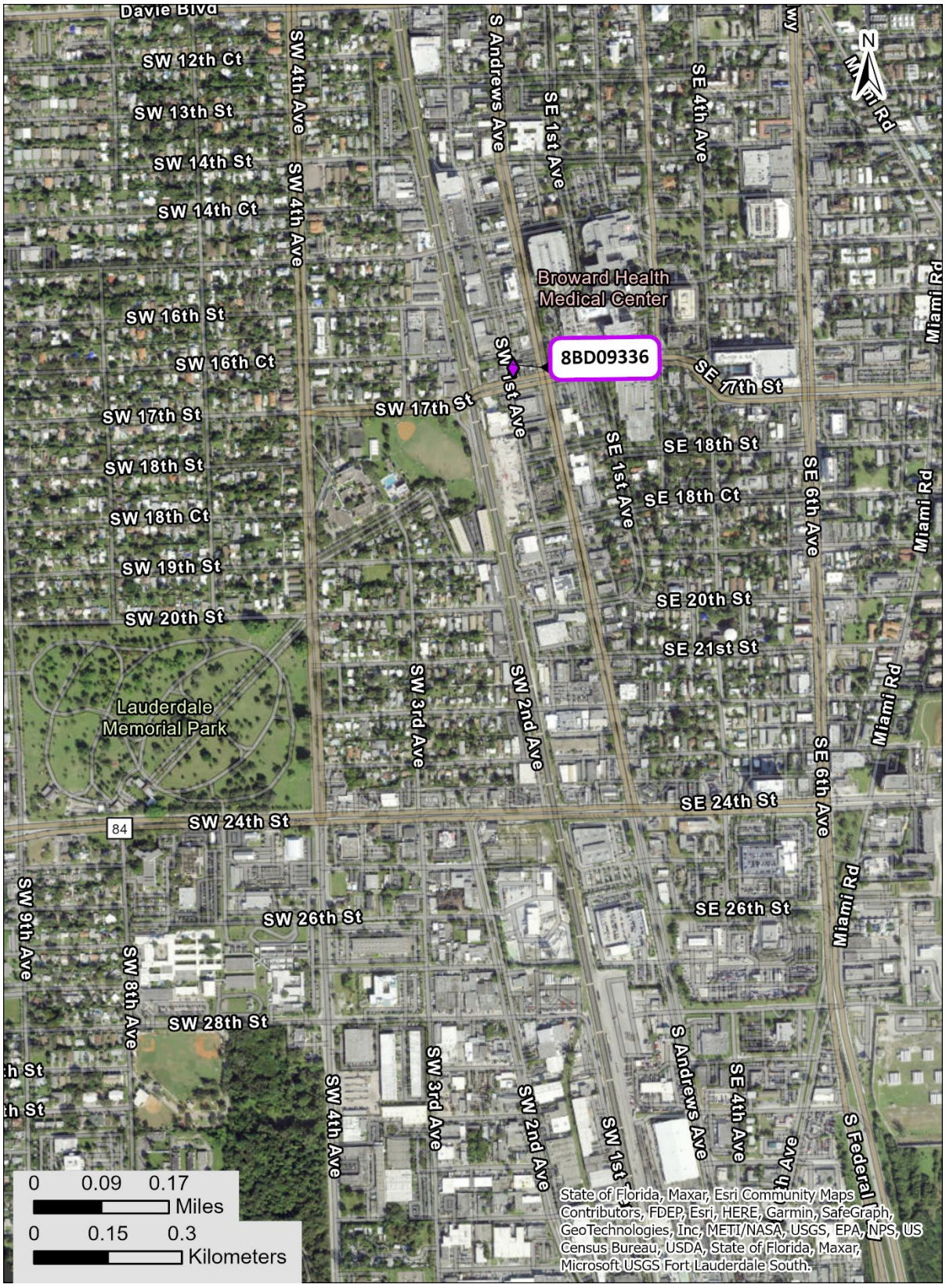
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


Davie Blvd
SW 12th Ct
SW 13th St
SW 14th St
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SW 9th Ave
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SW 4th Ave
SW 3rd Ave
SW 2nd Ave
SW 1st Ave
S Andrews Ave
SE 1st Ave
SE 4th Ave
SE 6th Ave
SE 17th St
SE 18th St
SE 18th Ct
SE 20th St
SE 21st St
SE 24th St
SE 26th St
Miami Rd
S Federal Hwy
Broward Health Medical Center
8BD09336
Lauderdale Memorial Park
84
N
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Miles
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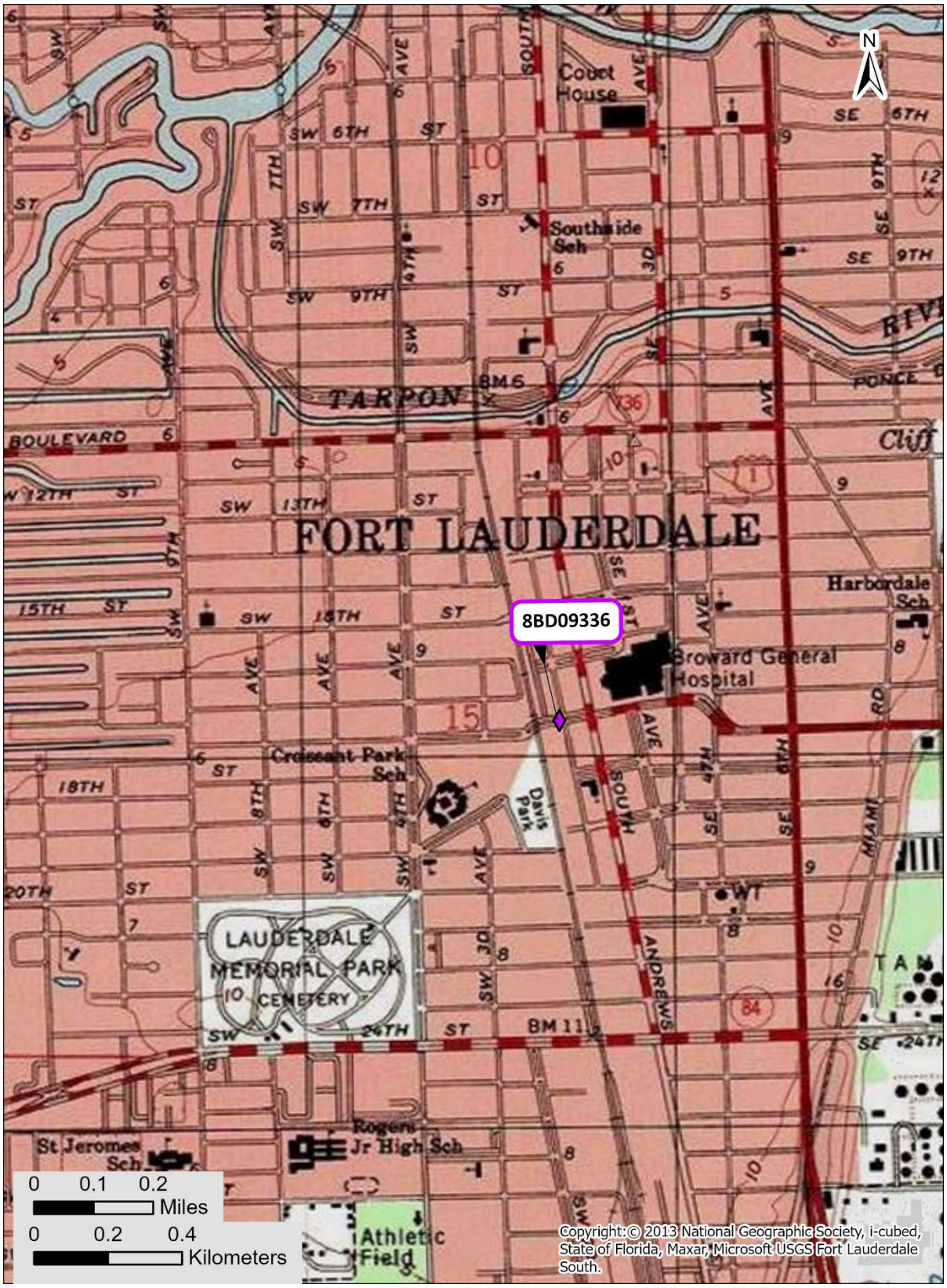
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09337
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 8

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 201 SW 20th Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	201	SW	20th	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Fort Lauderdale — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 50S — **Range** 42E — **Section** 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5042-15-05-0010 — **Landgrant** _____
Subdivision Name _____ — **Block** _____ — **Lot** _____
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 585686 — **Northing** 2886696
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☐approximately ☐year listed or earlier ☒year listed or later

Original Use	Warehouse	From (year): 1959	To (year): CURR
Current Use		From (year):	To (year):
Other Use		From (year):	To (year):

Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding
Additions: ☒yes ☐no ☐unknown Date: _____ Nature Shed roof (W ELEV)
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

SEDS Investment, LLC (2021); Napco Holdings, LLC (2000); G.L. Franklin, Jr. (1983); Sheffield & Loehr, Inc.

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown **Describe** _____

DESCRIPTION

Style Industrial Vernacular — **Exterior Plan** Irregular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. Metal 3. _____
Roof Type(s) 1. Flat 2. Shed 3. _____
Roof Material(s) 1. Built-up 2. Sheet metal:corrugated 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

None visible

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet, hurricane shutters, loading bay w/ platform

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
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HISTORICAL STRUCTURE FORM

Site # BD09337

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____

Foundation Type(s): 1. Continuous 2. _____

Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details)

N ELEV: double metal frame full view doors w/ sidelights and retracted hurricane shutters

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Industrial Vernacular style warehouse w/ a concrete block segment to the north and a metal skeleton segment w/ loading bays to the south. A shed roof addition is located on the W ELEV.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

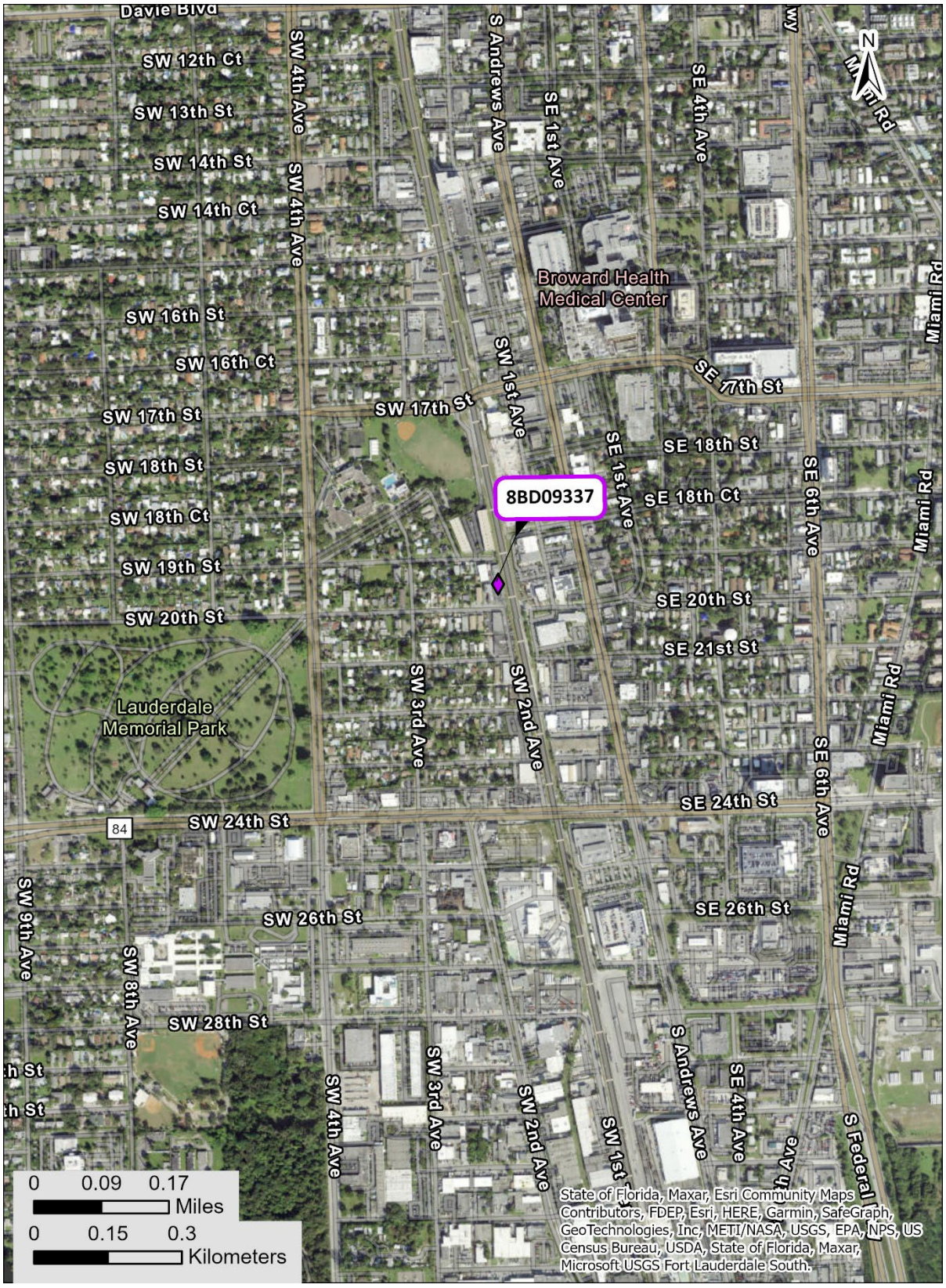
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

201S

AERIAL MAP


8BD09337
Broward Health Medical Center
Lauderdale Memorial Park
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SW 16th St
SW 16th Ct
SW 17th St
SW 18th St
SW 18th Ct
SW 19th St
SW 20th St
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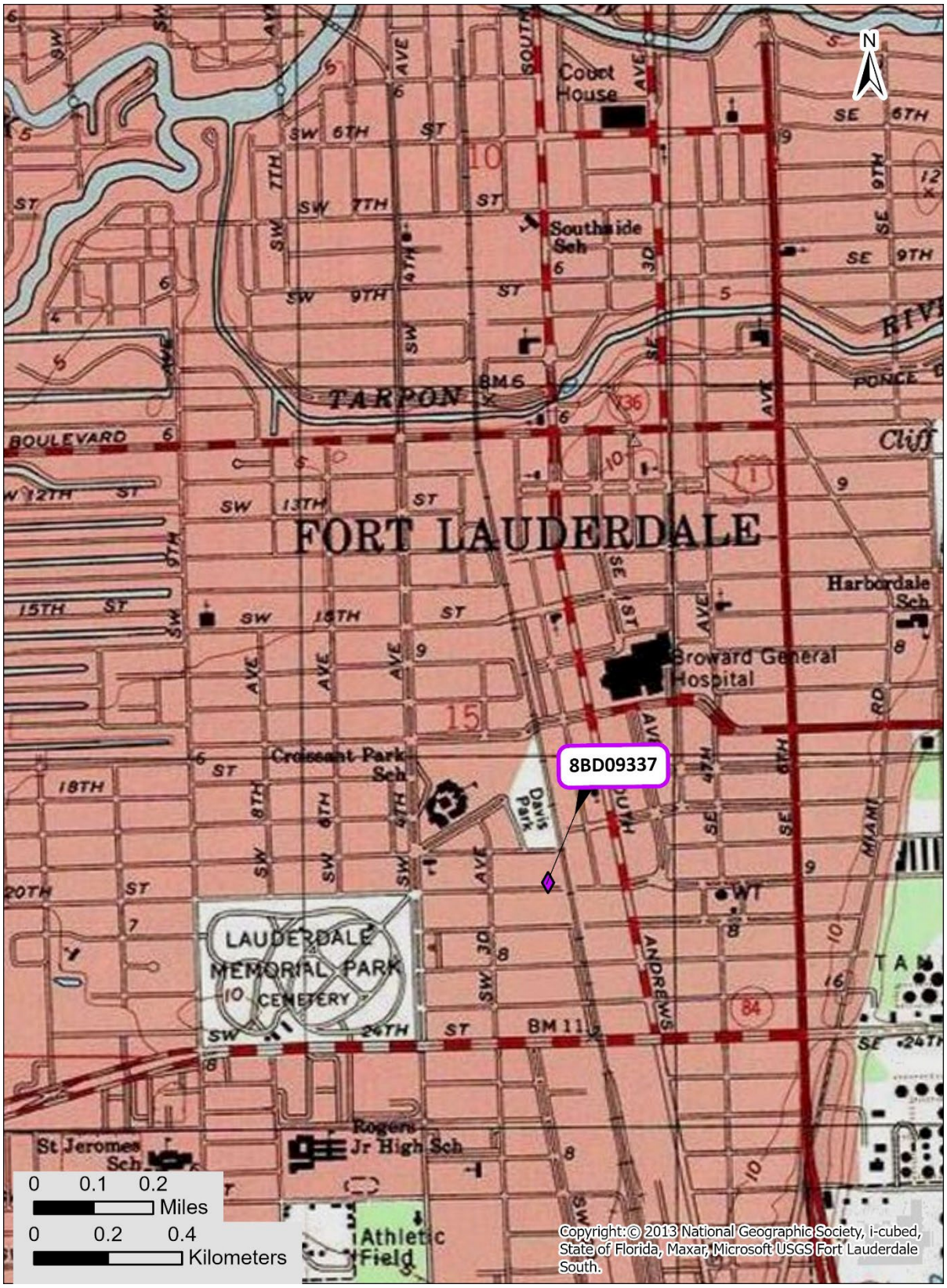
SW 3rd Ave
S Andrews Ave
SE 1st Ave
SE 4th Ave
SE 6th Ave
SE 17th St
SE 18th St
SE 18th Ct
SE 20th St
SE 21st St
SE 24th St
SE 26th St
Miami Rd
S Federal Hwy
84
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 15



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09338
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 15a

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 3318 SW 2nd Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	3318	SW	2nd	Avenue	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 50S — Range 42E — Section 22 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5042-22-17-0010 — Landgrant _____
Subdivision Name Port Industrial Sites — Block _____ — Lot 1-9
UTM Coordinates: Zone ☐16 ☒17 — Easting 585921 — Northing 2885140
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1952 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1952 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding, windows
Additions: ☒yes ☐no ☐unknown Date: _____ Nature Flat roof (N ELEV)
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Broward Realty Corp.

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Irregular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Wood/Plywood 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, grouped (3), one-light; glass block fenestrations; SHS, metal, single, paired, 2/2

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ overhanging eaves, concrete windowsills, garage bays, rectangular vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Non-historic warehouse

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
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HISTORICAL STRUCTURE FORM

Site # BD09338

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Continuous 2. _____

Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details)

N ELEV: single door w/ full view light and glass block sidelights, beneath a flat roof w/ metal pole supports

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style building w/ an office addition on the N ELEV and the principle warehouse building on the S ELEV.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

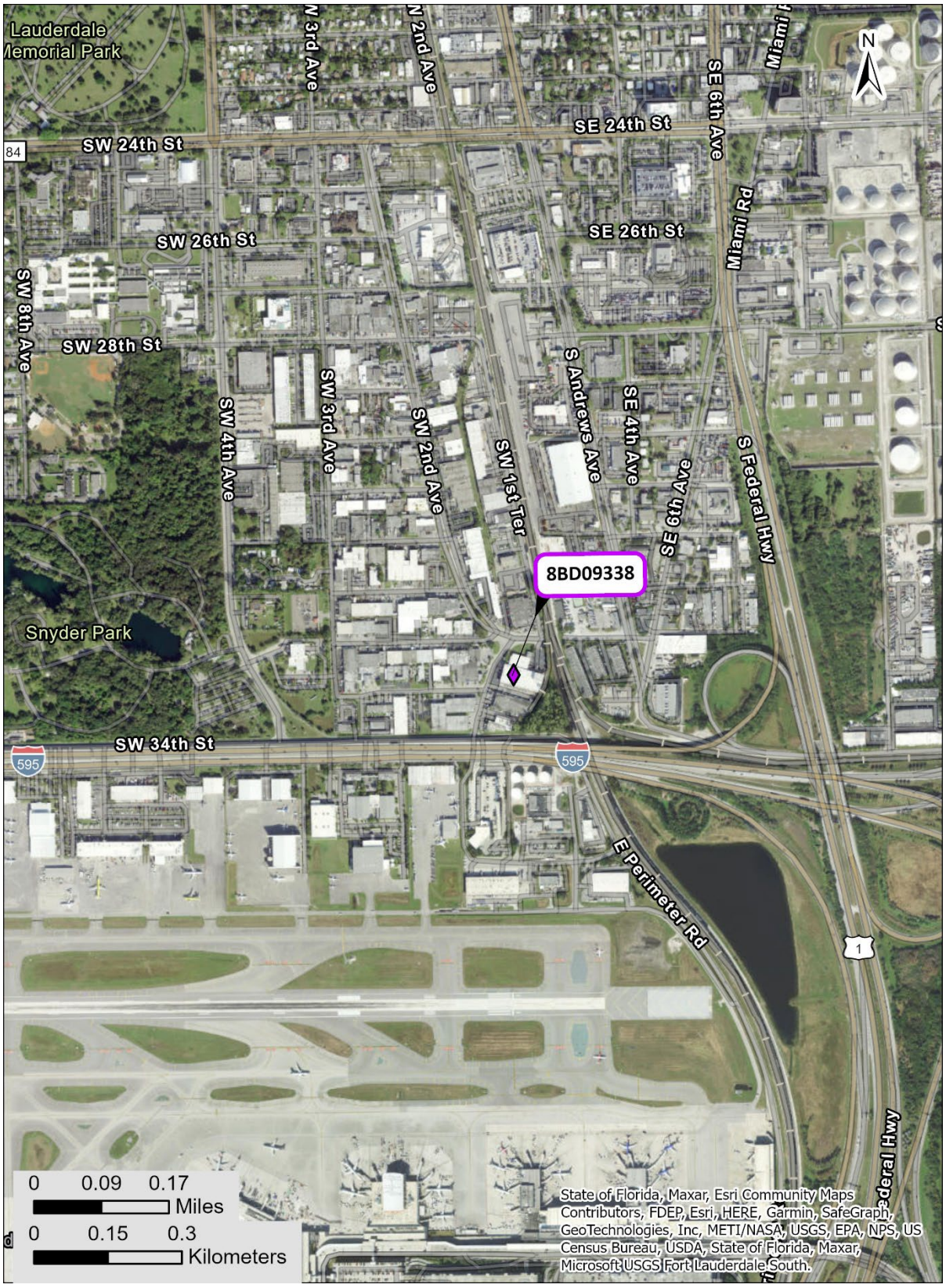
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

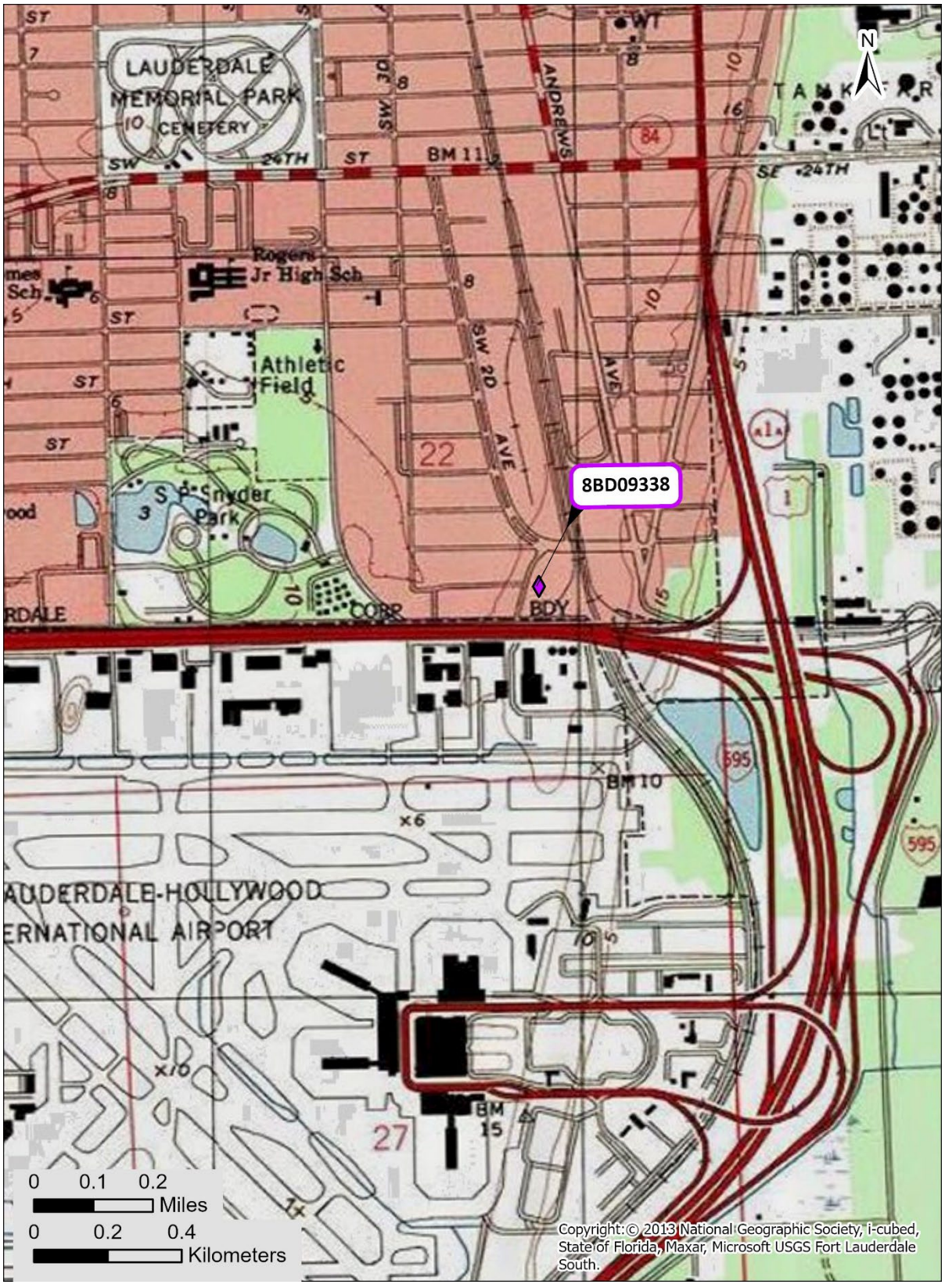
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


Lauderdale Memorial Park
N 3rd Ave
N 2nd Ave
SE 6th Ave
Miami Rd
SE 24th St
84
SW 24th St
SW 26th St
SE 26th St
SW 8th Ave
SW 28th St
SW 4th Ave
SW 3rd Ave
SW 2nd Ave
SW 1st Ter
S Andrews Ave
SE 4th Ave
SE 6th Ave
S Federal Hwy
8BD09338
Snyder Park
SW 34th St
595
E Perimeter Rd
1
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 50 South, Range 42 East, Section 22



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09339
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 15b

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2038 Hayes Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2038		Hayes	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 10 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142-03-10-0280 — **Landgrant** _____
Subdivision Name North Hollywood — **Block** 2 — **Lot** 21-22
UTM Coordinates: Zone ☐16 ☒17 — **Easting** 585153 — **Northing** 2878223
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1960 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1960 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature Roofing, windows
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

RCR Development Group (2013); Hayes Business Complex, LLC (2009); REM Real Estate Corp (2006); International Biohazard Services (2002); Hermad

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Rectangular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet and metal coping, stucco pilasters

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09339

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W ELEV: single metal frame door w/ full view light OR solid metal door, per unit

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ approximately 6 units accessed from the W ELEV.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location — Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen — File or accession #'s P14019

2) Document type _____ — Maintaining organization _____
Document description _____ — File or accession #'s _____

RECORDER INFORMATION

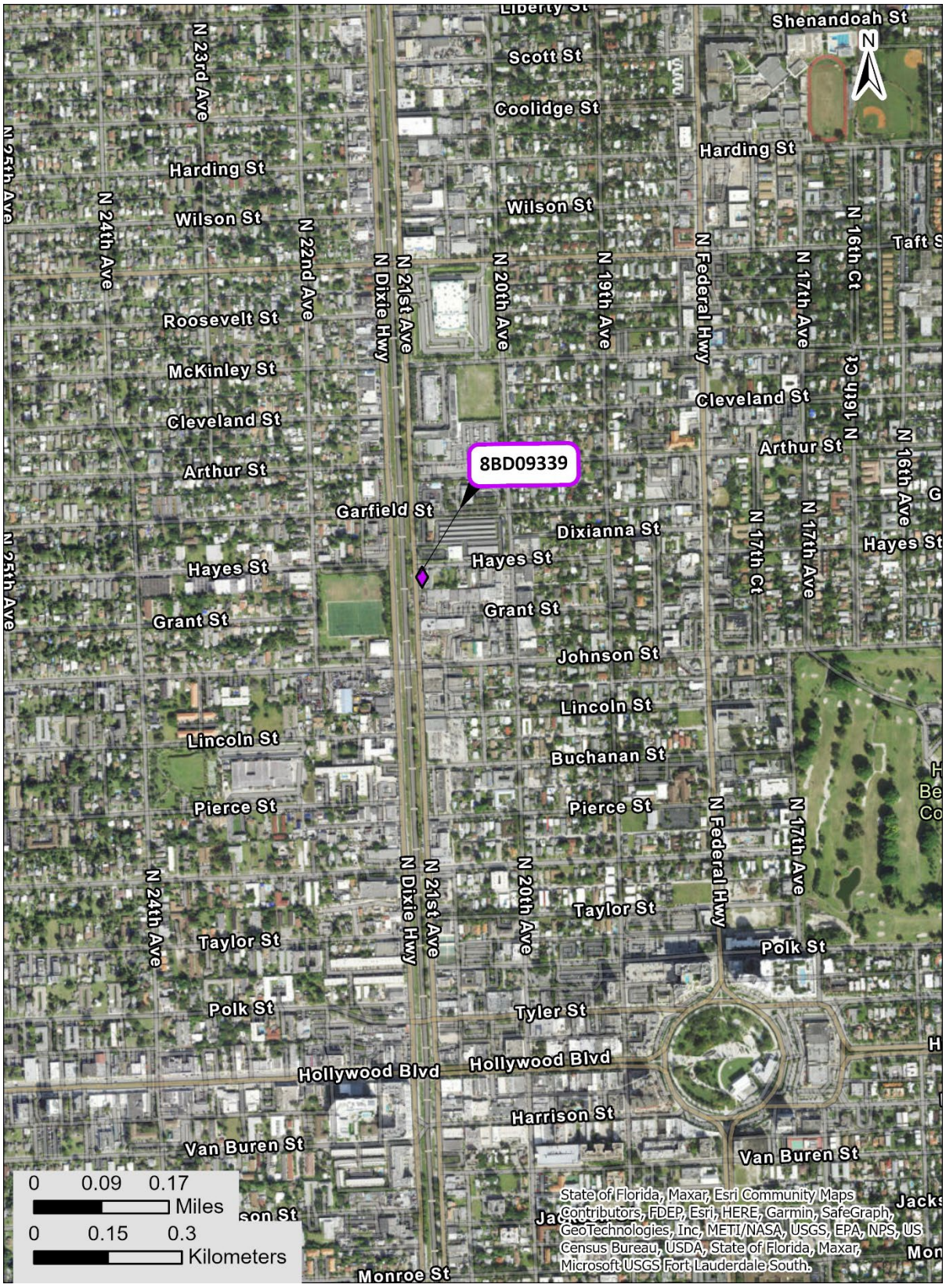
Recorder Name Savannah Y. Finch — Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

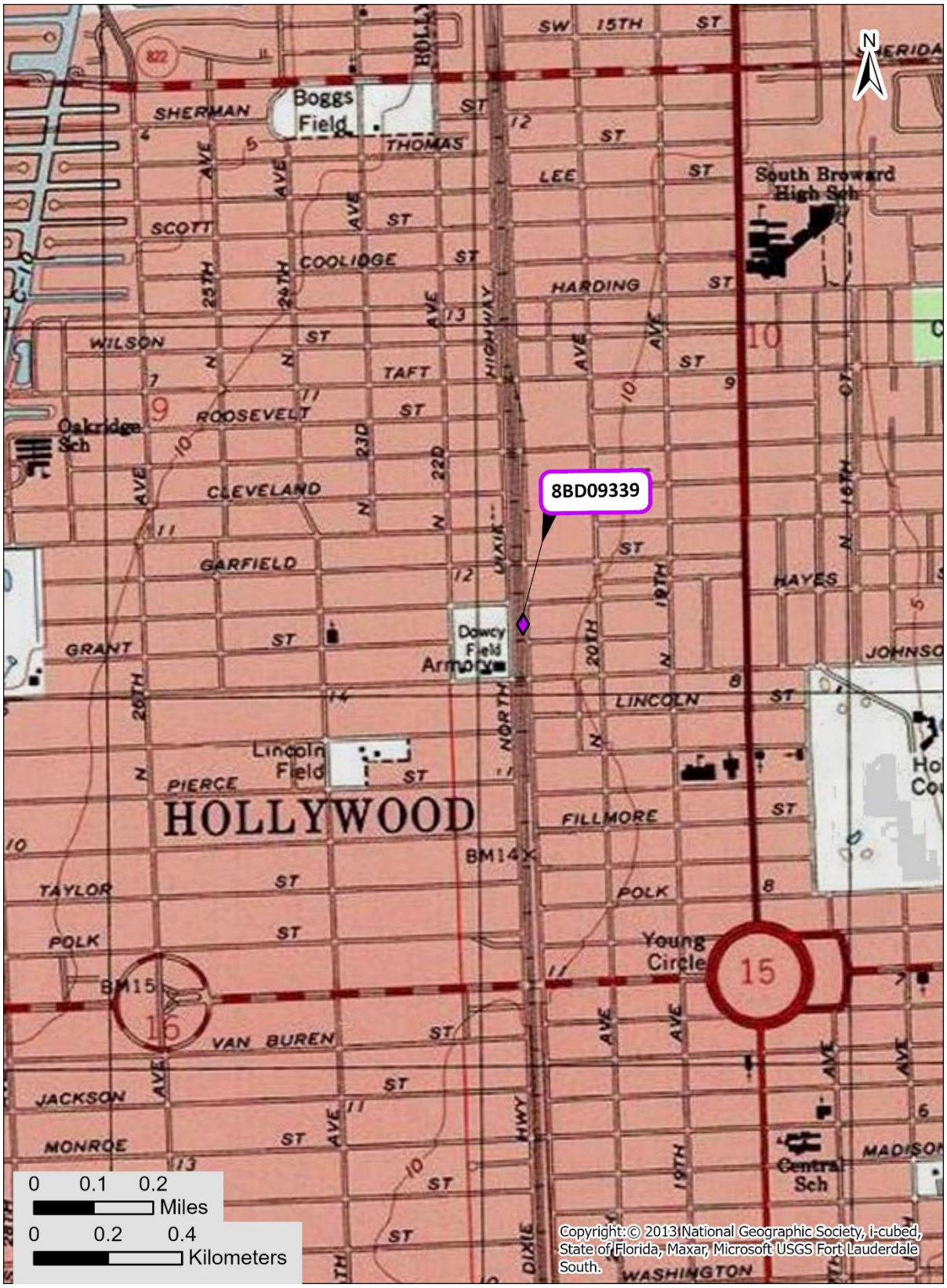
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09339
Shenandoah St
Scott St
Coolidge St
Harding St
Wilson St
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Monroe St
N 23rd Ave
N 24th Ave
N 25th Ave
N 22nd Ave
N Dixie Hwy
N 21st Ave
N 20th Ave
N 19th Ave
N Federal Hwy
N 17th Ave
N 17th Ct
N 16th Ct
N 16th Ave
Dixianna St
Taft St
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 10



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09342
Field Date 4-12-2023
Form Date 4-17-2023
Recorder # 18

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 505 N 21st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	505	N	21st	Avenue	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-15-01-2240 — Landgrant _____
Subdivision Name Hollywood (1-21B) — Block 13 — Lot 3-8
UTM Coordinates: Zone ☐16 ☒17 — Easting 585187 — Northing 2877673
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1956 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Warehouse — From (year): 1956 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, siding
Additions: ☒yes ☐no ☐unknown Date: _____ Nature Flat roofs (N ELEV)
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Foan Investments Holdings (2022); Liliem Levy (1996); Lucille Herritt (1995); HST Acquisition Corp (1992); Brunson & Trevathan Real Estate Co.

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Irregular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Awning, metal, single, 3-stacked (2-lights each); SHS, vinyl, paired, 6/6

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet, rectangular vents, garage bays w/ loading dock, stucco quoins

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # 8 BD09342

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. Continuous

Foundation Material(s): 1. Concrete, Generic 2. Concrete Block

Main Entrance (stylistic details)

W ELEV: single metal door, beneath a flat roof canopy w/ metal supports

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style warehouse that has been expanded multiple times, including a flat roof extension to the N ELEV of the original building and a large loading dock addition to the N ELEV of the extension.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

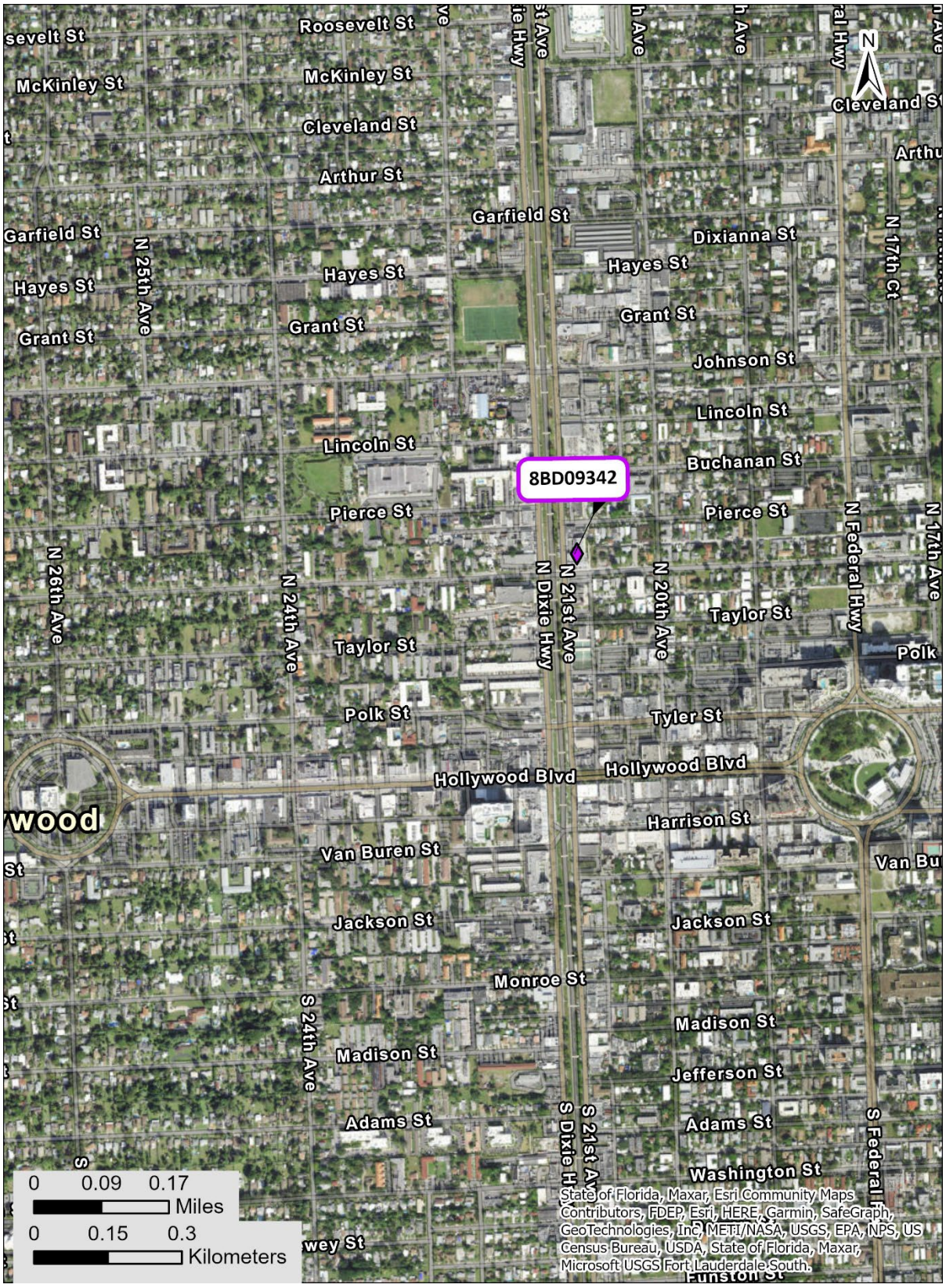
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

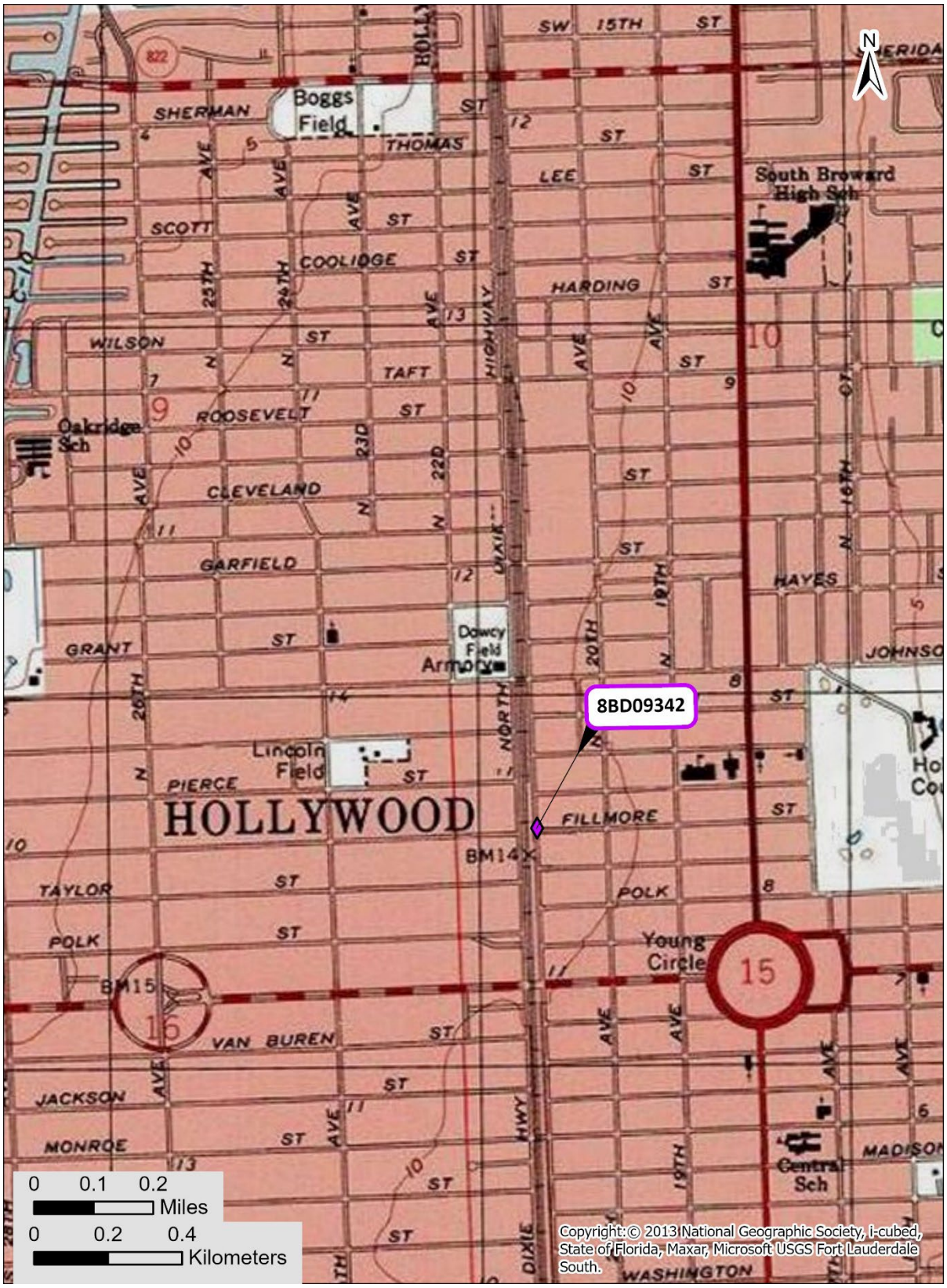
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09342
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N Dixie Hwy
N 21st Ave
N 20th Ave
N 24th Ave
N 25th Ave
N 26th Ave
N 17th Ct
N 17th Ave
N Federal Hwy
S 24th Ave
S Dixie Hwy
S 21st Ave
S Federal Hwy
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 15



Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09343
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 17

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 510 N Dixie Highway — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	510	N	Dixie	Highway	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142-16-01-0190 — **Landgrant** _____
Subdivision Name Hollywood Little Ranches — **Block** C — **Lot** 3
UTM Coordinates: Zone ☐16 ☒17 — **Easting** 585092 — **Northing** 2877678
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1952 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Commercial — From (year): 1952 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature Roofing, siding, windows
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Uptown Properties, LLC (2012); Robert Rodonich & Bernadette Young (2002); Paul Murphy (1994); J.C. Homes, Inc.

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Commercial — **Exterior Plan** Rectangular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet, flat concrete awning, rounded edge corners, affixed signage, chamfered storefront

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09343

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

E ELEV: single metal frame full view door, beneath a flat concrete awning

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Commercial style building w/ replacement windows. The original fenestrations have been partially enclosed w/ stucco siding to accommodate the smaller replacement windows.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

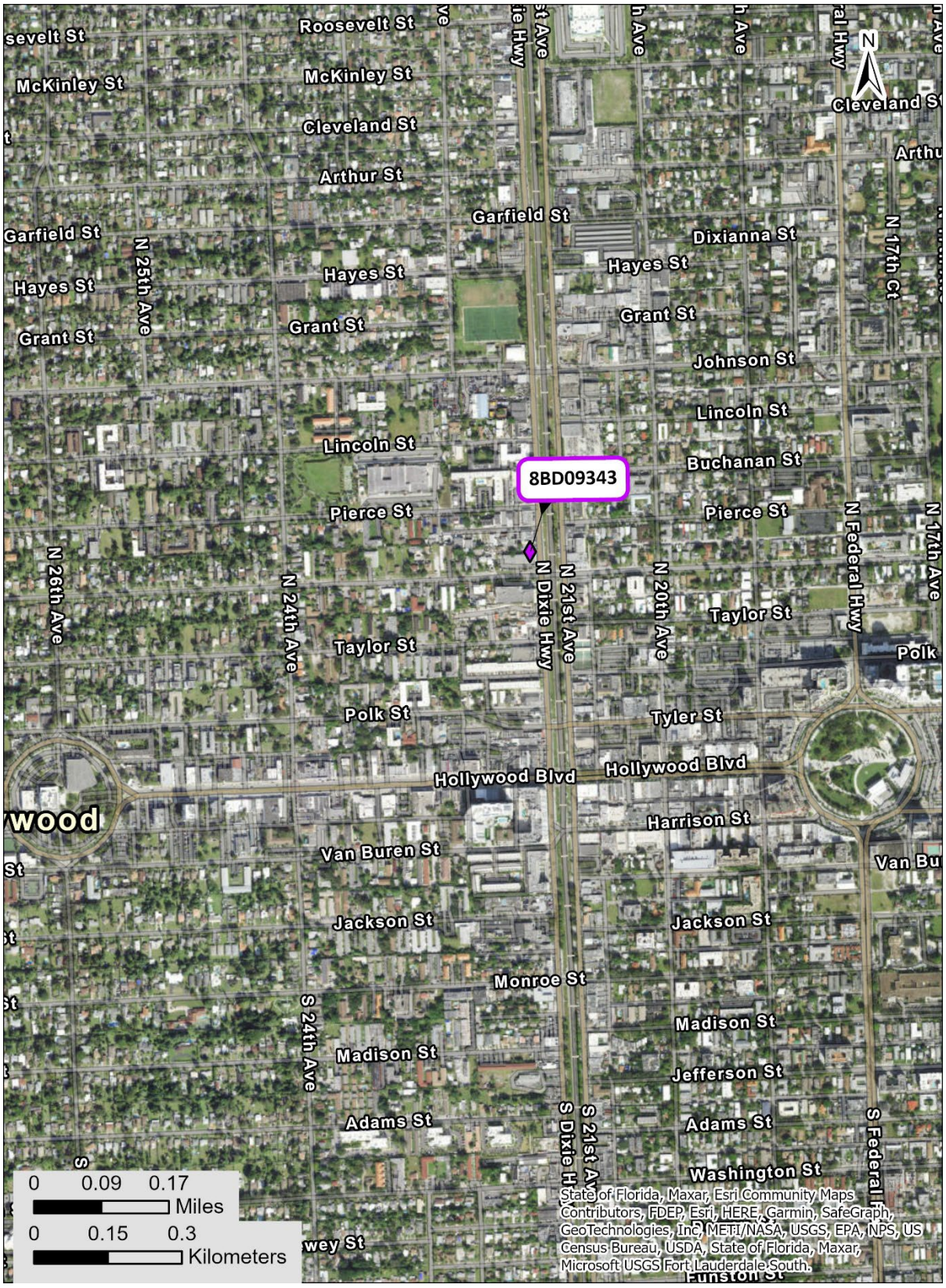
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09343
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N Dixie Hwy
N 21st Ave
N 20th Ave
N 24th Ave
N 25th Ave
N 26th Ave
N 17th Ct
N 17th Ave
N Federal Hwy
S 24th Ave
S Dixie Hwy
S 21st Ave
S Federal Hwy
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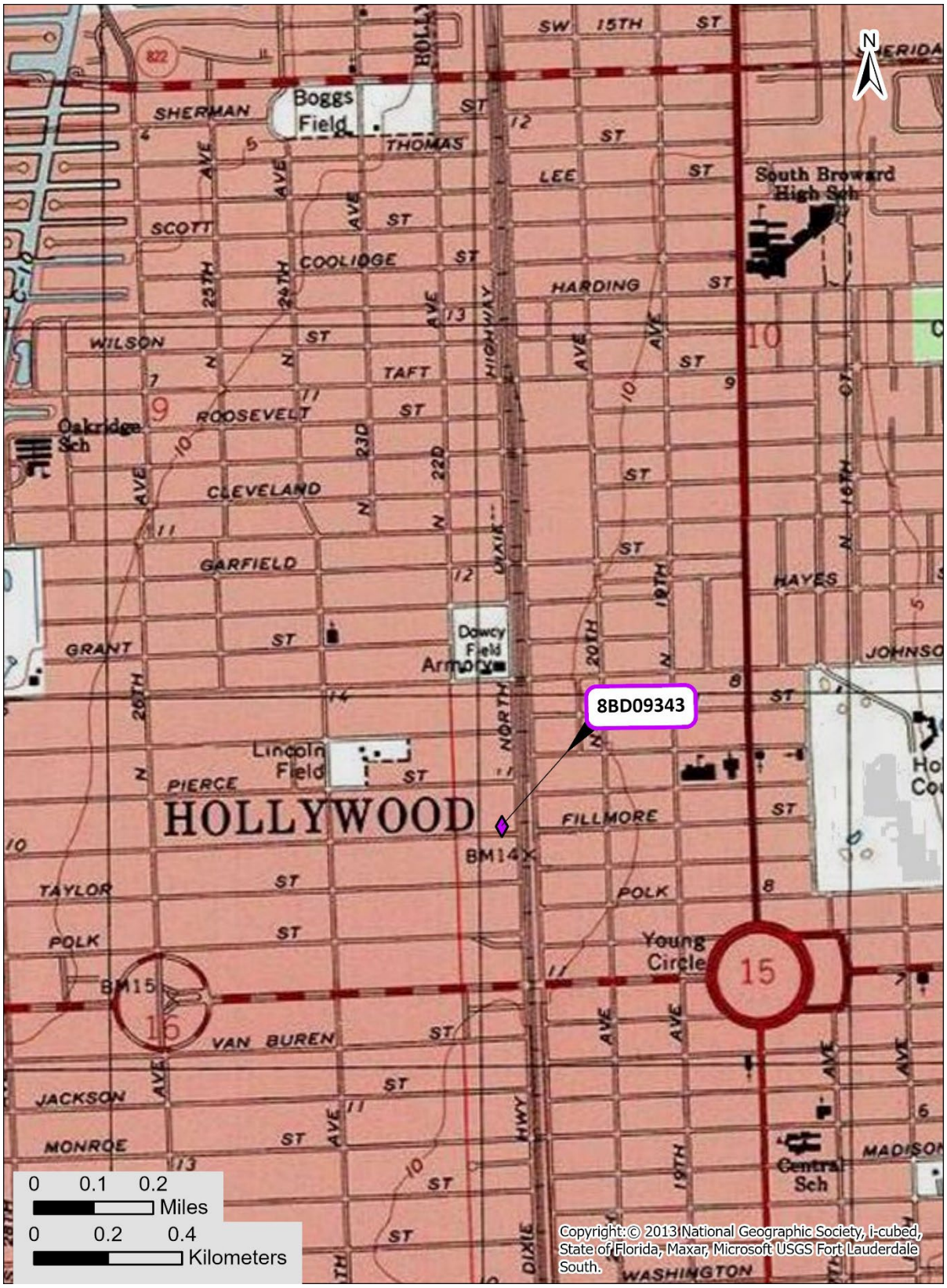
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09344
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 19

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2121 Fillmore Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2121		Fillmore	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142-16-06-0050 — **Landgrant** _____
Subdivision Name Hollywood Little Ranches — **Block** C — **Lot** 5
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 585011 — **Northing** 2877661
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1944 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Residence, private — From (year): 1944 — To (year): UNK
Current Use Office building — From (year): UNK — To (year): CURR
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ — **Original address** _____
Alterations: ☒yes ☐no ☐unknown Date: _____ — **Nature** Roofing, siding, windows, awnings
Additions: ☒yes ☐no ☐unknown Date: _____ — **Nature** Gable & hip roof
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Nicholas Tranchina (2004); Edward Paige & Shari Cenatiempo (1998); Paul & Mercedes Murphy (1997); John Thompson (1996); Terry Thompson

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Irregular — **Number of Stories** 2
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Gable 2. Hip 3. Flat
Roof Material(s) 1. Composition roll 2. _____ 3. Built-up
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

SHS, vinyl, single, 6/6, 8/8; Picture, vinyl, single, central fixed pane flanked by sliding units

Distinguishing Architectural Features (exterior or interior ornaments)

Overhanging eaves w/ boxed rafter tails, concrete windowsill, stucco window trim, faux shutters (stamped stucco), canvas awning

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09344

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Continuous 2. _____

Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details)

E ELEV: single door w/ paneling, beneath a canvas awning

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

A two-story Masonry Vernacular style building w/ a large gable roof addition on the S ELEV and a half-hip roof addition on the E ELEV. The original building is limited to the flat roof segment on the N ELEV.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

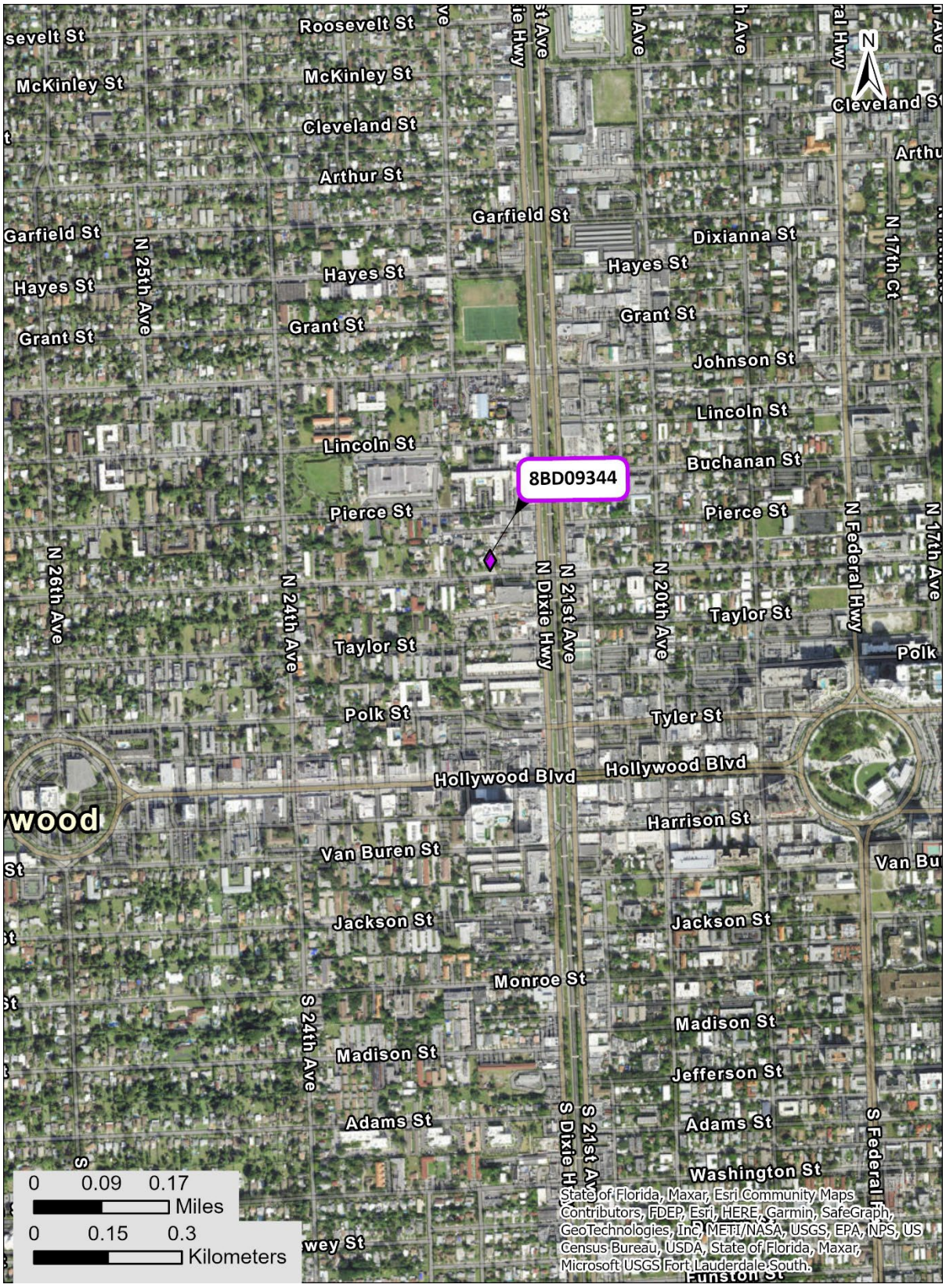
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

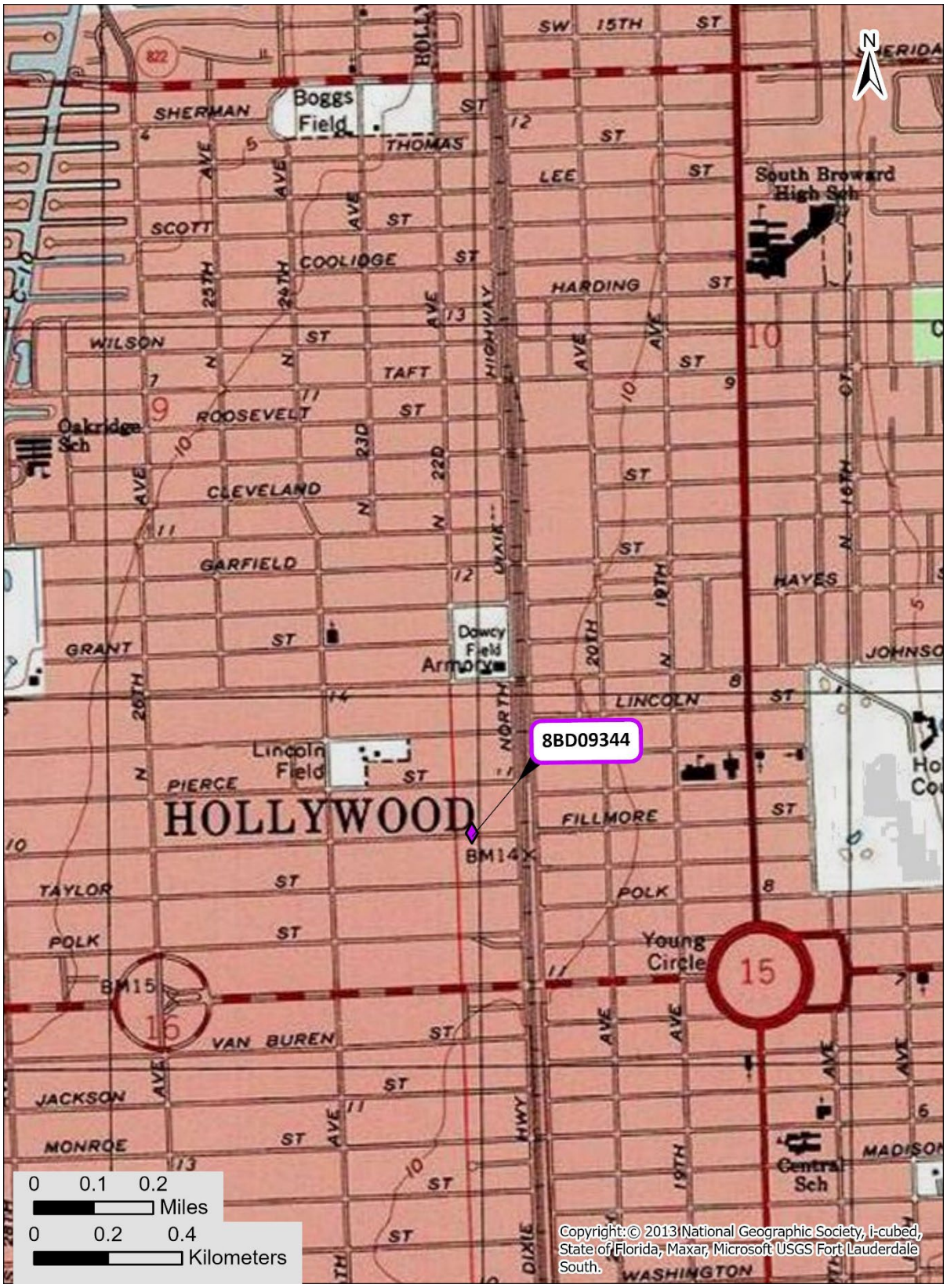
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09344
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N 25th Ave
N 26th Ave
N 24th Ave
N Dixie Hwy
N 21st Ave
N 20th Ave
N Federal Hwy
N 17th Ct
N 17th Ave
S 24th Ave
S Dixie Hwy
S 21st Ave
S Federal Hwy
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09345
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 20

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2125 Fillmore Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2125		Fillmore	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-16-06-0040 — Landgrant _____
Subdivision Name Hollywood Little Ranches — Block C — Lot 3,4
UTM Coordinates: Zone ☐16 ☒17 — Easting 584997 — Northing 2877661
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1954 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Duplex — From (year): 1954 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature Roofing, windows
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Marina Kononov (2015); Robert Brown, Jr. (2014); Arthur Fogel & Donna Harpie (1988); Norman & Thelma Goodfellow

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Irregular — Number of Stories 1
Exterior Fabric(s) 1. Brick 2. _____ 3. _____
Roof Type(s) 1. Hip 2. _____ 3. _____
Roof Material(s) 1. Composition shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. Shed extension 2. _____
Windows (types, materials, etc.)

Sliding, vinyl, single, 1/1

Distinguishing Architectural Features (exterior or interior ornaments)

Overhanging eaves w/ boxed rafter tails, brick windowsills, running bond brick veneer (alternating brick colors), foundation vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09345

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Continuous 2. _____
Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details)

S ELEV: single door w/ paneling (per unit), beneath a shed roof extension

Porch Descriptions (types, locations, roof types, etc.)

S/ENTRANCE: open, partial width, beneath a shed roof extension w/ brick supports & decorative brick half wall

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style duplex w/ a raised entryway/porch accessed by brick steps. The brick veneer siding alternates in tone/color.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

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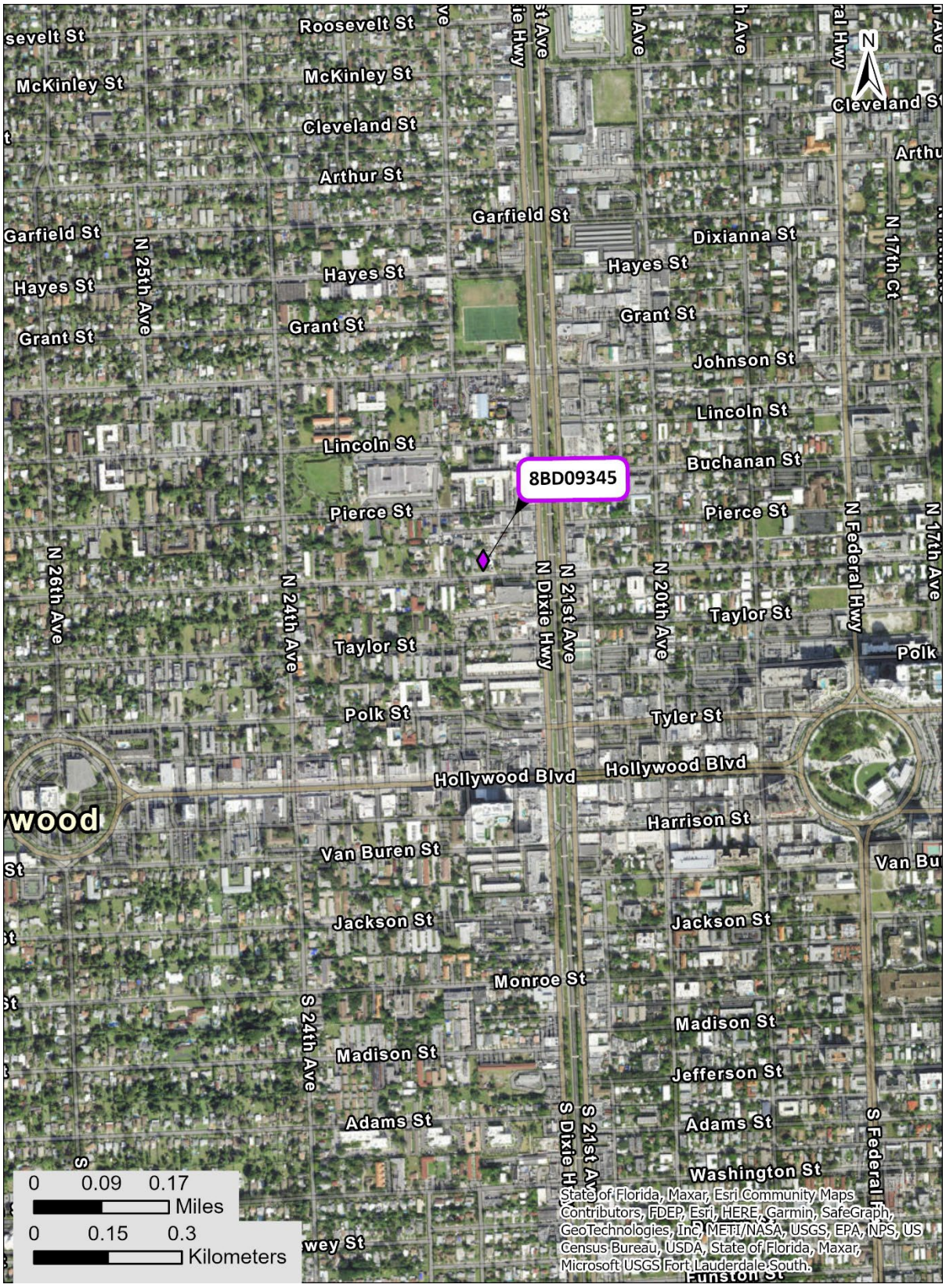
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09345
Roosevelt St
McKinley St
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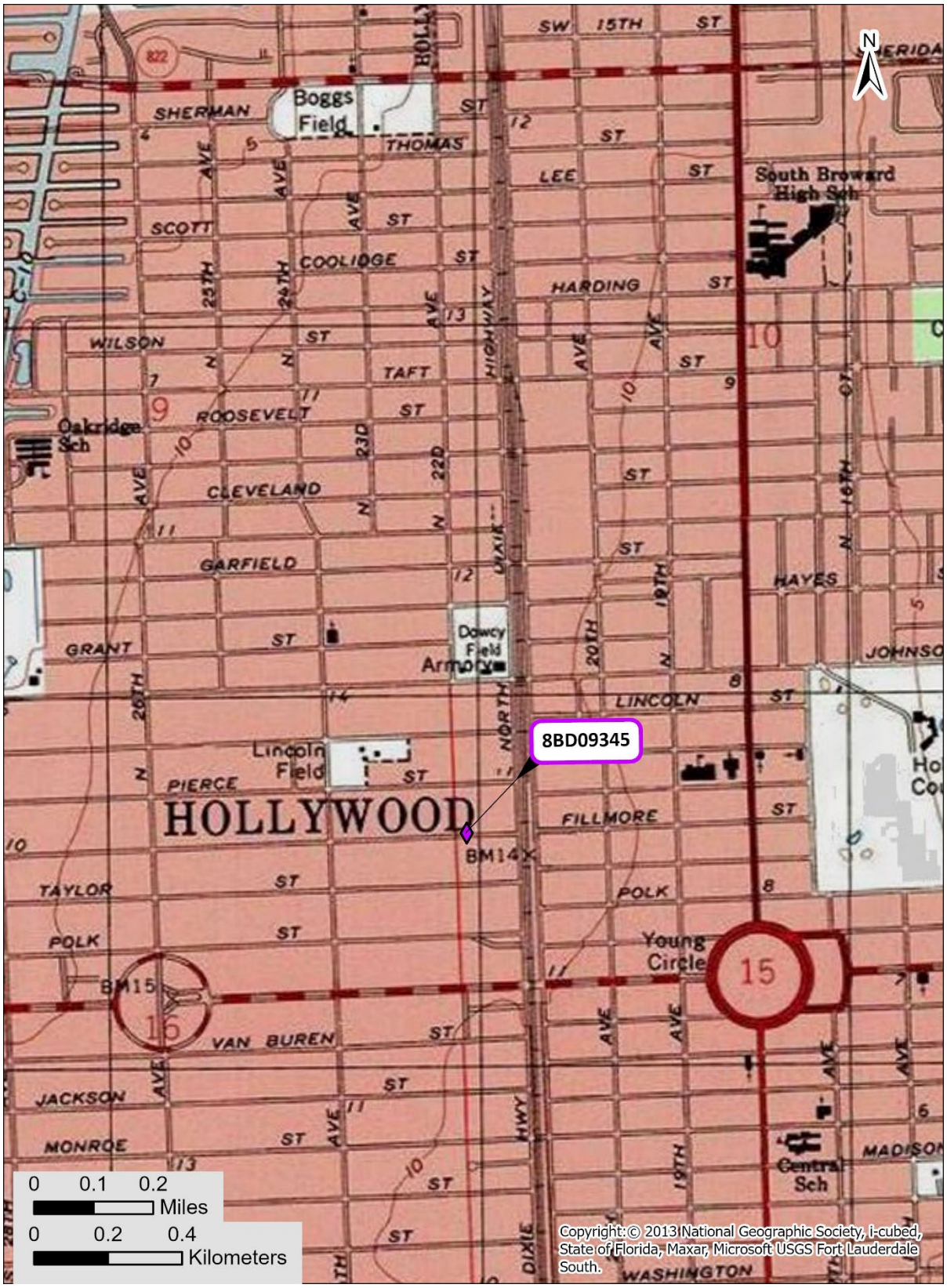
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N Dixie Hwy
N Federal Hwy
N 17th Ct
N 17th Ave
N 25th Ave
N 24th Ave
N 26th Ave
N 21st Ave
N 20th Ave
S 24th Ave
S Dixie Hwy
S 21st Ave
S Federal Hwy
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09346
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 21

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2129 Fillmore Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2129		Fillmore	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142-16-06-0030 — **Landgrant** _____
Subdivision Name Hollywood Little Ranches — **Block** C — **Lot** 3
UTM Coordinates: Zone ☐16 ☒17 — **Easting** 584978 — **Northing** 2877654
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1952 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Duplex — From (year): 1952 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature Roofing, siding, windows
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Deep Sea Realty, LLC (2014); Arthur & Donna Fogel (1993); Barbara Ward

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Irregular — **Number of Stories** 1
Exterior Fabric(s) 1. Brick 2. Stucco 3. _____
Roof Type(s) 1. Hip 2. Shed 3. _____
Roof Material(s) 1. Composition shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

SHS, vinyl, single, 1/1; Sliding, vinyl, single, 1/1

Distinguishing Architectural Features (exterior or interior ornaments)

Overhanging eaves w/ boxed rafter tails, brick veneer accents, concrete windowsills, foundation vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Brick planters

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09346

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Continuous 2. _____
Foundation Material(s): 1. Concrete Block 2. _____
Main Entrance (stylistic details)

E ELEV: single door w/ paneling, beneath a shed roof (per unit)

Porch Descriptions (types, locations, roof types, etc.)

E/ENTRANCE: open, partial width, beneath a shed roof w/ brick supports (rear unit only)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style duplex w/ main entrances on the E ELEV. A secondary entrance and garage are located on the S ELEV. Each entrance is accessed by brick steps.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

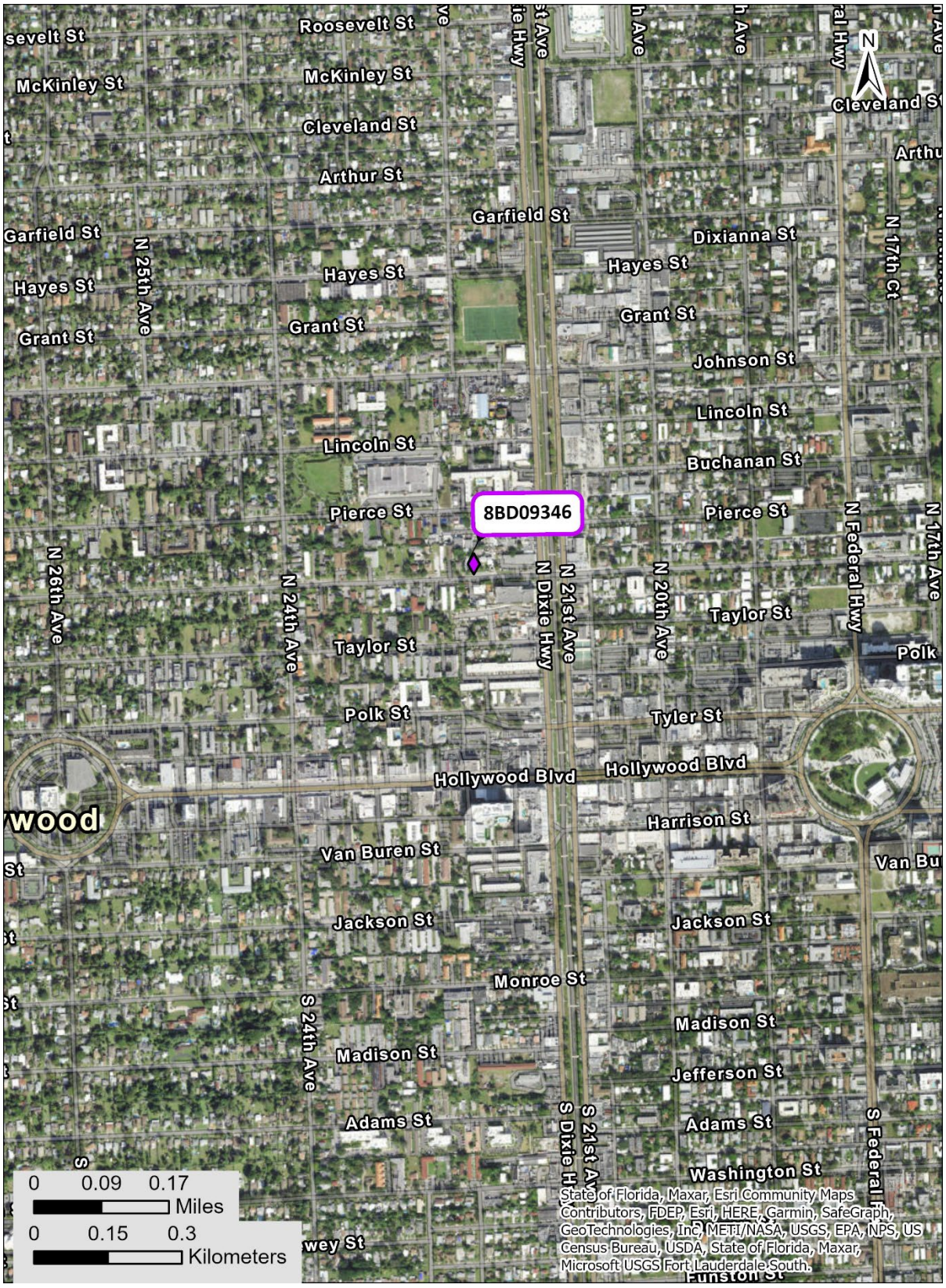
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

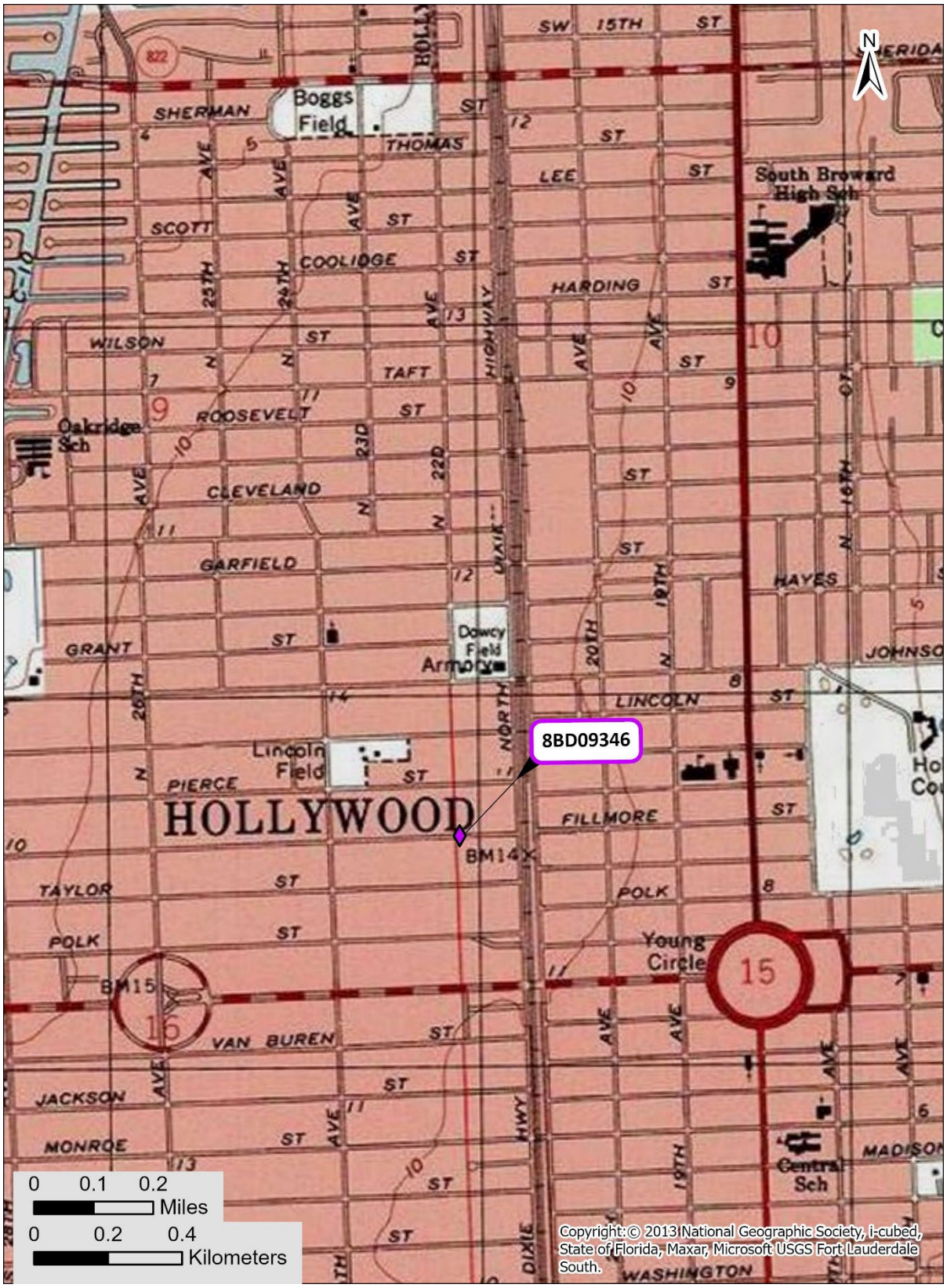
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09346
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N 25th Ave
N 26th Ave
N 24th Ave
N 21st Ave
N 20th Ave
N 17th Ct
N 17th Ave
S 24th Ave
S 21st Ave
N Dixie Hwy
S Dixie Hwy
N Federal Hwy
S Federal Hwy
Dixianna St
Cleveland St
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South,

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09347
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 22

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2139 Fillmore Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☒private-individual ☐private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2139		Fillmore	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142-16-06-0020 — **Landgrant** _____
Subdivision Name Hollywood Little Ranches — **Block** C — **Lot** _____
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 584964 — **Northing** 2877650
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1932 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Residence, private — From (year): 1932 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature Roofing, siding, windows
Additions: ☒yes ☐no ☐unknown — Date: _____ — Nature See narrative description.
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Stephen Halpern (2000); Judith Menger (1994); Chester Gould (1989); Karen Rutherford

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Frame Vernacular — **Exterior Plan** Irregular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. Shed 3. _____
Roof Material(s) 1. Built-up 2. Sheet metal:corrugated 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Sliding, vinyl, single, 1/1; SHS, metal, single, 2/2; SHS, vinyl, single, 1/1 (w/ & w/o half circle transoms)

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet and decorative cornice, stucco lintels, clay scuppers

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Utility shed, brick planters

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09347

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Wood frame 2. _____ 3. _____

Foundation Type(s): 1. Continuous 2. _____

Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details)

S ELEV: single door w/ paneling, accessed by concrete steps w/ wing walls

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

A one-story Frame Vernacular style building that has recently been renovated. Several large additions have been removed from the S, E, & N ELEV and windows on the S ELEV appear to have been enclosed w/ stucco siding.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☐ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☐ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

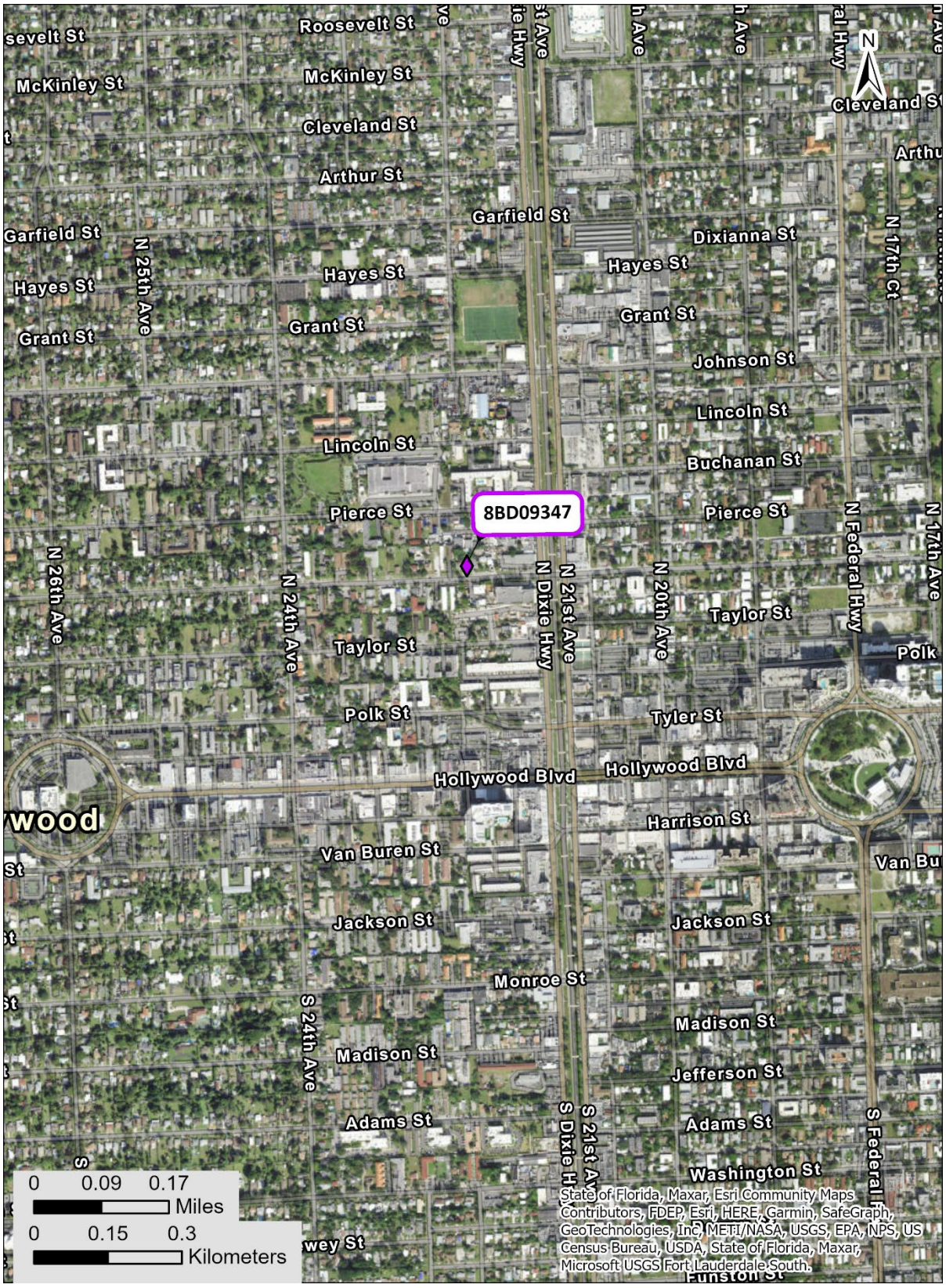
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

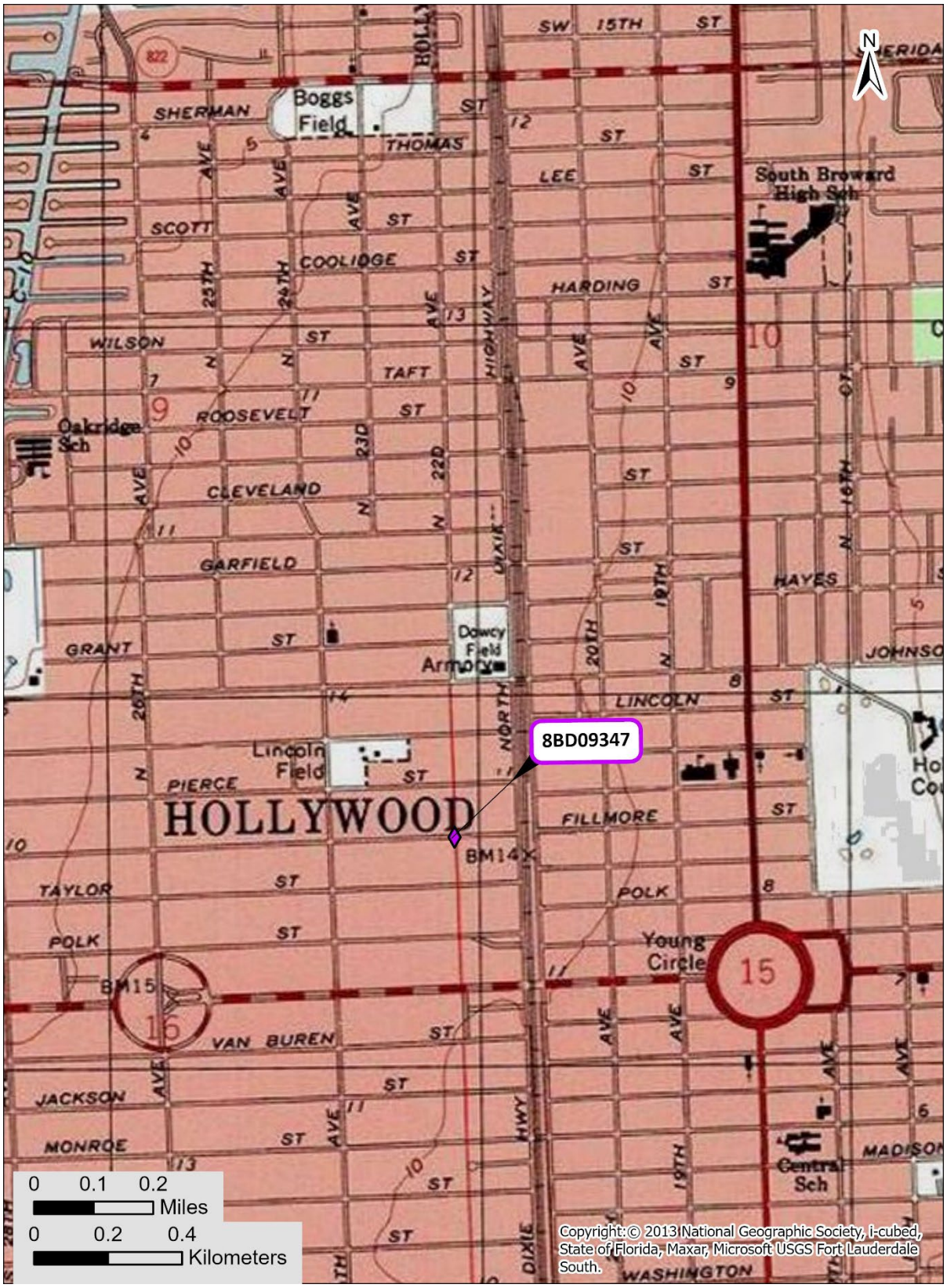
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09347
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Lincoln St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
Dixianna St
Johnson St
Buchanan St
N 25th Ave
N 26th Ave
N 24th Ave
N 21st Ave
N 20th Ave
N 17th Ct
N 17th Ave
N Dixie Hwy
N Federal Hwy
S 24th Ave
S 21st Ave
S Federal Hwy
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09348
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 23

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2143 Fillmore Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☒private-individual ☐private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2143		Fillmore	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142-16-06-0010 — **Landgrant** _____
Subdivision Name Hollywood Little Ranches — **Block** C — **Lot** _____
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 584946 — **Northing** 2877651
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1949 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Residence, private — From (year): 1949 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature Roofing, windows
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Michael V. Eckstrom (2001); Walter & Tammie Lyn Reid (1987); Arlene Reid

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Irregular — **Number of Stories** 1
Exterior Fabric(s) 1. Brick 2. Stucco 3. _____
Roof Type(s) 1. Hip 2. _____ 3. _____
Roof Material(s) 1. Composition shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. Shed extension 2. _____
Windows (types, materials, etc.)

Sliding, vinyl, single, 1/1; SHS, vinyl, single, 1/1

Distinguishing Architectural Features (exterior or interior ornaments)

Overhanging eaves w/ boxed rafter tails, concrete and brick windowsills, concrete lintels, foundation vents

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Detached garage and utility sheds, brick planters

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site #8 BD09348

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Continuous 2. _____

Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details)

S ELEV: single door w/ paneling, beneath a shed roof extension

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style building w/ brick veneer siding and stucco accent banding along the roof line. The entrance is accessed by brick steps w/ wing walls and metal railings.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc

Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc

Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

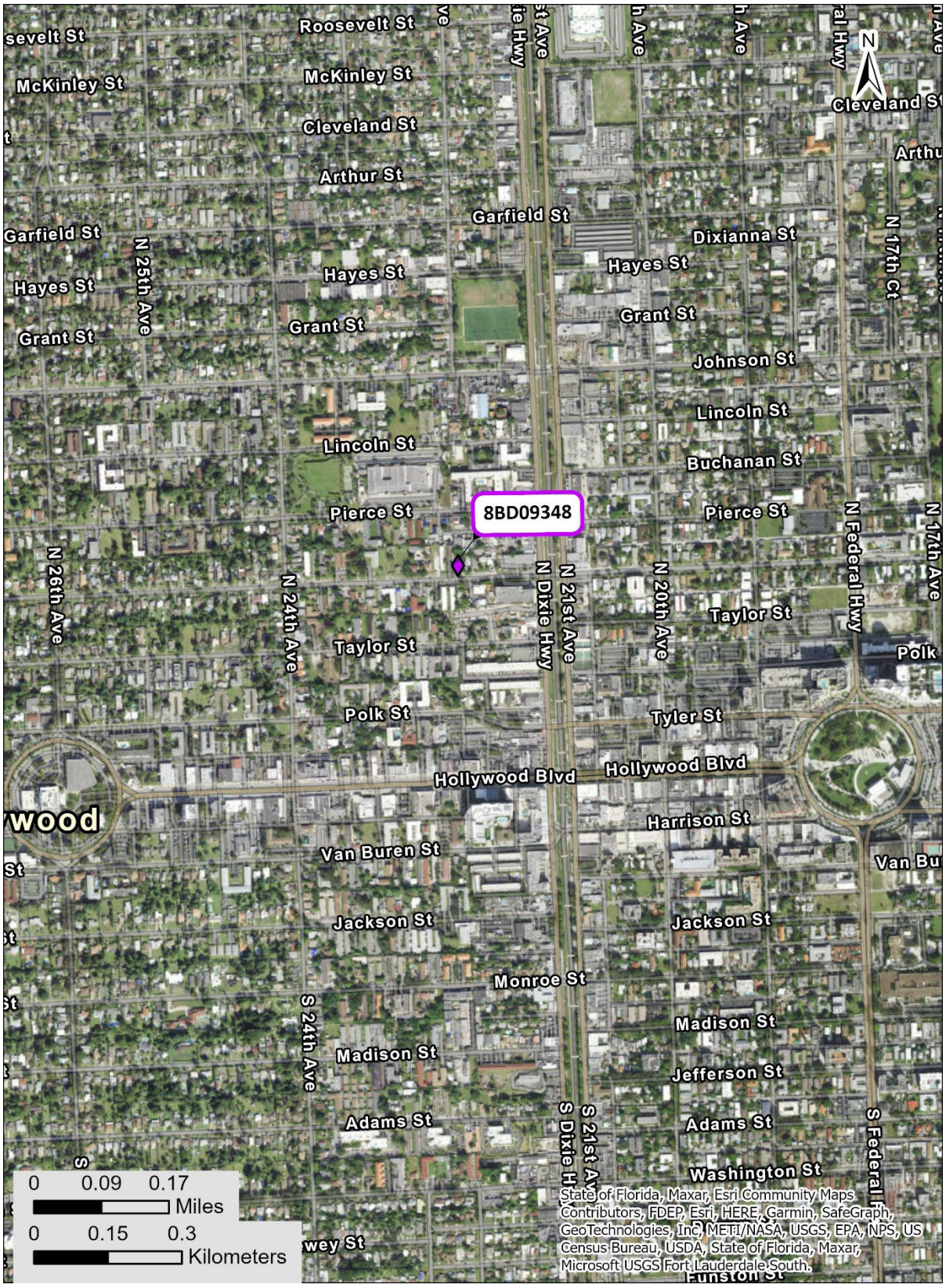
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09348
Roosevelt St
McKinley St
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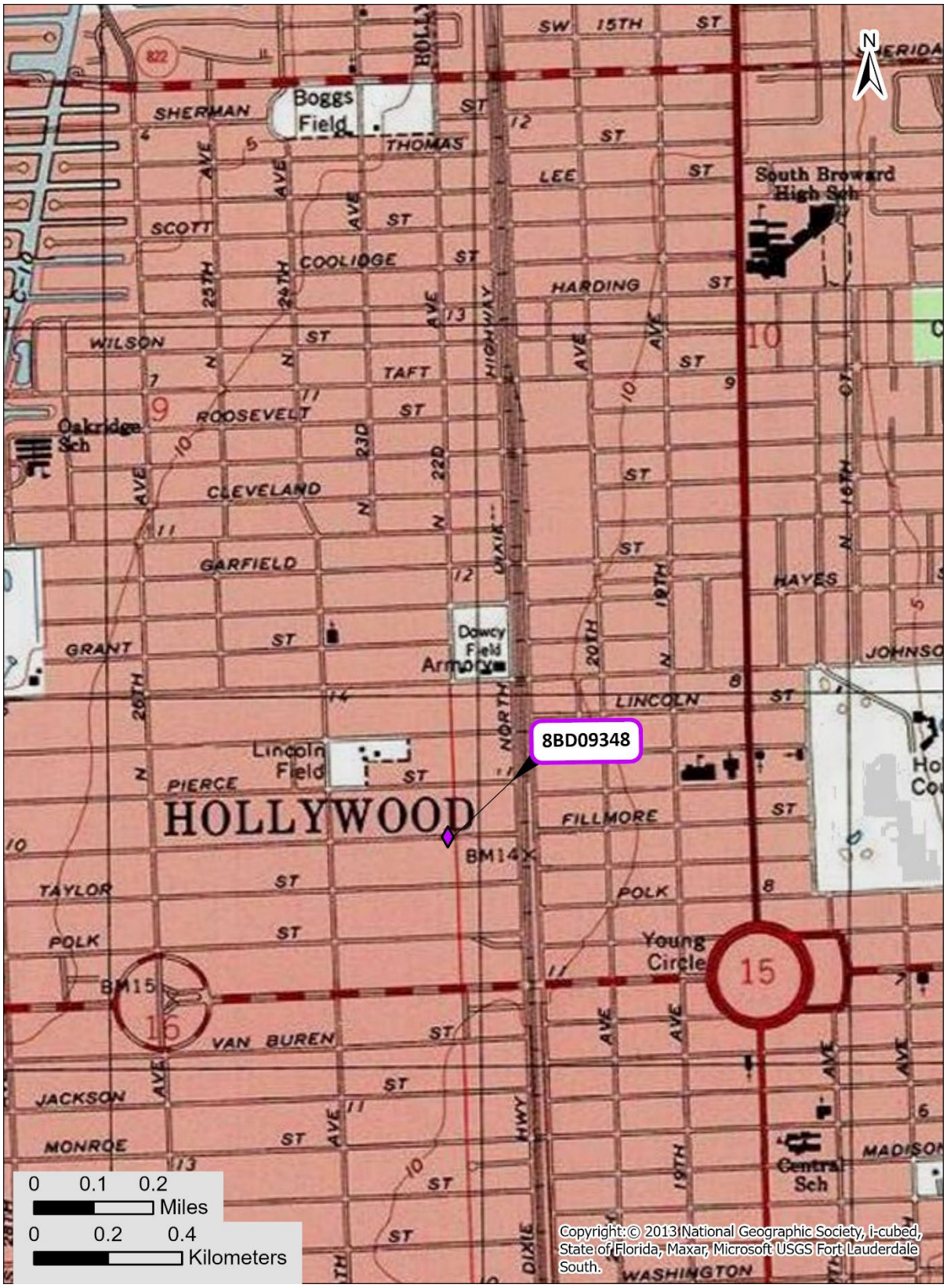
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N 25th Ave
N 26th Ave
N 24th Ave
N 21st Ave
N 20th Ave
N 17th Ct
N 17th Ave
N Dixie Hwy
N Federal Hwy
S 24th Ave
S 21st Ave
S Federal Hwy
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09349
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 24

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2205 Fillmore Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2205		Fillmore	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142-16-01-4010 — **Landgrant** _____
Subdivision Name Hollywood Little Ranches — **Block** 10 — **Lot** 1
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 584914 — **Northing** 2877657
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1964 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Apartment — From (year): 1964 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature Roofing, windows
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Giral Properties, LLC (2007); Daniel Gamo (1999); Biss & Nisha Grewal (1989); Riley Investments, Inc.

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Irregular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Composition shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. Shed extension 2. _____
Windows (types, materials, etc.)

SHS, metal, single, 2/2; SHS, vinyl, single, paired, grouped (4), 1/1, 6/6; Jalousie, metal, single, 10-stacked

Distinguishing Architectural Features (exterior or interior ornaments)

Minimal eave overhang, concrete windowsill

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Two-story apartment building

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site #8 BD09349

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Continuous 2. _____
Foundation Material(s): 1. Concrete Block 2. _____
Main Entrance (stylistic details)

E ELV: single door per unit, beneath a shed roof extension w/ squared concrete supports

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style apartment building w/ approximately 7 residential units.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

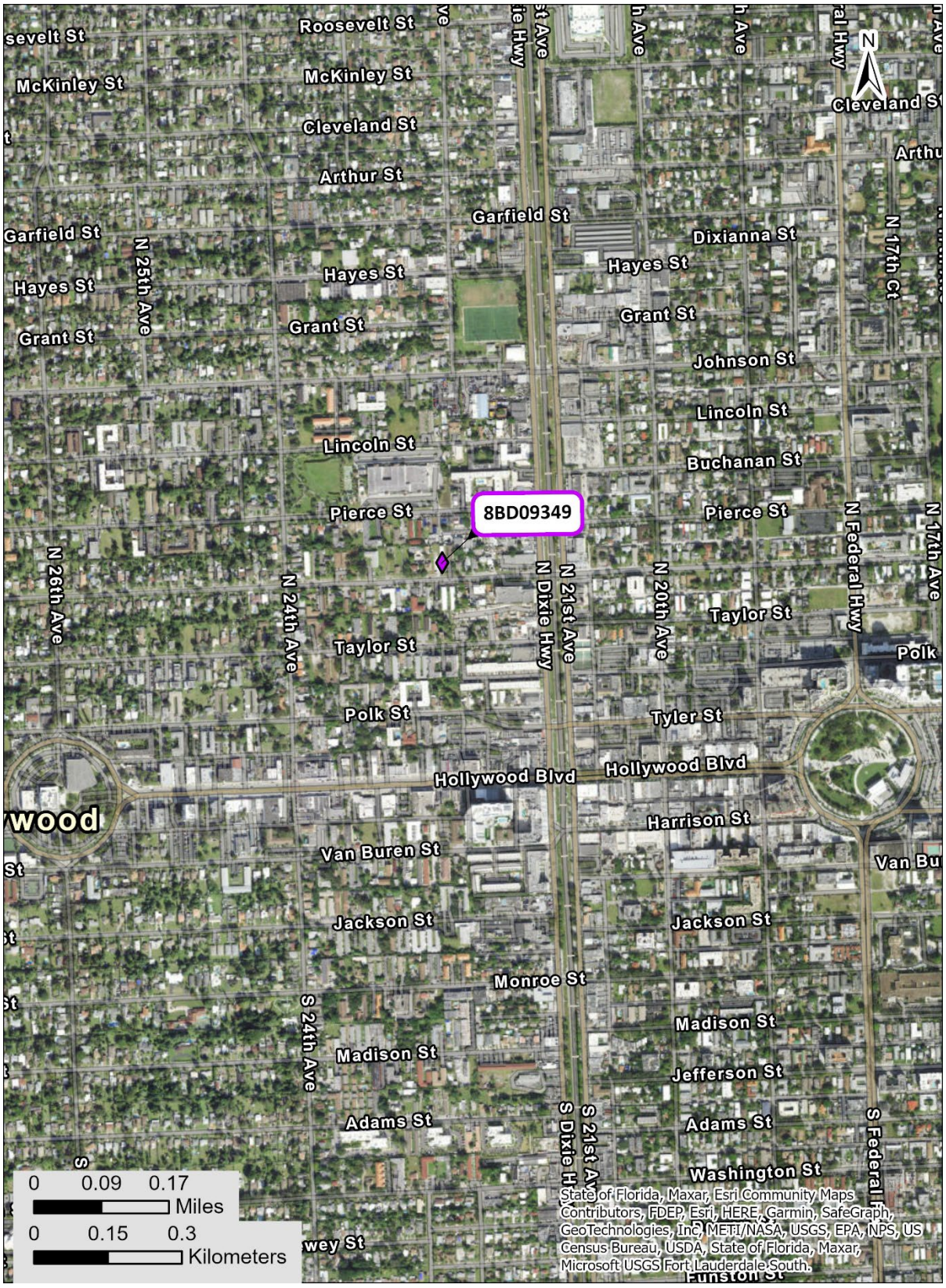
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

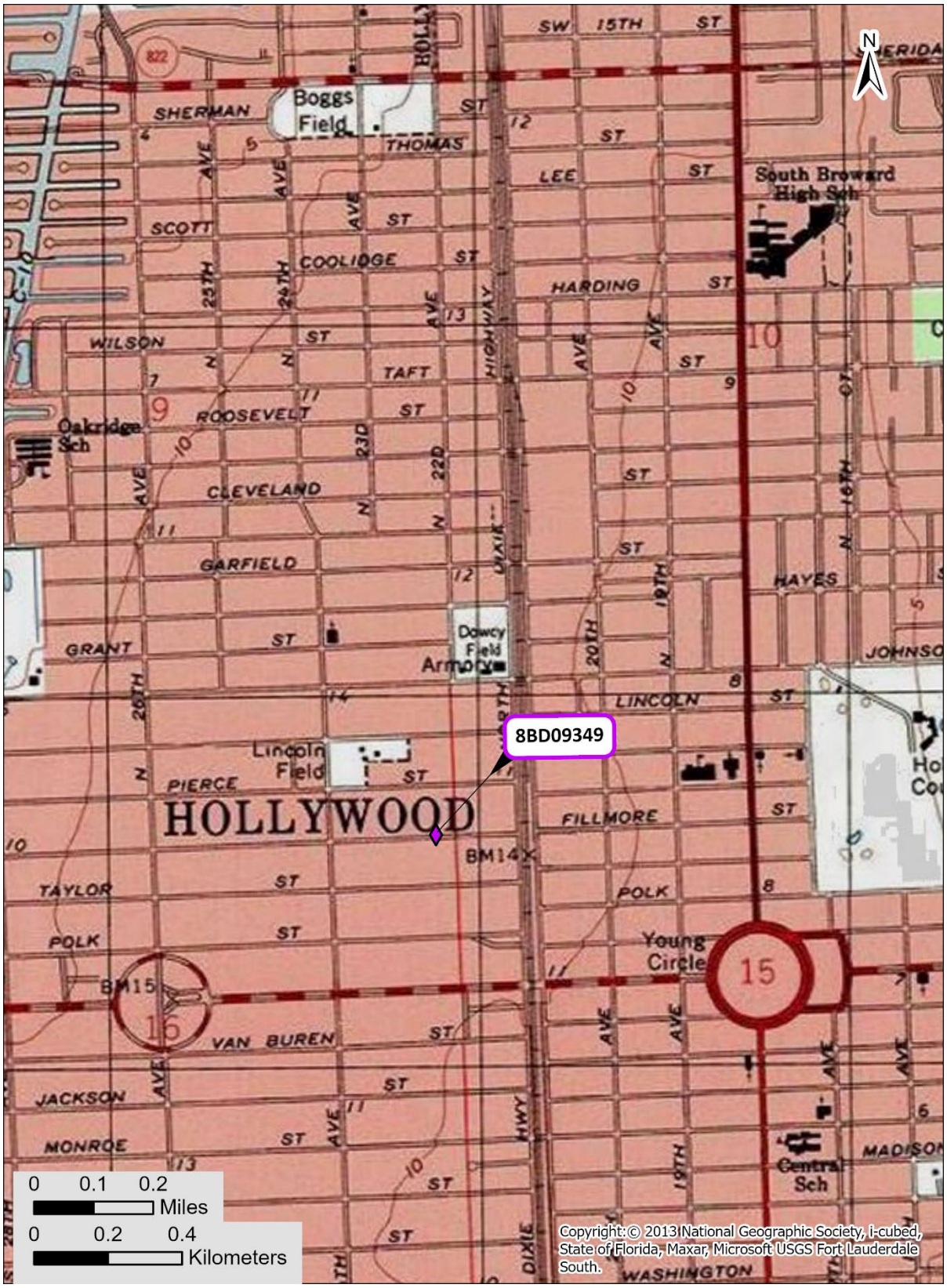
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09349
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N 25th Ave
N 26th Ave
N 24th Ave
N 21st Ave
N 20th Ave
N 17th Ct
N 17th Ave
N Dixie Hwy
N Federal Hwy
S 24th Ave
S 21st Ave
S Dixie Hwy
S Federal Hwy
Dixianna St
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09350
Field Date 4-12-2023
Form Date 4-19-2023
Recorder # 26

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2206 Fillmore Street (Building 1) **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address:	Street Number	Direction	Street Name	Street Type	Suffix Direction
	2206		Fillmore	Street	

Cross Streets (nearest / between) _____
USGS 7.5 Map Name FORT LAUDERDALE SOUTH **USGS Date** 1962 **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood **In City Limits?** ☐yes ☐no ☒unknown **County** Broward
Township 51S **Range** 42E **Section** 16 ¼ section: ☐NW ☐SW ☐SE ☐NE **Irregular-name:** _____
Tax Parcel # 5142-16-01-4000 **Landgrant** _____
Subdivision Name Hollywood Little Ranches **Block** 9 **Lot** 22
UTM Coordinates: Zone ☐16 ☒17 **Easting** 584917 **Northing** 2877597
Other Coordinates: X: _____ Y: _____ **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☐approximately ☐year listed or earlier ☒year listed or later
Original Use Apartment From (year): 1959 To (year): CURR
Current Use _____ From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ **Original address** _____
Alterations: ☒yes ☐no ☐unknown Date: _____ **Nature** Roofing, windows
Additions: ☐yes ☒no ☐unknown Date: _____ **Nature** _____
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

2260 Fillmore St, LLC (2022); 2206 Fillmore Street, LLC (2020); Smilo Investments, LLC (2003); Alan Kuatt (1998); F. Anthony Capodilupo

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown **Describe** _____

DESCRIPTION

Style Masonry Vernacular **Exterior Plan** Rectangular **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Hip 2. _____ 3. _____
Roof Material(s) 1. Composition shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Awning, metal, paired, 3-stacked; SHS, vinyl, single, paired, 1/1

Distinguishing Architectural Features (exterior or interior ornaments)

Overhanging eaves w/ boxed rafter tails, shutters, stamped stucco band (brick pattern)

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Masonry Vernacular style apartment building (mirrored)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09350

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Continuous 2. _____
Foundation Material(s): 1. Concrete Block 2. _____
Main Entrance (stylistic details)

E ELEV: single door per unit

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style apartment building w/ approximately 10 units. The majority of the building is obscured from the public right-of-way by privacy fencing.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☐FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☐newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☐cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Publication of Archival Library and Museum Materials (PALMM), accessible online at: http://palmm.fcla.edu/

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

The building is not a significant embodiment of a type, period, or method of construction; and has no known significant historic associations.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Archaeological Consultants Inc
Document description Files, photos, research, documen File or accession #'s P14019

2) Document type _____ Maintaining organization _____
Document description _____ File or accession #'s _____

RECORDER INFORMATION

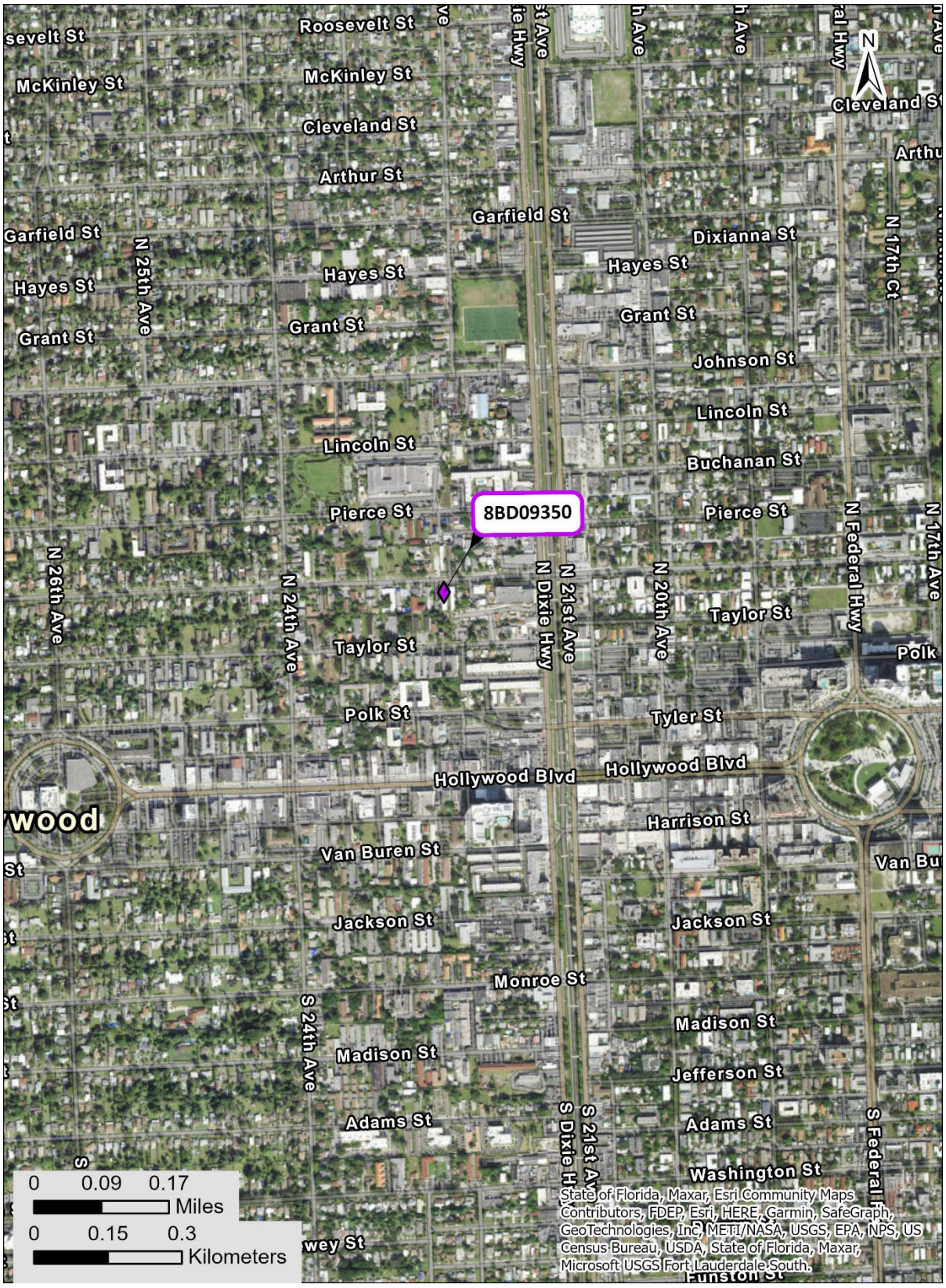
Recorder Name Savannah Y. Finch Affiliation Archaeological Consultants Inc
Recorder Contact Information 8110 Blaikie Court, Ste. A / Sarasota, FL/ 34240 /aciflorida@comcast.net
(address / phone / fax / e-mail)

Required Attachments

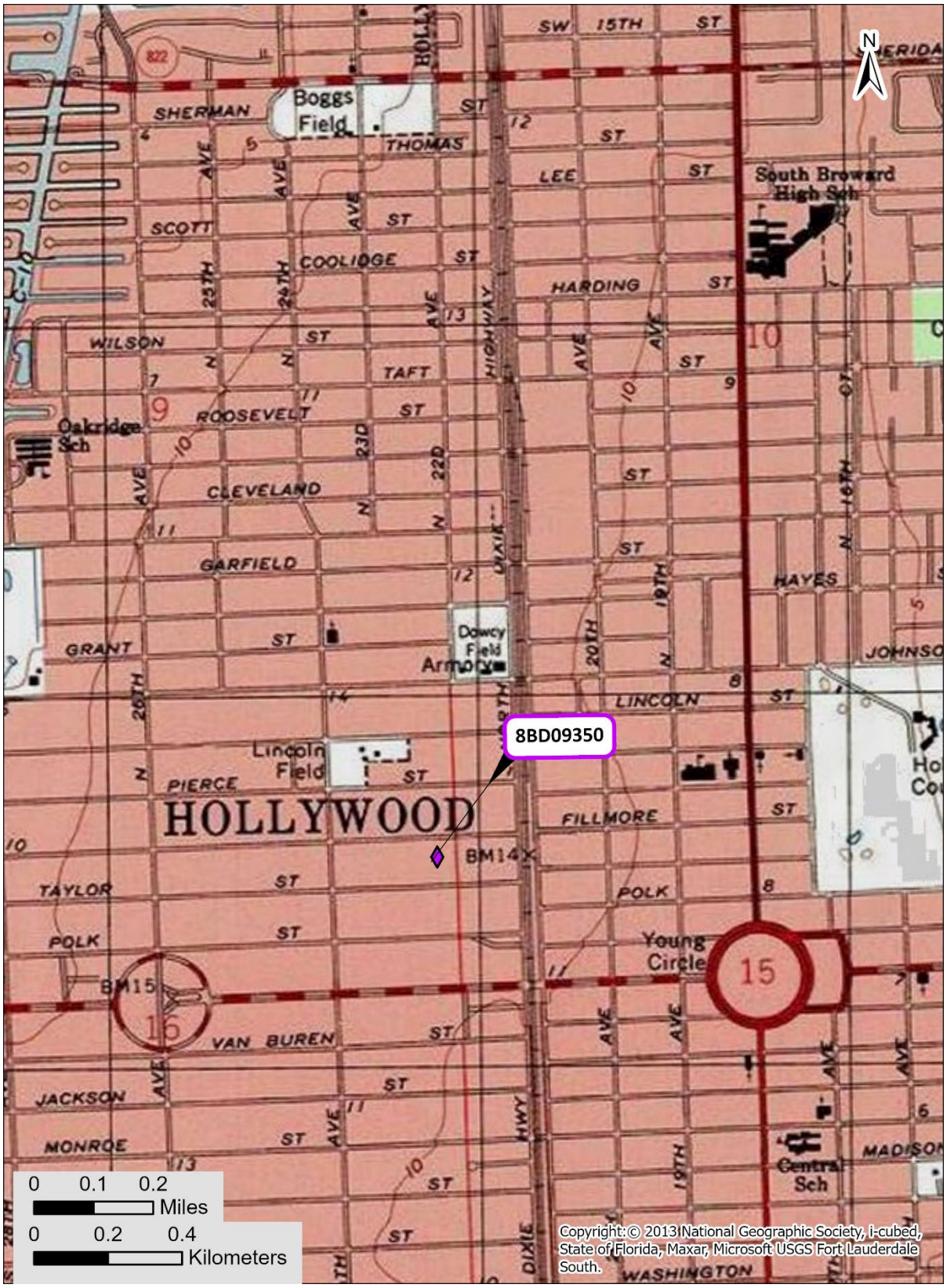
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPHS

AERIAL MAP


8BD09350
Roosevelt St
McKinley St
Cleveland St
Arthur St
Garfield St
Hayes St
Grant St
Johnson St
Lincoln St
Buchanan St
Pierce St
Taylor St
Polk St
Tyler St
Hollywood Blvd
Harrison St
Van Buren St
Jackson St
Monroe St
Madison St
Jefferson St
Adams St
Washington St
N 25th Ave
N 26th Ave
N 24th Ave
N 21st Ave
N 20th Ave
N 17th Ct
N 17th Ave
N Dixie Hwy
N Federal Hwy
S 24th Ave
S 21st Ave
S Federal Hwy
N
0 0.09 0.17
Miles
0 0.15 0.3
Kilometers
State of Florida, Maxar, Esri Community Maps Contributors, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft USGS Fort Lauderdale South.

USGS Fort Lauderdale South
Township 51 South, Range 42 East, Section 16



☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09411
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2216 Fillmore Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2216		Fillmore	Street	

Address:
Cross Streets (nearest / between) Fillmore Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-16-01-3990 — Landgrant _____
Subdivision Name Hollywood Little Ranches — Block 9 — Lot 21
UTM Coordinates: Zone ☐16 ☒17 — Easting 584900 — Northing 2877567
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1955 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Laundry — From (year): 1955 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☐yes ☒no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Emjay Ventures(2021);Vinson,Inc(2013);Levy,Zion and Ruth (2004);Levy,Zion, Ruth and Rachel (2000);Corral,A. and P. and Ruiz, J. and A. (1999)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Hip 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

N elevation: 2/2 paired metal windows and 1/1 metal window

Distinguishing Architectural Features (exterior or interior ornaments)

hip-roof with wide eaves and faux shutters on the visible windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

this is part of an apartment complex.

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09411

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W ELEV: single 6-panel metal door

Porch Descriptions (types, locations, roof types, etc.)

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building that is associated with an apartment complex

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus Library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

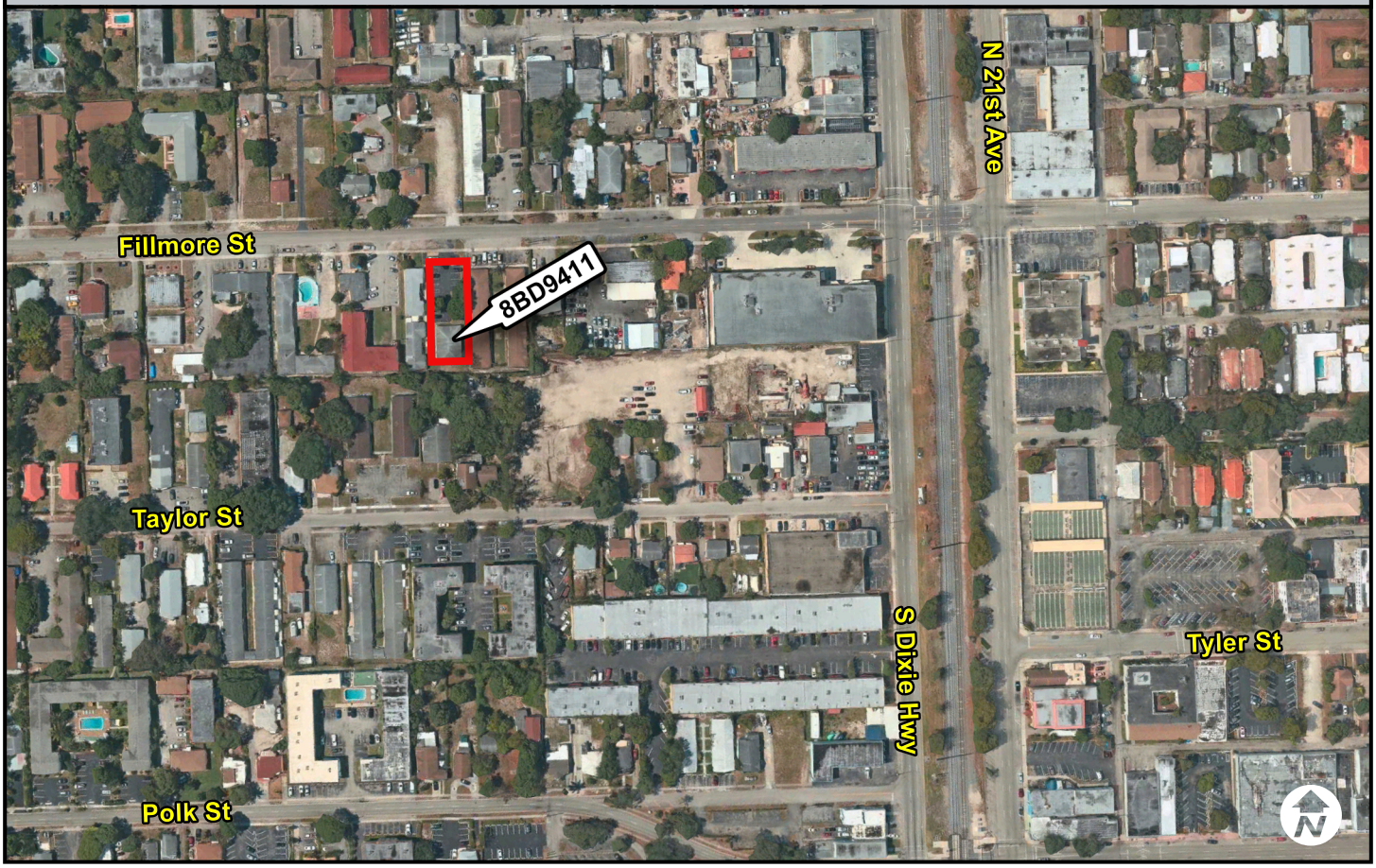
Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

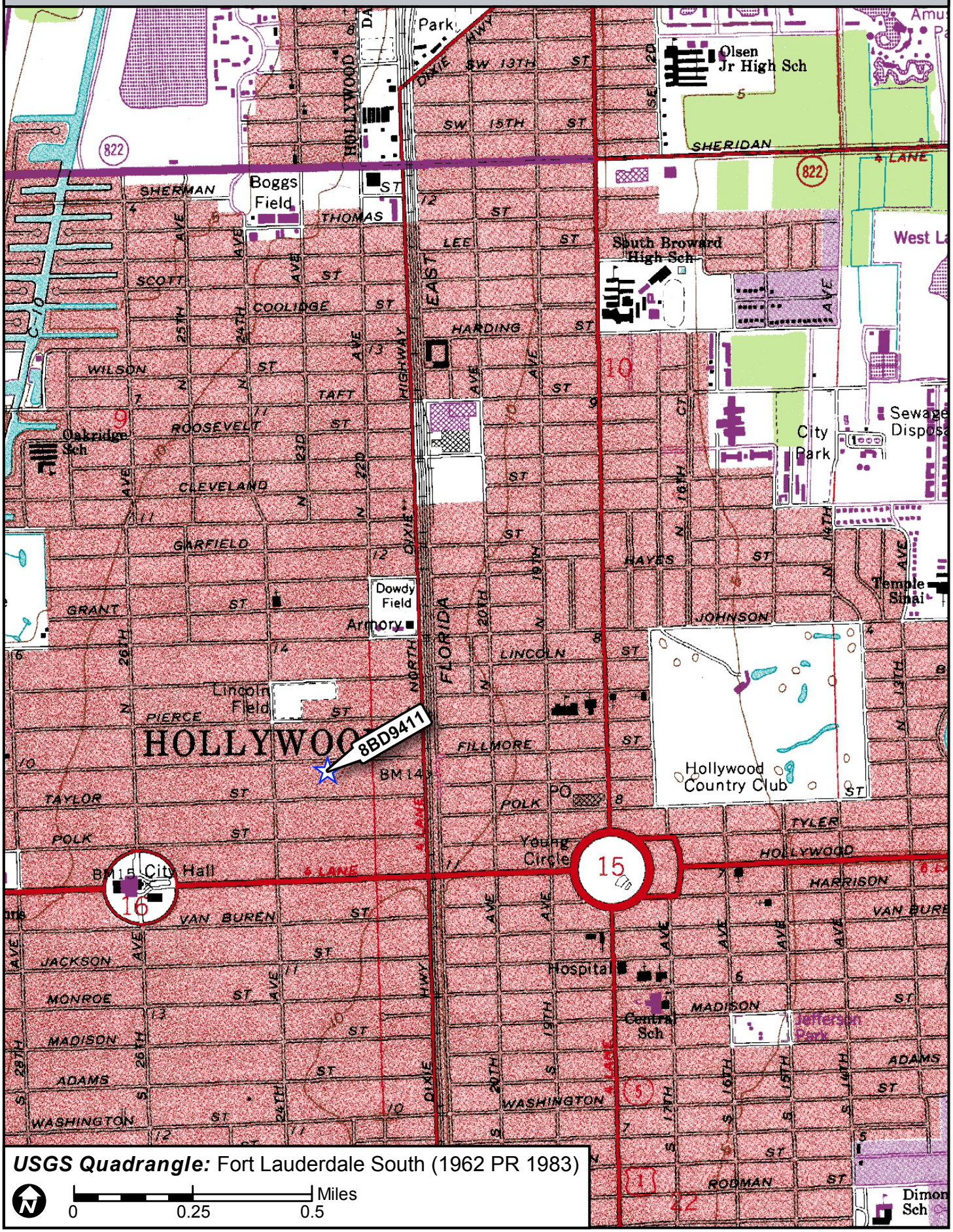
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9411

SKETCH MAP 8BD9411



USGS QUADRANGLE MAP **8BD9411**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09412
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2205-2207 Taylor Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2205-07		Taylor	Street	

Address:
Cross Streets (nearest / between) Taylor Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 2142-16-01-3731 — Landgrant _____
Subdivision Name Hollywood Little Ranches — Block 9 — Lot 1
UTM Coordinates: Zone ☐16 ☒17 — Easting 584911 — Northing 2877509
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1950 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Private Residence (House/Cottage/Ca — From (year): 1950 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1980 — Nature garage door was replaced
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Sullivan, Richard and Martha(1987)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Tudor Revival — Exterior Plan Rectangular — Number of Stories 3
Exterior Fabric(s) 1. Stucco — 2. Wood/Plywood — 3. _____
Roof Type(s) 1. Gable-intersecting — 2. _____ — 3. _____
Roof Material(s) 1. Asphalt shingles — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. Shed dormer — 2. _____
Windows (types, materials, etc.)

1st: fixed pane, 2nd floor S elevation:2-8-light metal awning;3rd fl: 4-light metal awning;8-light metal awning,S & E:jalousie on one-story section

Distinguishing Architectural Features (exterior or interior ornaments)

faux half timbering in the gables, wide eaves, flat dormer on top floor, E elevation

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

n/a

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09412

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

main entrance on south elevation in single-floor section, panel door (material unknown)

Porch Descriptions (types, locations, roof types, etc.)

first floor integral porch with single entrance panel door (material unknown); side entrance on W elevation

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

This is a three-story Tudor Revival residence with a one-story intersecting section, the building is clad in stucco with false timbering in the 3-story section. The original garage door has been replaced in the 1980s.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus Library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

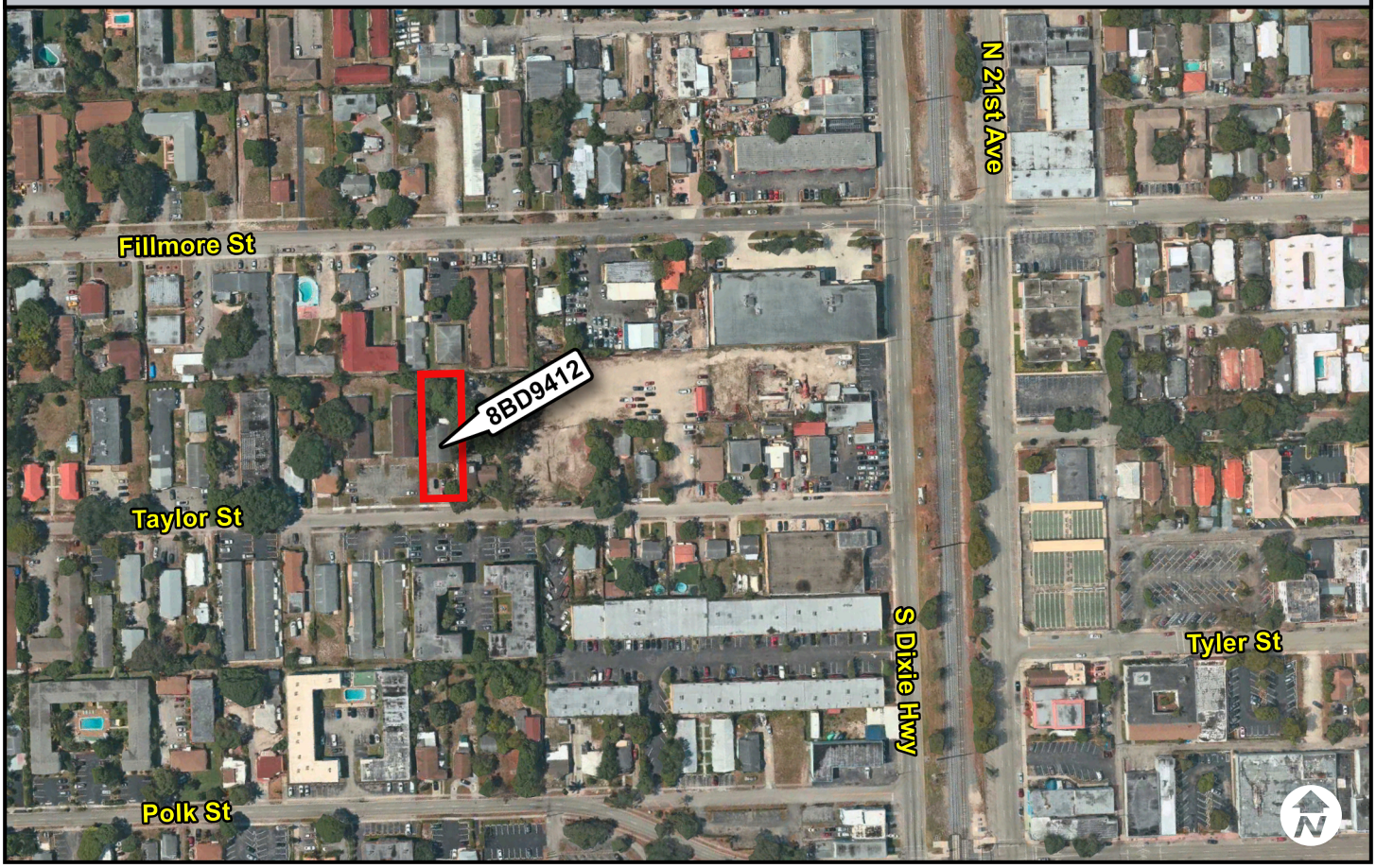
Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

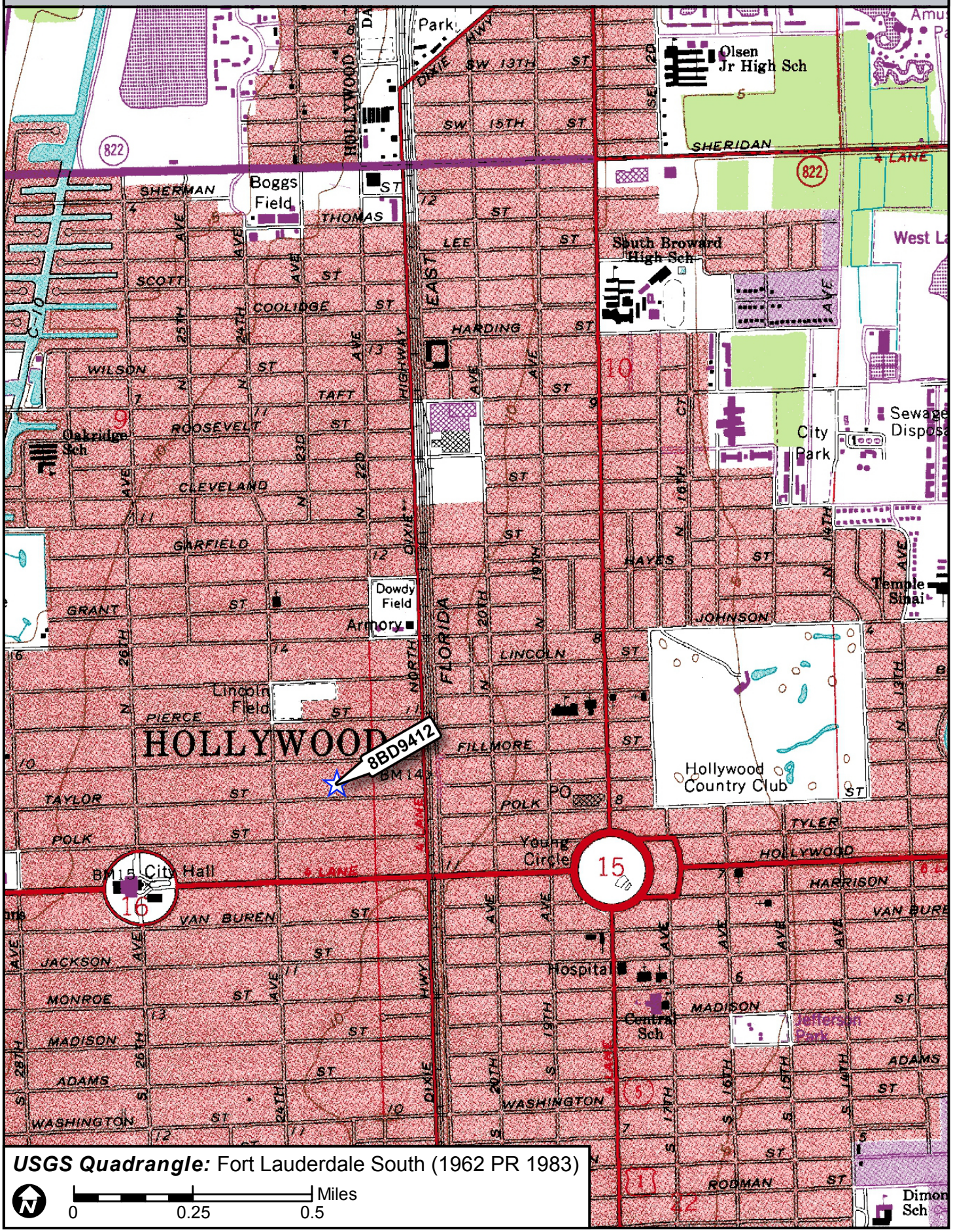
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9412

SKETCH MAP 8BD9412



USGS QUADRANGLE MAP **8BD9412**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

Miles
0 0.25 0.5

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09413
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2209-2211 Taylor Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Address:	Street Number	Direction	Street Name	Street Type	Suffix Direction
	2209-11		Taylor	Street	

Cross Streets (nearest / between) Taylor Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 16 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-16-01-3750 — Landgrant _____
Subdivision Name Hollywood Little Ranches — Block 9 — Lot 2
UTM Coordinates: Zone ☐16 ☒17 — Easting 584897 — Northing 2877526
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1974 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Apartment — From (year): 1974 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1990 — Nature windows replaced
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Sanchez Rose, Fiorella est(2021);Ochoa,A.(2020);Yee,F.and E and Sanchez R.(2014);Manzella,J. and K. (1995); Imbruglia, V and G (1980)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Artbrick, artstone 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

S elevation: 4-faux-four-over-four single-hung windows

Distinguishing Architectural Features (exterior or interior ornaments)

low-pitch front-gable roof, scored stucco keystone and lintel over the central front entrances with original 6-panel wood doors.

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09413

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

S ELEV: two center 6-panel wooden doors surrounded by a stucco keystone and lintel

Porch Descriptions (types, locations, roof types, etc.)

integral entrance porch

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

This is a multi-family Masonry Vernacular residential structure with a low-pitch roof, artstone,replaced windows, & original central wood doors.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

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Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
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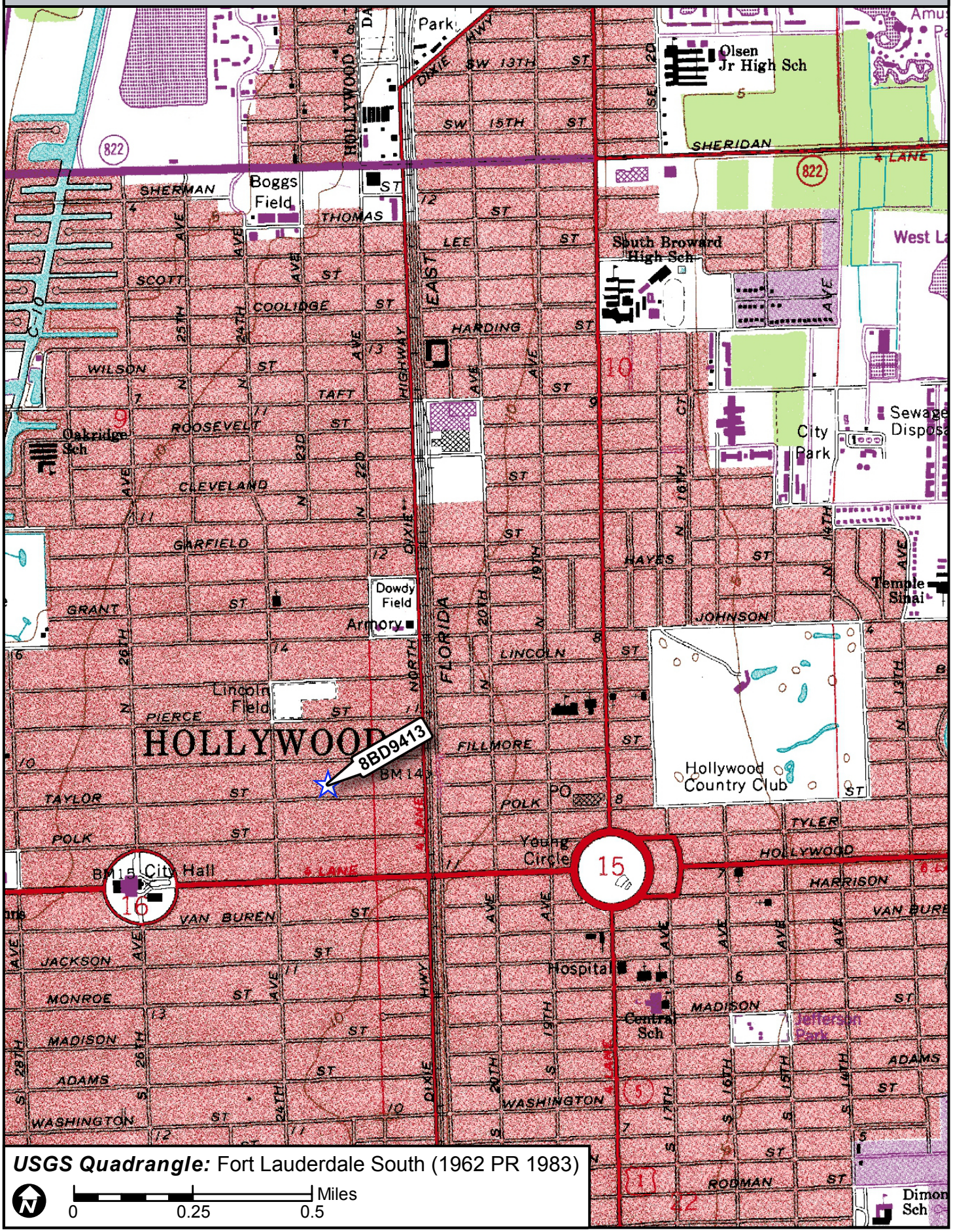
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9413

SKETCH MAP 8BD9413

USGS QUADRANGLE MAP **8BD9413**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09414
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Four Star Auto Sales and Body — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
400	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) Taylor Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-16-0800-10 — Landgrant _____
Subdivision Name JD Cook & JC Kreusch — Block D — Lot 1-2
UTM Coordinates: Zone ☐16 ☒17 — Easting 585095 — Northing 2877535
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1967 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1967 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Four Stars Auto Sales and Body Shop(1999);Tsikis,F and Papastavros, A(1986)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Artbrick, artstone 3. Board and batten
Roof Type(s) 1. Flat 2. Mansard 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof, mansard-like roof on South section; fabric awning on the main bay door (E elevation)

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

4-bay building west of the main structure

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09414

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

S ELEV: single metal frame door w/ full view light,W elevation: single metal 6-light door

Porch Descriptions (types, locations, roof types, etc.)

none

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ a large bay door on the north portion.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
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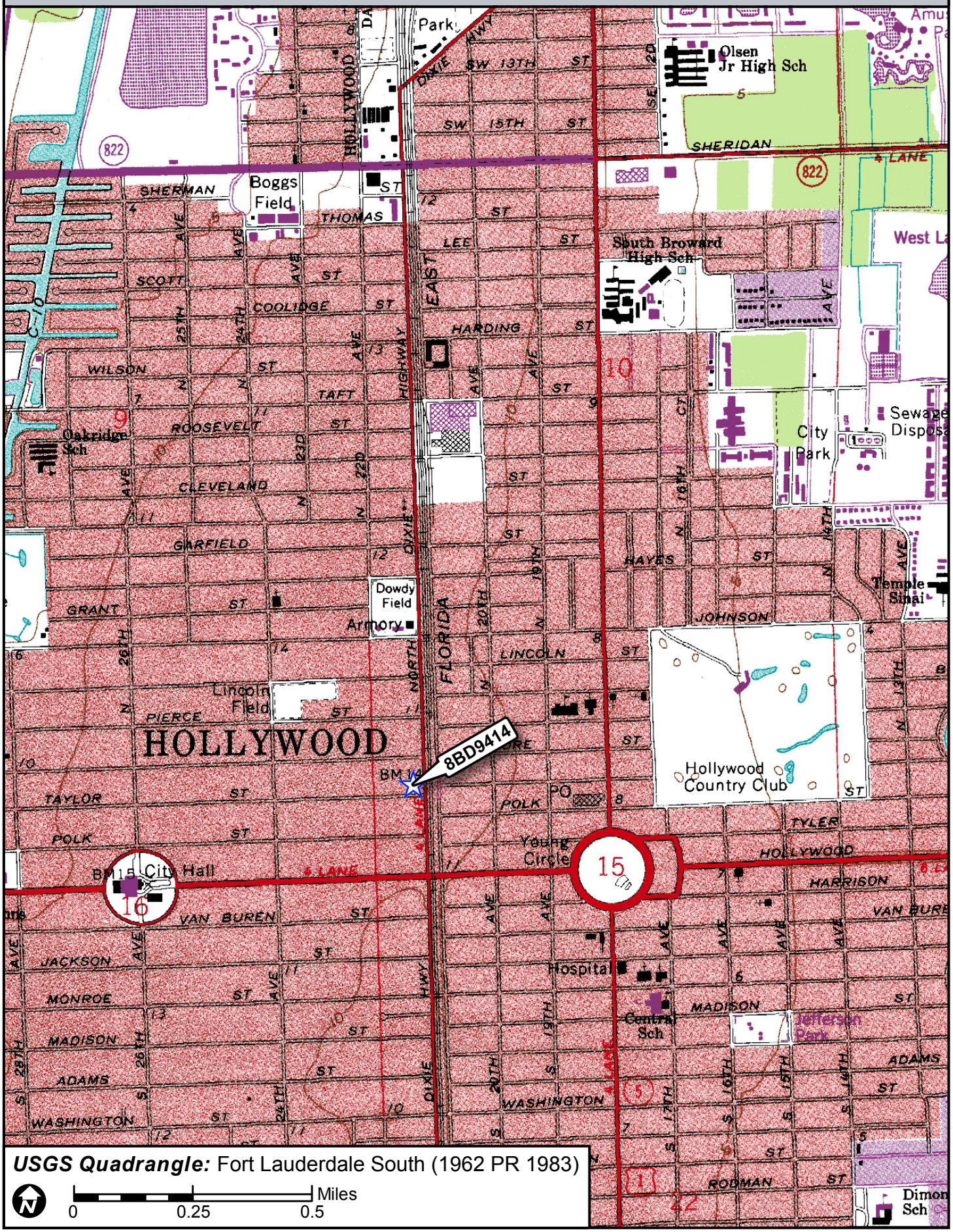
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9414

SKETCH MAP 8BD9414

USGS QUADRANGLE MAP **8BD9414**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09415
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2113 Taylor Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2113		Taylor	Street	

Address:
Cross Streets (nearest / between) Taylor Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-16-08-0020 — Landgrant _____
Subdivision Name JD Cook & JC Kreusch — Block D — Lot 1-2
UTM Coordinates: Zone ☐16 ☒17 — Easting 585058 — Northing 2877516
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1940 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Apartment — From (year): 1940 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☐yes ☒no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

AETE Holdings Inc.(2023);Lam,A and T(2004);McCallum, G and S (2001); Zimbalist, Z

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan U-shaped — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Gable-intersecting 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

central block:8-light metal casement windows; side blocks:obscured by metal awnings but appear to also be 8-light metal casement windows

Distinguishing Architectural Features (exterior or interior ornaments)

metal awnings and medallions in the gable ends of the side blocks

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09415

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Stucco 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

S ELEV/central block: single 6-panel metal door

Porch Descriptions (types, locations, roof types, etc.)

integral stoop covered by a historic metal awning

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource

This is a one-story Masonry Vernacular style multi-family building w/ stucco cladding and medallions in the side blocks.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☒ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☒ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

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1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

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Document description _____ File or accession #'s _____

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Required Attachments

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❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

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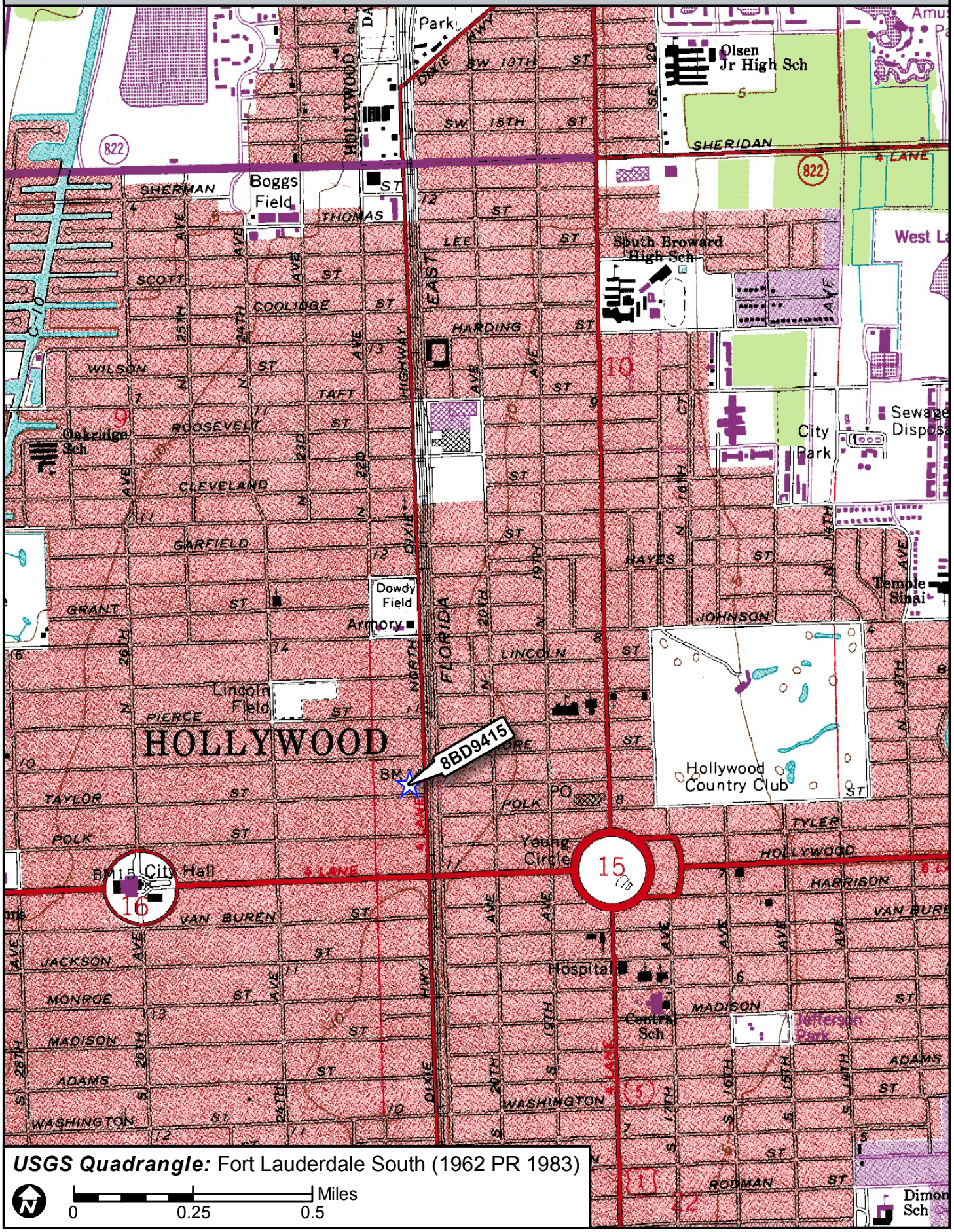
PHOTOGRAPH 8BD9415

SKETCH MAP 8BD9415

USGS QUADRANGLE MAP **8BD9415**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09416
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
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Site Name(s) (address if none) 2121 Taylor Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2121		Taylor	Street	

Address:
Cross Streets (nearest / between) Taylor Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142-16-08-0040 — Landgrant _____
Subdivision Name JD Cook & JC Kreusch — Block D — Lot 1-2
UTM Coordinates: Zone ☐16 ☒17 — Easting 585026 — Northing 2877516
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1951 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Apartment — From (year): 1951 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1990 — Nature window replacements
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Kahn, F(2000);Lam,A and T(2004);Community Housing and Shelter Fdn(2000);HUD (2000);Citicorp; Thompson, L (1997); Fileni, R

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Hip — 2. _____ — 3. _____
Roof Material(s) 1. Asphalt shingles — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

one-over-one metal windows

Distinguishing Architectural Features (exterior or interior ornaments)

wide eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09416

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

S ELEV: Two metal doors accessed by two-stair stoops

Porch Descriptions (types, locations, roof types, etc.)

small stoops at each entrance

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ approximately 2 units accessed from the S ELEV.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

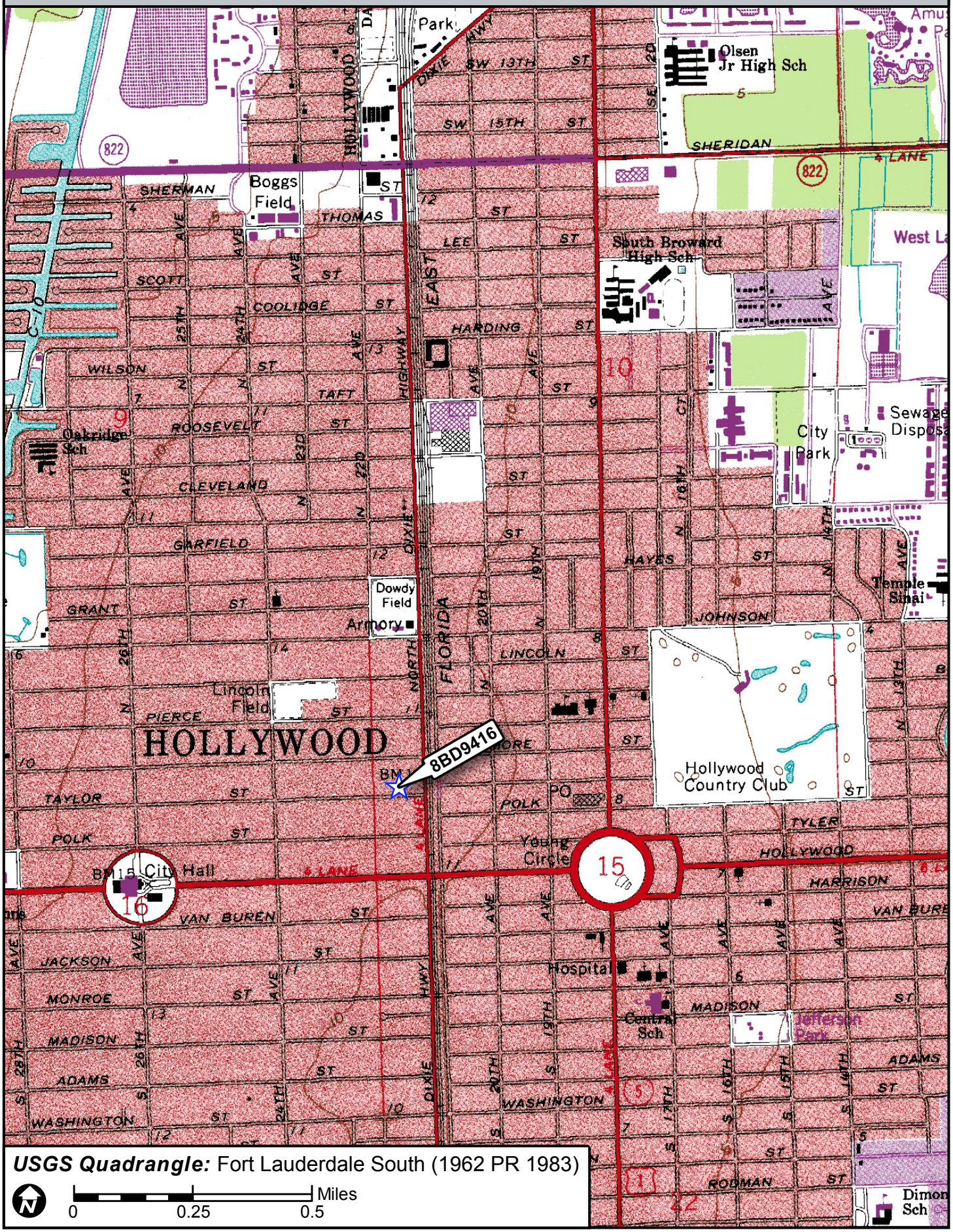
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9416

SKETCH MAP 8BD9416

USGS QUADRANGLE MAP **8BD9416**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09417
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2129 Taylor Street — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2129		Taylor	Street	

Address: (Street Number / Direction / Street Name / Street Type / Suffix Direction)
Cross Streets (nearest / between) Taylor Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 5142 16 08 0060 — **Landgrant** _____
Subdivision Name JD COOK & JC KREUSCH — **Block** _____ — **Lot** 10
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 584995 — **Northing** 2877513
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1925 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Residence, private — From (year): 1925 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Korytnicki, M(2016);Hsun,H(2005);Mullenski,R and I(1988); Arata, N (1975)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Frame Vernacular — **Exterior Plan** Rectangular — **Number of Stories** 1
Exterior Fabric(s) 1. Metal 2. _____ 3. _____
Roof Type(s) 1. Gable 2. _____ 3. _____
Roof Material(s) 1. Asphalt shingles 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

S elevation: Fixed wood in rows of three and four

Distinguishing Architectural Features (exterior or interior ornaments)

oolic limestone chimney (east elevation) and lattice in the main gable

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09417

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Stone 2. _____

Structural System(s): 1. Wood frame 2. _____ 3. _____

Foundation Type(s): 1. Unknown 2. _____

Foundation Material(s): 1. Obscured 2. _____

Main Entrance (stylistic details)

S ELEV: 6-panel wood frame door

Porch Descriptions (types, locations, roof types, etc.)

original enclosed gable-porch located on the S elevation, existing stoop with scrolled metal railings

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style single-family residence with a front gable roof, original garage doors, and enclosed front-gable front porch. An original oolic limestone chimney is located on the east elevation.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

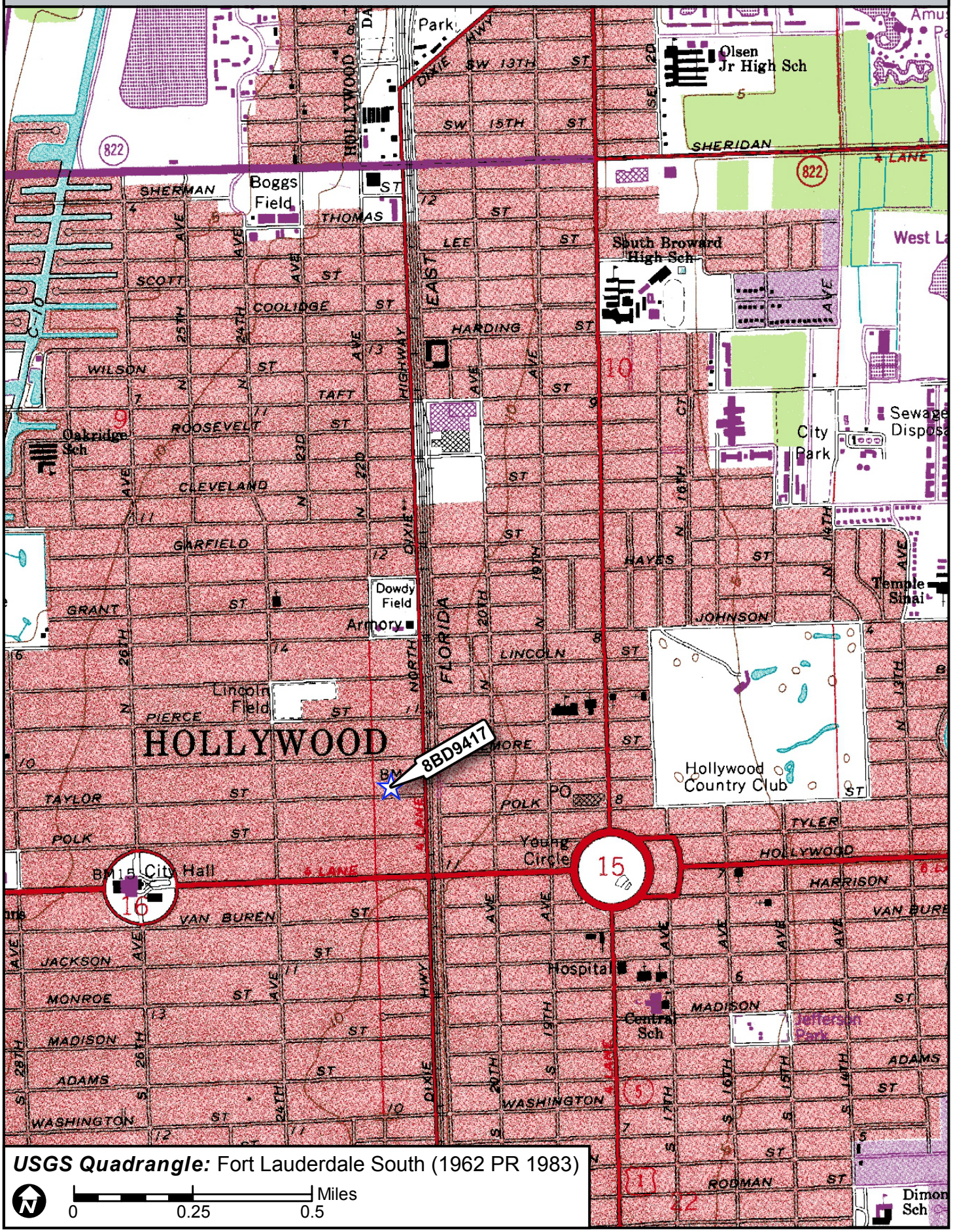
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9417

SKETCH MAP 8BD9417

PHOTOGRAPH **8BD9417**

USGS QUADRANGLE MAP **8BD9417**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09418
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Classic Collision — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
338	N	Dixie	Highway	

Address: 338 N Dixie Highway
Cross Streets (nearest / between) Taylor Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0330 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block E — Lot 6
UTM Coordinates: Zone ☐16 ☒17 — Easting 585074 — Northing 2877470
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1955 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1955 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☐yes ☒no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

338 N Dixie LLC(2017);NH Greene Properties Inc(2011);338 N Dixie Realty Corp(2000); M&C Bloom (1999);May, R, Gordon, E. and Gordon Trust (1979)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Mid-Century Modern — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Brick 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. Other 2. _____
Windows (types, materials, etc.)

Fixed, metal, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco parapet with a vertical flourish and brick pilasters, horizontal carport without exterior supports extends off the E elevation

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09418

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N ELEV: single metal and glass door w/ a glass transom

Porch Descriptions (types, locations, roof types, etc.)

horizontal carport without exterior supports extends off the E elevation and also covers the main entrance on the N elevation

Condition (overall resource condition): ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Mid-Century Modern style commercial building w/ a vertical flourish and a carport extension.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☒ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☒ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

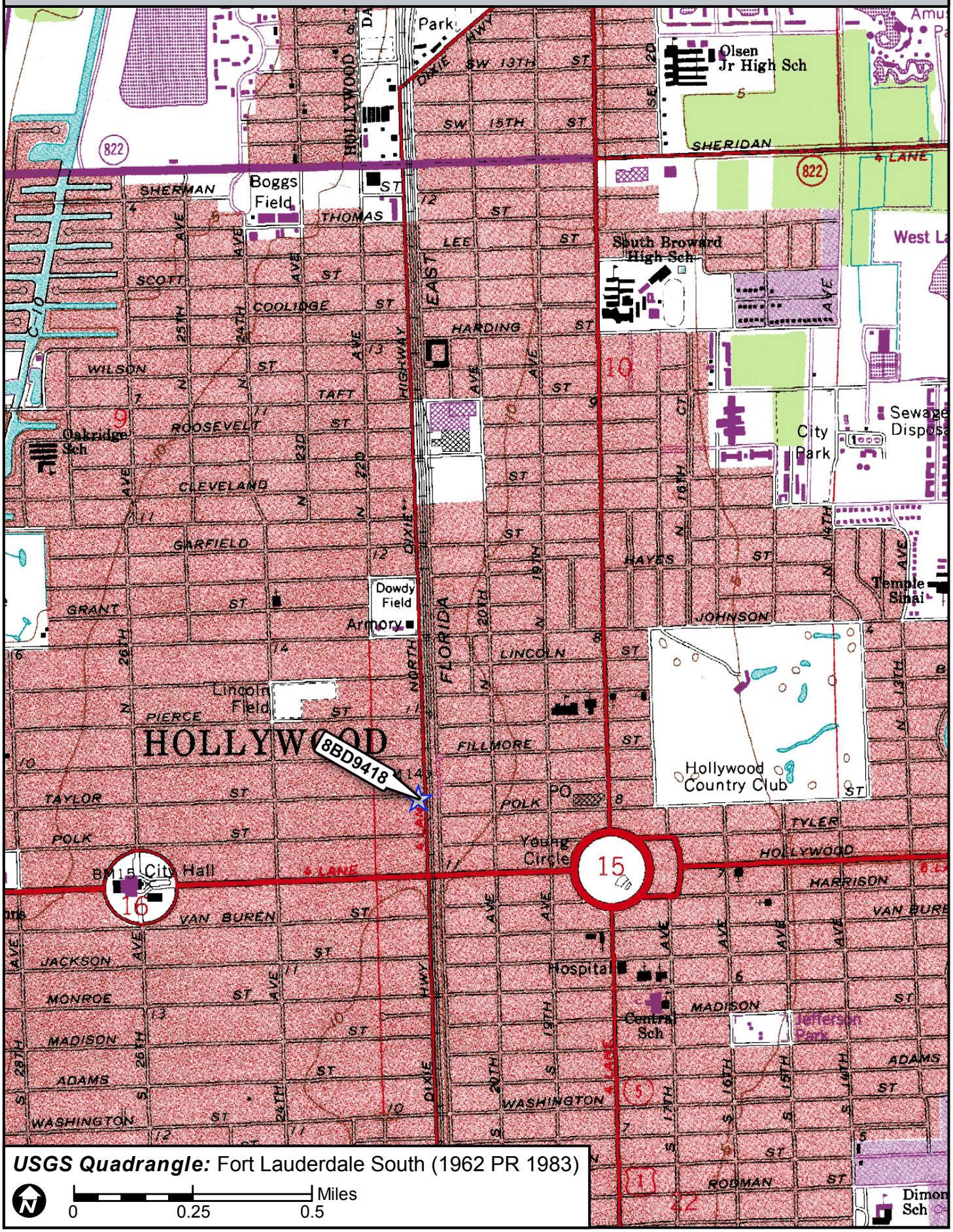
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9418

SKETCH MAP 8BD9418

USGS QUADRANGLE MAP **8BD9418**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09419
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Skin and Body — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2040		Polk	Street	

Cross Streets (nearest / between) Polk Street and N. 21st Avenue
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 15 01 1690 — Landgrant _____
Subdivision Name HOLLYWOOD — Block 10 — Lot 1
UTM Coordinates: Zone ☐16 ☒17 — Easting 585184 — Northing 2877416
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1945 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1945 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1990 — Nature windows and door replacement
Additions: ☒yes ☐no ☐unknown — Date: 1-1-1980 — Nature rear addition
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Beauty of Wax LLC(2015);BR Green LLC(2001);Atlantic FL Dental(1997);Schopler T and T (1972)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Vinyl 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

faux 8-over-8 vinyl single hung windows on W elevation

Distinguishing Architectural Features (exterior or interior ornaments)

prominent front gable with four wood support posts along the front

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site #8 BD09419

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N ELEV: single 6-panel metal door

Porch Descriptions (types, locations, roof types, etc.)

full-length front integral porch

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building with a prominent front-gable roof and large rear addition.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

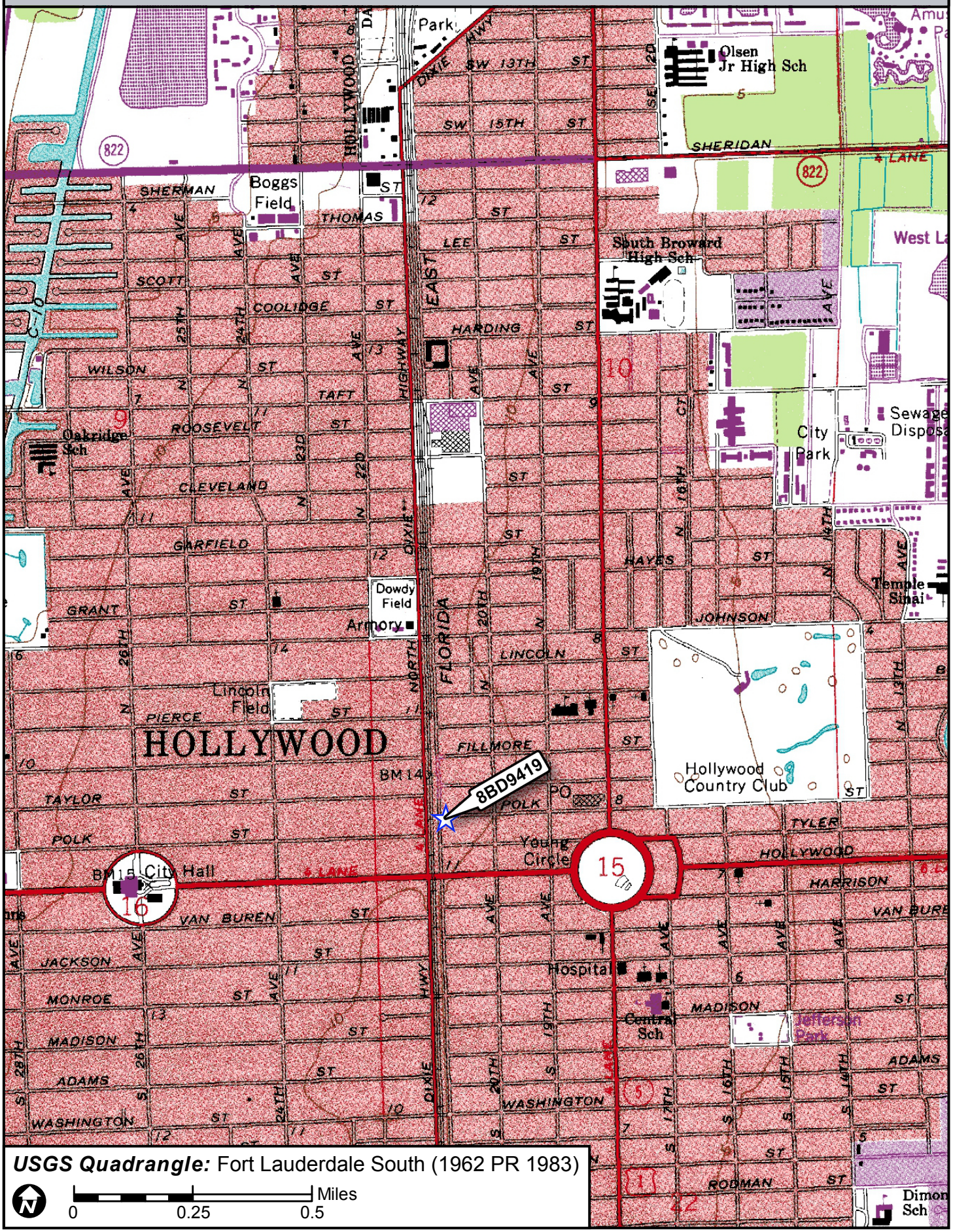
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9419

SKETCH MAP 8BD9419

USGS QUADRANGLE MAP **8BD9419**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09420
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) City Glass — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
200	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) Polk Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 10 0020 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block E — Lot 2
UTM Coordinates: Zone ☐16 ☒17 — Easting 585097 — Northing 2877379
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1966 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1966 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Pandos Family Living Trust(2008);Pandos, R and F(1986); Pandos(1965)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan L-shaped — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal single-light

Distinguishing Architectural Features (exterior or interior ornaments)

tall metal fixed lights and red metal inserts on upper portion of the windows, distinctive sign

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

distinctive, original sign

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09420

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

E ELEV: two double-door entrances both with glass doors and metal frames

Porch Descriptions (types, locations, roof types, etc.)

none

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building fixed window walls and a bay door on the S elevation.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

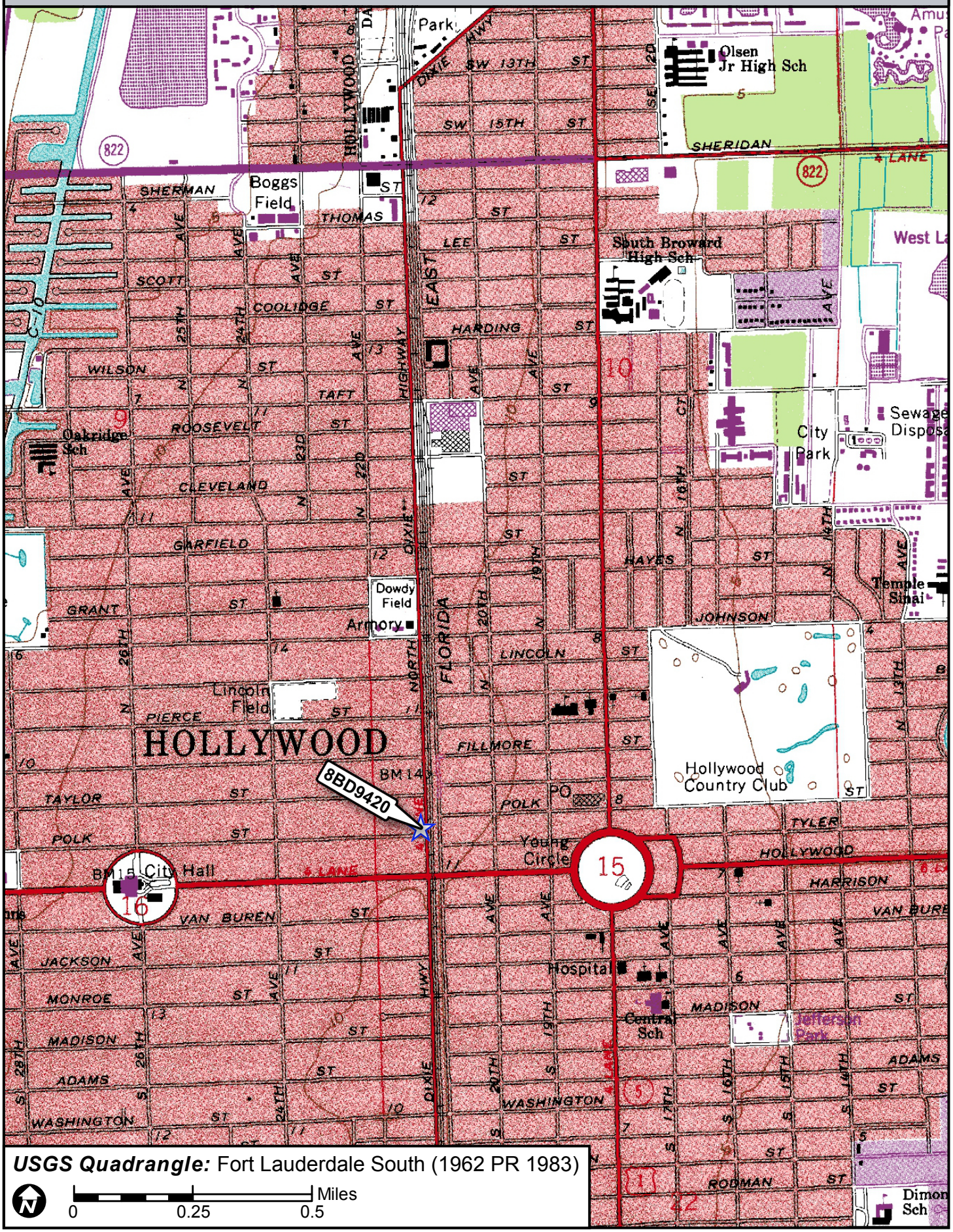
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9420

SKETCH MAP 8BD9420

PHOTOGRAPH **8BD9420**

USGS QUADRANGLE MAP **8BD9420**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09421
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Clark Acupuncture Associates — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	130-2	N	Dixie	Highway	

Cross Streets (nearest / between) Polk Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0510 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 7
UTM Coordinates: Zone ☐16 ☒17 — Easting 585098 — Northing 2877348
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1957 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1957 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Tong Ren Herbs Inc. (1997);Clark, DeWitt A(1995); Cadieux,R(1987);Vogelsang, G C Trust, Linnell, B & G Trust (1984)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 2
Exterior Fabric(s) 1. Stucco 2. Brick 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

1st floor: fixed metal windows, 2nd floor: row of 5 4-light metal awning winows (likely a six has been removed) all windows covered by vinyl awnings

Distinguishing Architectural Features (exterior or interior ornaments)

Eyebrow ledge between floors that extends off of north facade, brick along the first floor with angled entrances

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09421

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W ELEV: two commercial entrances with original single metal and glass doors

Porch Descriptions (types, locations, roof types, etc.)

two step-stoop covered by an awning and eyebrow ledge on the W elevation

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

This is a two-story Masonry Vernacular style commercial building w/ two angled commercial entrances on the W facade and an eyebrow ledge between the two stories.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

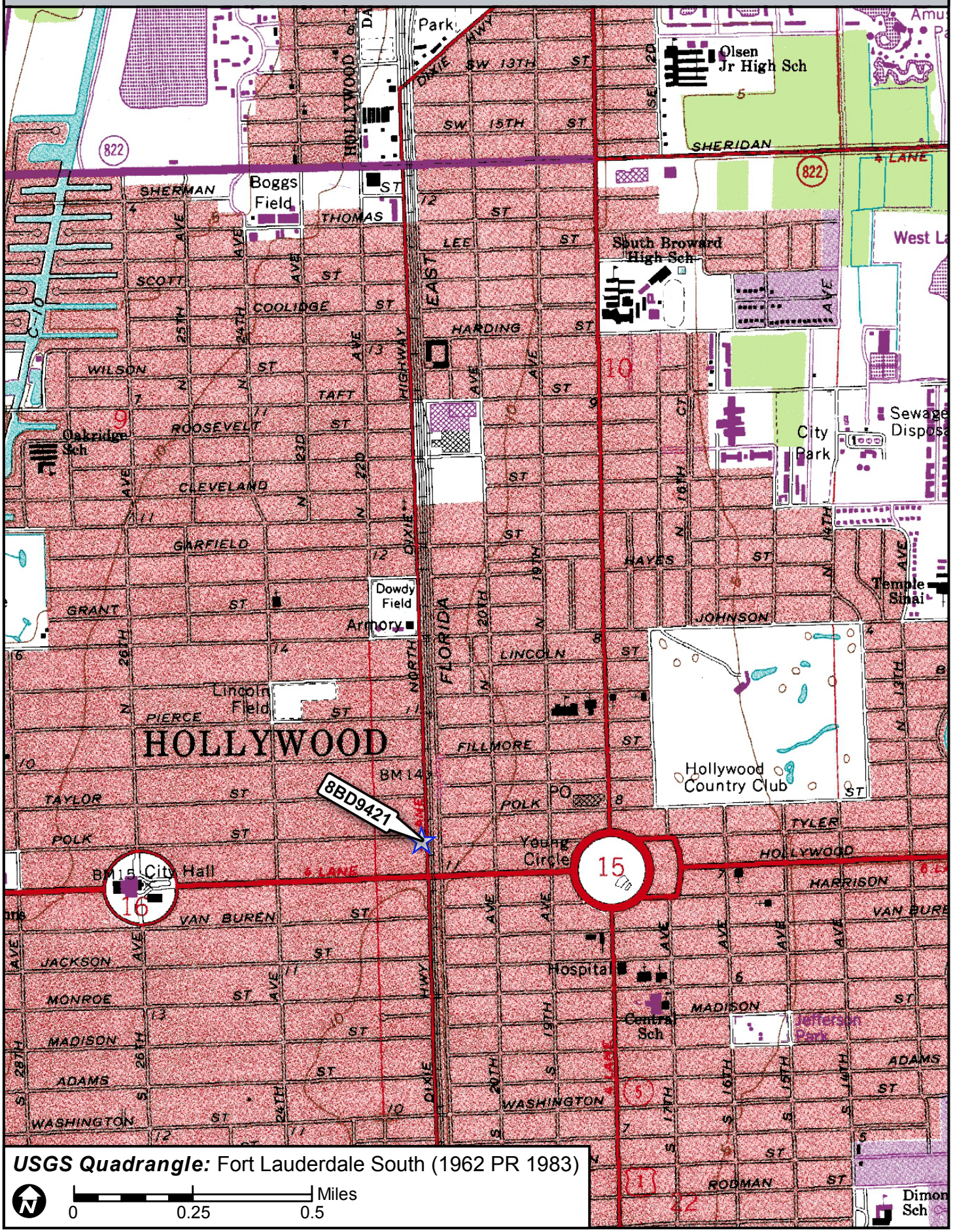
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9421

SKETCH MAP 8BD9421

USGS QUADRANGLE MAP **8BD9421**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09422
Field Date 6-30-2023
Form Date 7-17-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Area 51 Smoke Shop — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
128	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) Polk Street and N Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0500 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 7
UTM Coordinates: Zone ☐16 ☒17 — Easting 585103 — Northing 2877341
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1958 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1958 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

N Dixie Highway Station LLC(2016);JFD Investments Inc(2014); Alimax 2 LLC(2012);Smith, G and A (2002);Lauvoor & Assoc Inc

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed single-light metal on the front facade (w elevation); metal one-over-one windows on north elevation

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ eyebrow ledge on main facade

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09422

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

single glass with metal frame door on the main facade (W elevation)

Porch Descriptions (types, locations, roof types, etc.)

none

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ stucco cladding and an eyebrow ledge along the front facade.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒ FMSF record search (sites/surveys)	☐ library research	☐ building permits	☐ Sanborn maps
☒ FL State Archives/photo collection	☐ city directory	☐ occupant/owner interview	☐ plat maps
☒ property appraiser / tax records	☒ newspaper files	☐ neighbor interview	☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS)	☐ historic photos	☐ interior inspection	☐ HABS/HAER record search

☒ other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

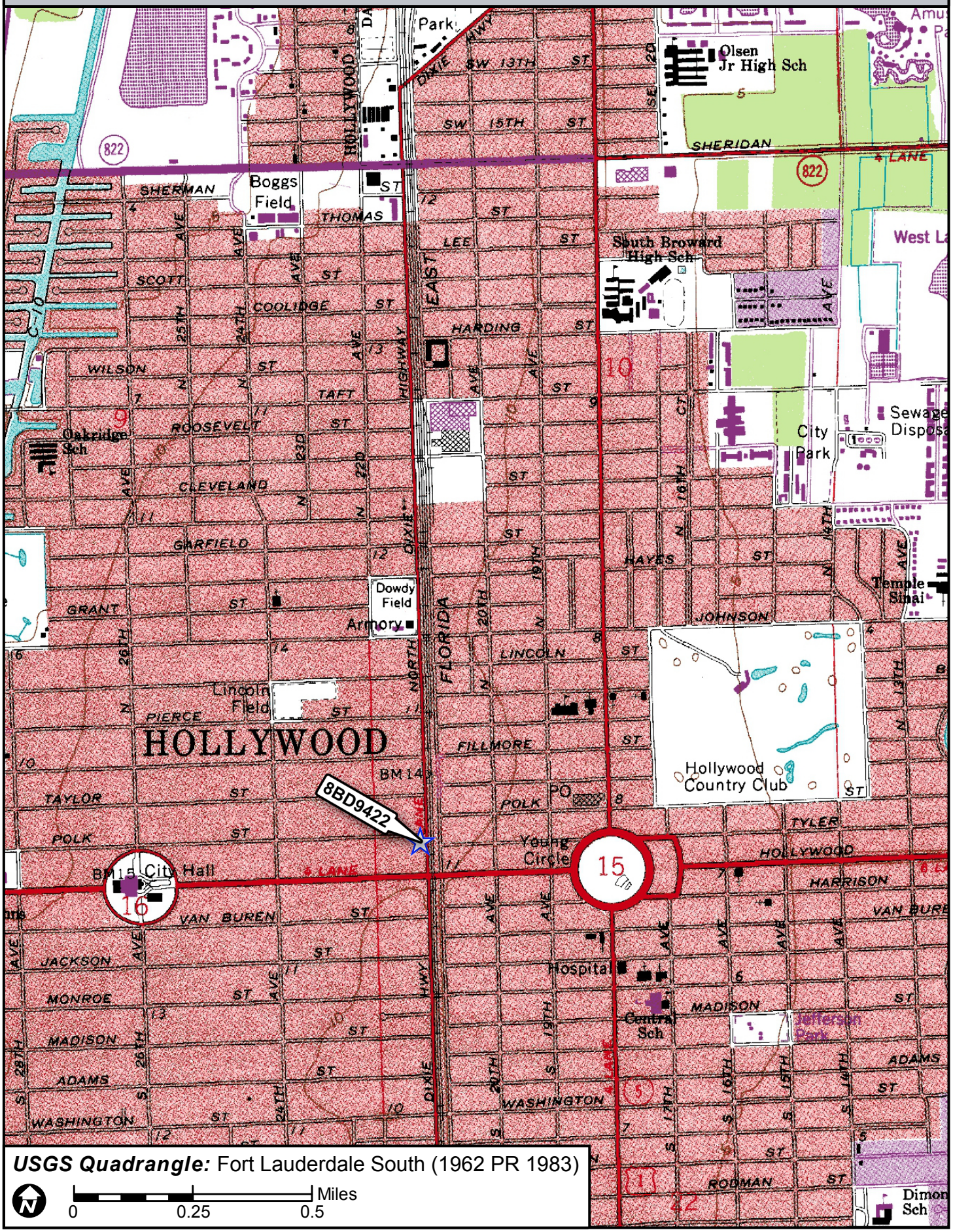
Required Attachments

❶ USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED
❷ LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
❸ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9422

SKETCH MAP 8BD9422

USGS QUADRANGLE MAP **8BD9422**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09423
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Title Services — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
126	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) Tyler Street and N. Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0480 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 7
UTM Coordinates: Zone ☐16 ☒17 — Easting 585097 — Northing 2877334
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1959 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: _____ — Nature _____
Additions: ☒yes ☐no ☐unknown — Date: 1-1-1980 — Nature front windows replaced with metal
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Payberg,Frank J Trustee(2017);Payberg, Sally S

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. parapet
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ prominent scored stucco parapet, stucco pilasters, eyebrow ledge on front facade

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

n/a

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09423

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W ELEV: double wood door frame door w/ a two-light wood transom

Porch Descriptions (types, locations, roof types, etc.)

front entrance is incised under the eyebrow ledge

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style building w/ a prominent scored-stucco parapet, eyebrow ledge and pilasters on the front facade.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

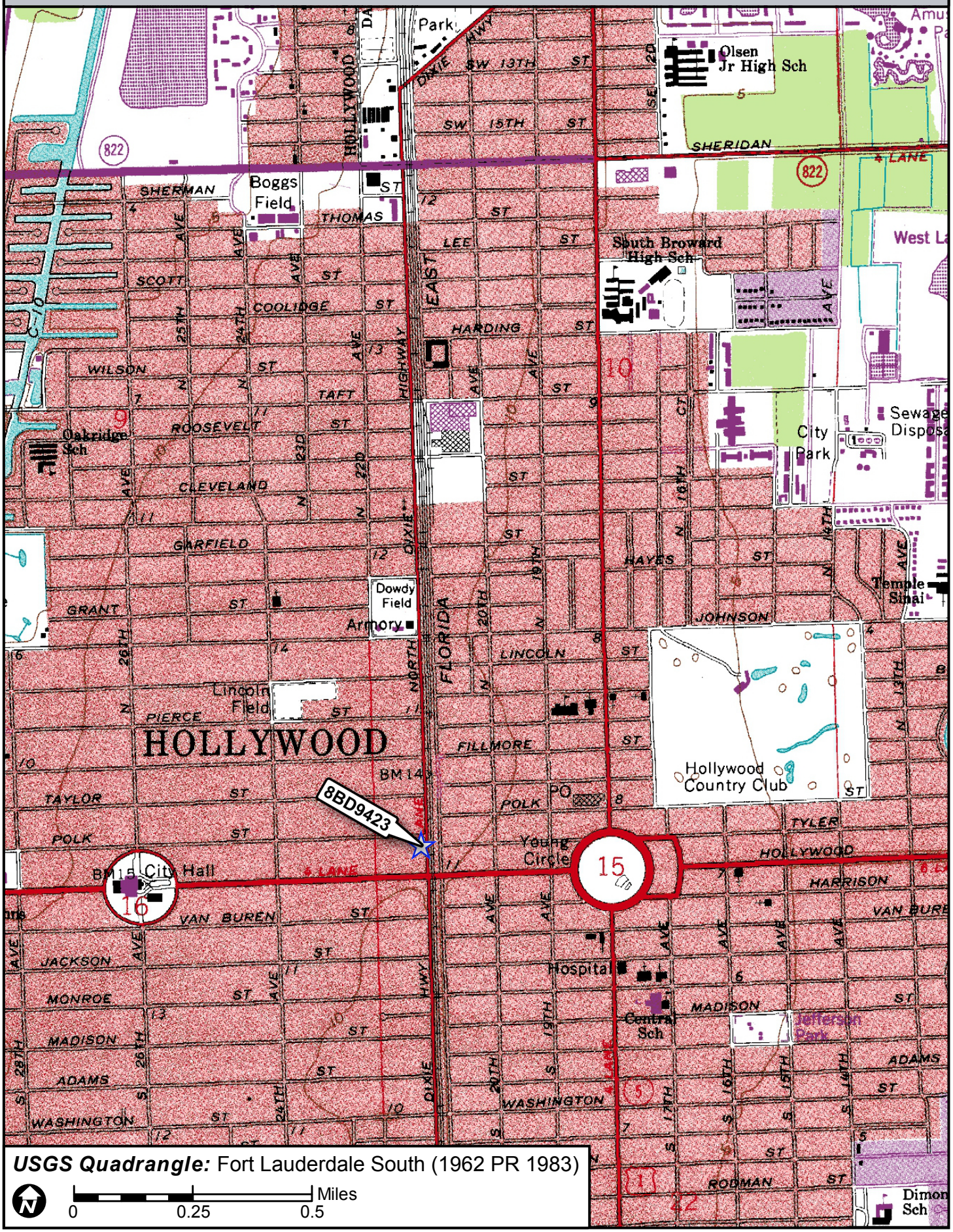
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9423

SKETCH MAP 8BD9423

USGS QUADRANGLE MAP **8BD9423**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09424
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2100-12 Tyler Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2100-12		Tyler	Street	

Address:
Cross Streets (nearest / between) Tyler Street and N Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0431 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 5
UTM Coordinates: Zone ☐16 ☒17 — Easting 585094 — Northing 2877306
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1966 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1966 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Milligan Properties Inc. since 1972

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan L-shaped — Number of Stories 1
Exterior Fabric(s) 1. Brick 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, mulit-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping and mansard roof, wide eaves, multi-light metal windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

n/a

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09424

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N elevation: 3 single metal frame doors with 9-lights; E elevation: two single-metal doors

Porch Descriptions (types, locations, roof types, etc.)

the three N elevation entrances are incised under the main roof

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ approximately 4 units with a mansard roof, and clad in brick.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

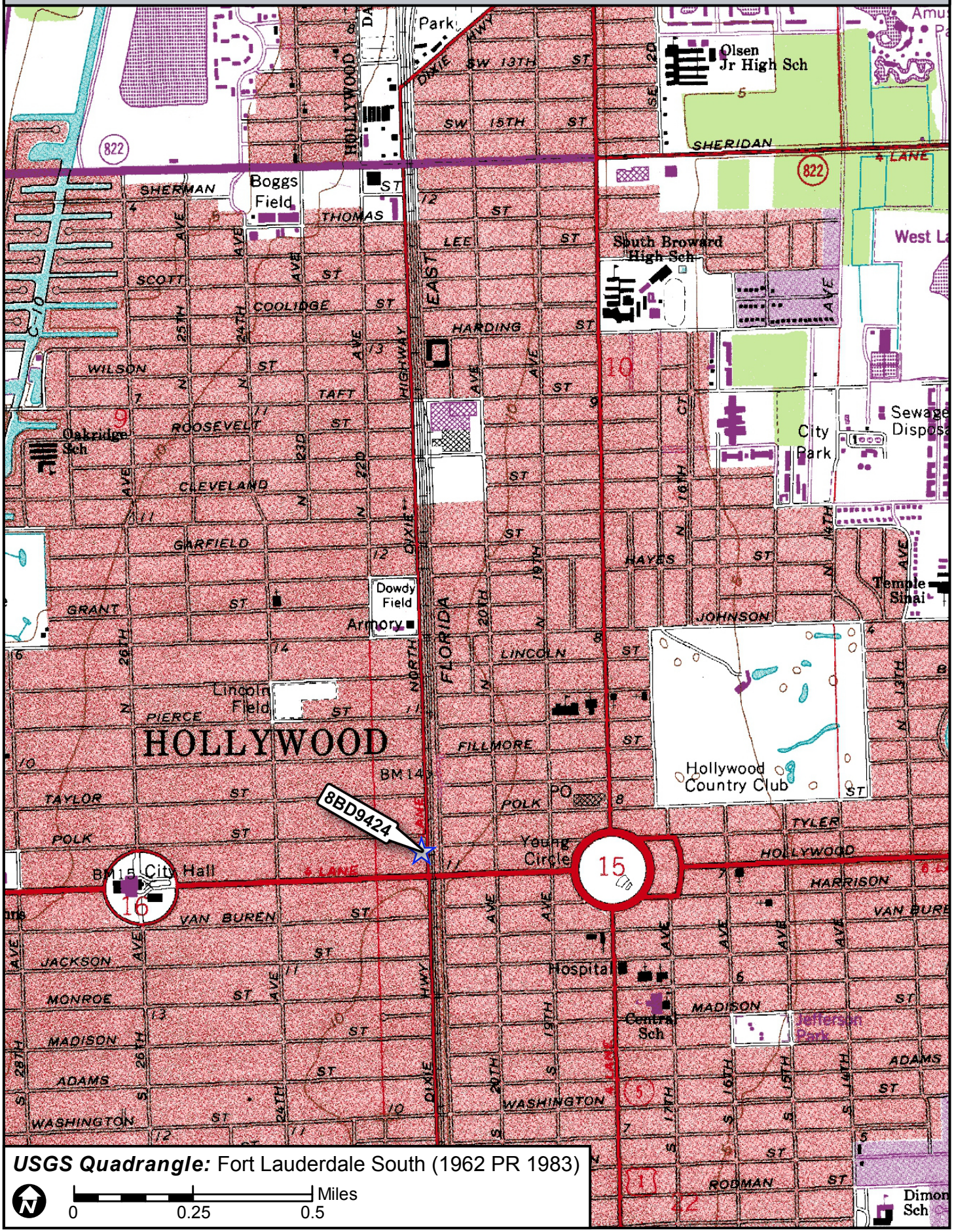
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9424

SKETCH MAP 8BD9424

USGS QUADRANGLE MAP **8BD9424**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09425
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2116-24 Tyler Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2116-24		Tyler	Street	

Address:
Cross Streets (nearest / between) Tyler Street and N Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0450 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 5
UTM Coordinates: Zone ☐16 ☒17 — Easting 585061 — Northing 2877308
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1956 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1956 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Milligan Properties Inc. since 1972

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Brick 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stuccoed box eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09425

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

N ELEV: single metal frame door w/ 9-lights incised under the stucco-clad box eaves

Porch Descriptions (types, locations, roof types, etc.)

stucco-clad wide box eaves

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style commercial building clad in brick, w/ clerestory metal windows and stucco-clad box eaves

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

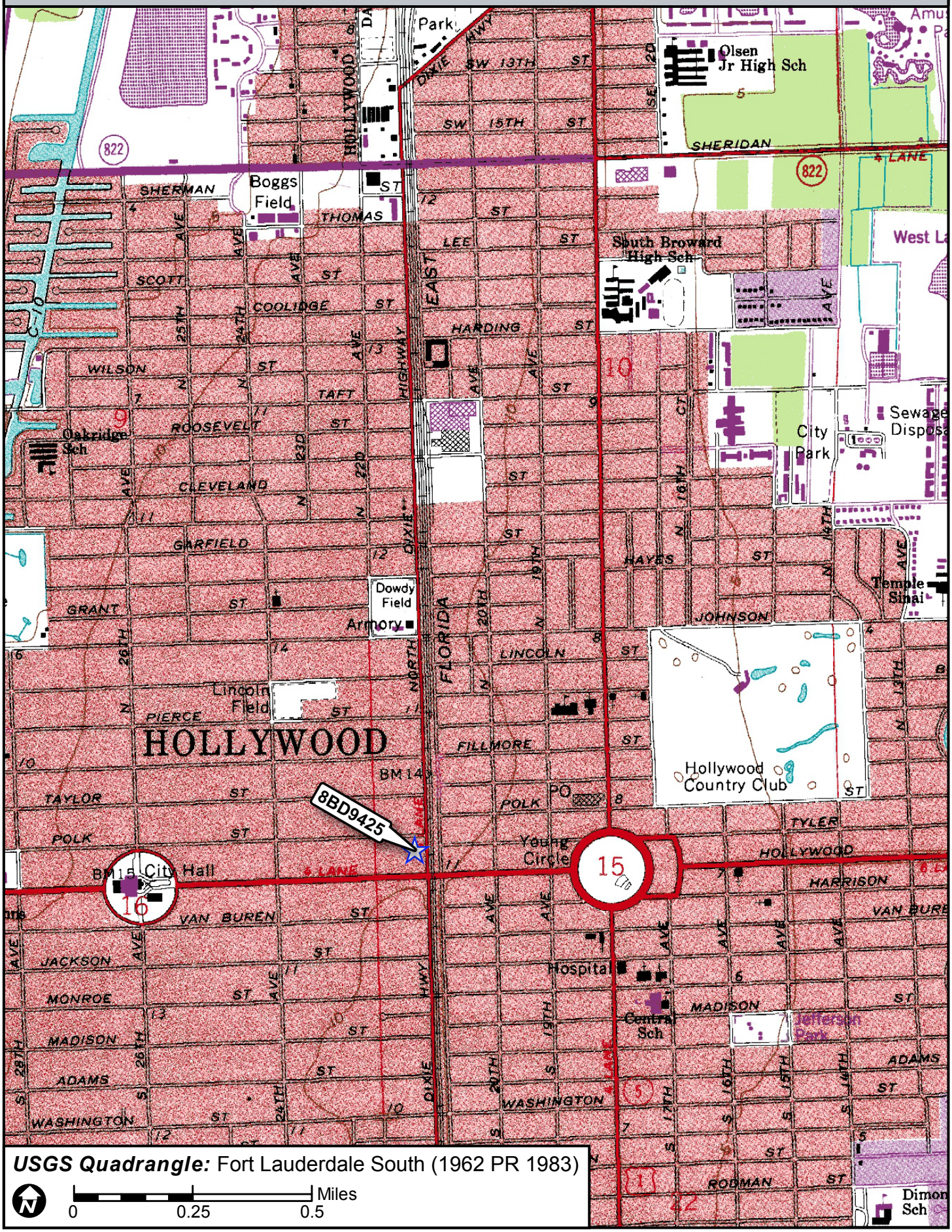
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9425

SKETCH MAP 8BD9425

USGS QUADRANGLE MAP **8BD9425**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09426
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2126 Tyler Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2126		Tyler	Street	

Address:
Cross Streets (nearest / between) Tyler Street and N Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0450 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 5
UTM Coordinates: Zone ☐16 ☒17 — Easting 585043 — Northing 2877308
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1959 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-2000 — Nature two doors and facades;
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

PKL Rental Properties (2007);Lopez Patricia Ann and Holbert, Audrey Irene

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco — 2. Brick — 3. _____
Roof Type(s) 1. Flat — 2. _____ — 3. _____
Roof Material(s) 1. Built-up — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light with metal clerestory windows along front facade (N elevation)

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stuccoed box eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09426

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N ELEV: four doors: two new metal with glass and two metal doors with 9-lights

Porch Descriptions (types, locations, roof types, etc.)

entrances located under the stucco box eaves

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ approximately 4 units accessed under box eaves, clerestory windows along main facade.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

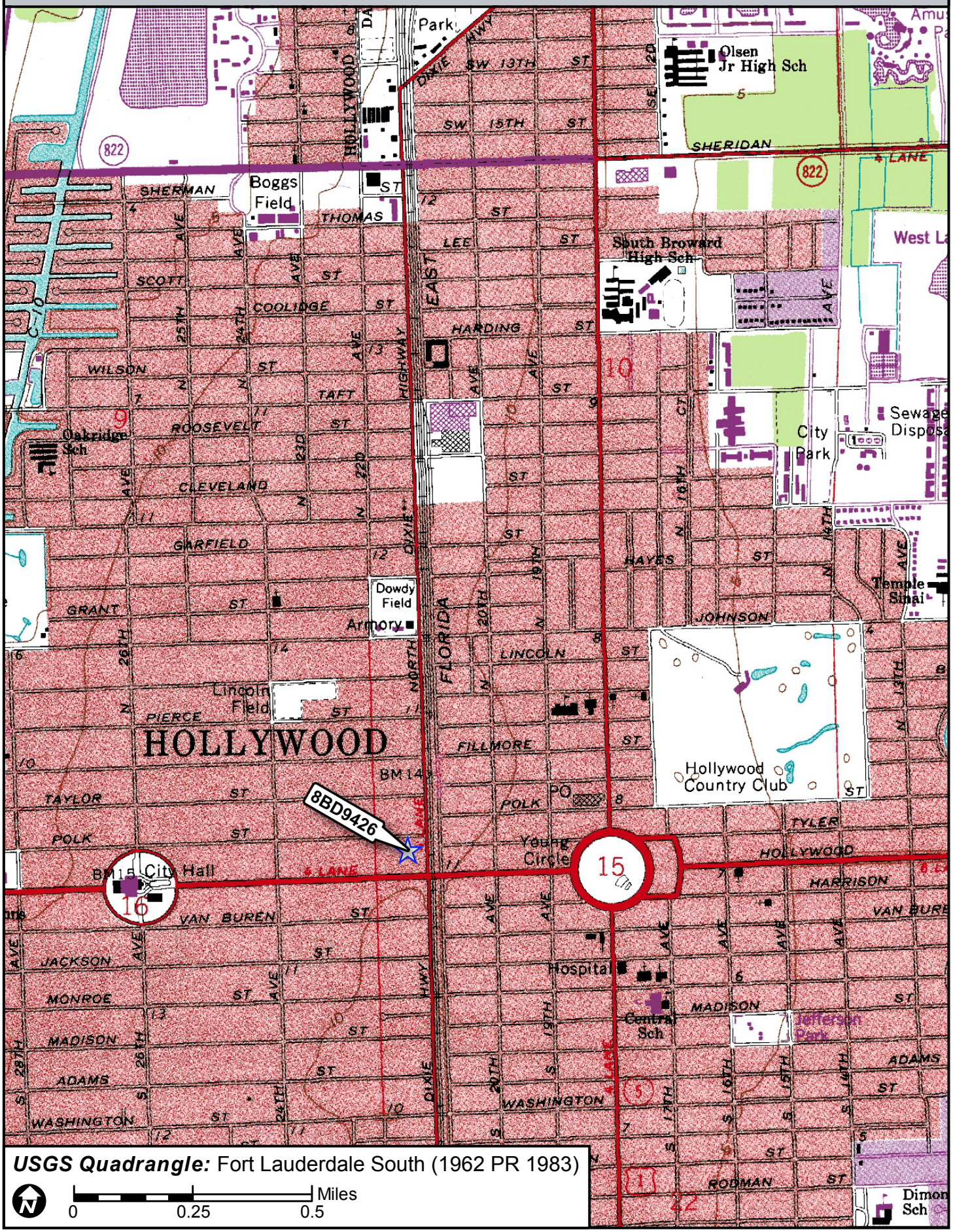
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9426

SKETCH MAP 8BD9426

USGS QUADRANGLE MAP **8BD9426**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09427
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2134 Tyler Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2134		Tyler	Street	

Address:
Cross Streets (nearest / between) Tyler Street and N Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 5142 16 01 0441 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 5
UTM Coordinates: Zone ☐16 ☒17 — Easting 585033 — Northing 2877307
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1960 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1960 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☐yes ☒no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Milligan,H and C (2005)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Brick 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light and metal clerestory windows

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco box eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09427

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W ELEV: single metal frame door w/ two glass diamonds

Porch Descriptions (types, locations, roof types, etc.)

entrance is located under the stucco box eaves

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ approximately 1 units accessed from under the stucco box eaves.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

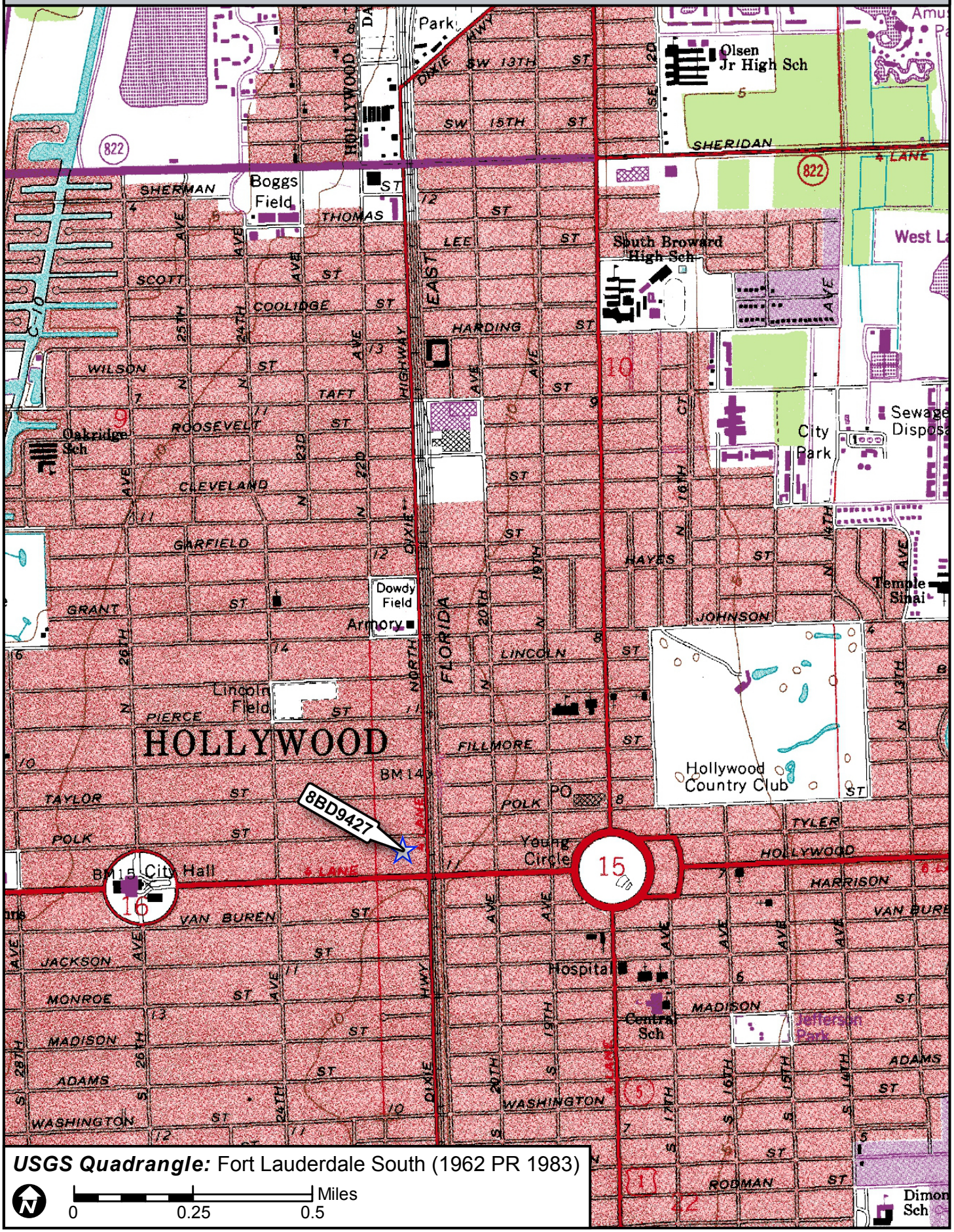
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9427

SKETCH MAP 8BD9427

USGS QUADRANGLE MAP **8BD9427**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09428
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2140-54 Tyler Street — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
2140-54		Tyler	Street	

Address:
Cross Streets (nearest / between) Tyler Street and Polk Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514216010430 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block F — Lot 5
UTM Coordinates: Zone ☐16 ☒17 — Easting 584977 — Northing 2877303
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1968 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Milligan Properties (1971)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. Brick 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, 6-over-6 light in sets of three across the front facade (N elevation)

Distinguishing Architectural Features (exterior or interior ornaments)

brick cladding, awnings over some windows and all of the entrances

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

n/a

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # 8 BD09428

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

N ELEV: 6 single metal frame doors-3 with 6-lights and 3 with solid metal paneled doors, 1 metal bay door on W end

Porch Descriptions (types, locations, roof types, etc.)

awnings cover some windows and all of the entrances

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ approximately 6 units accessed from the N ELEV.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

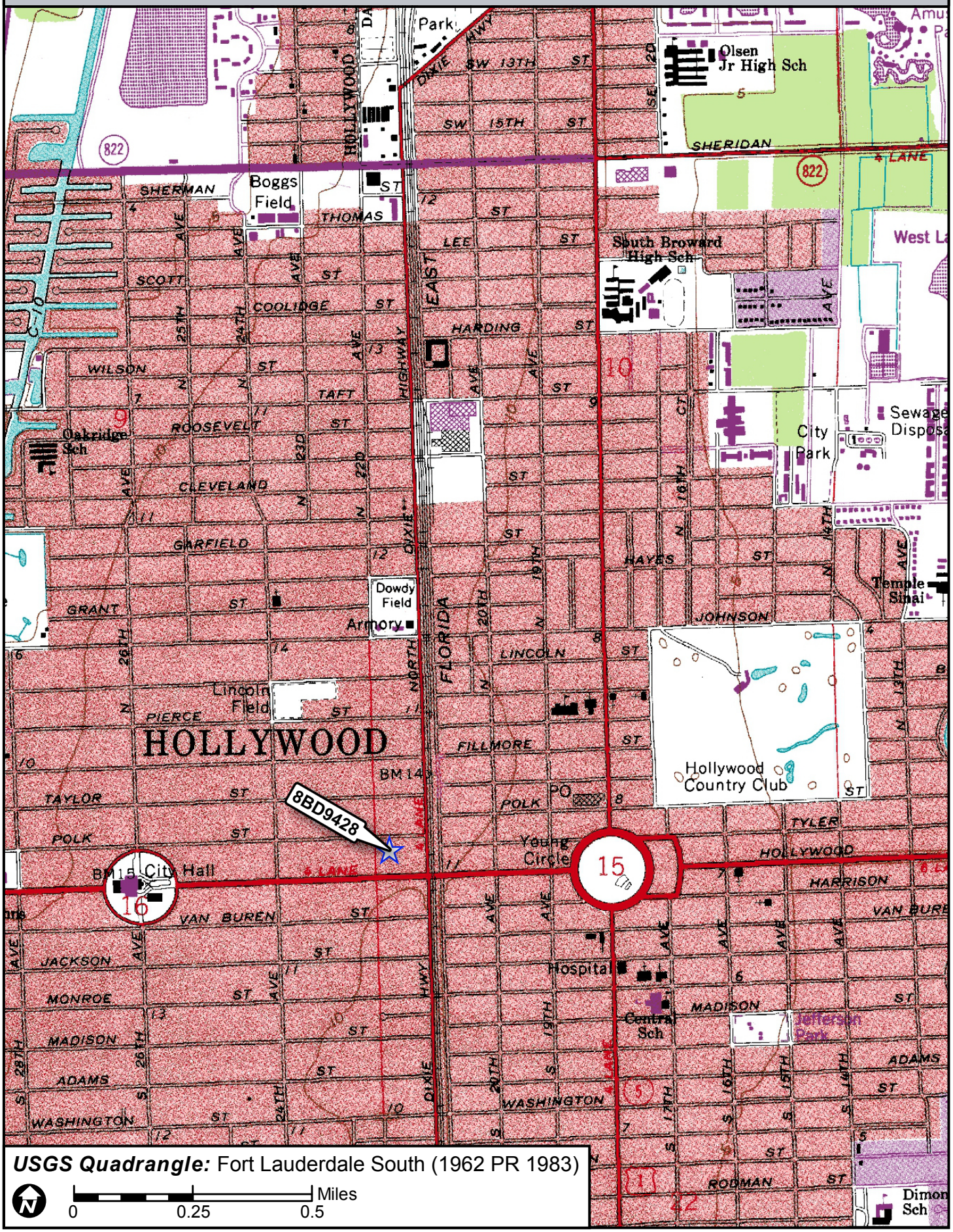
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9428

SKETCH MAP 8BD9428

USGS QUADRANGLE MAP **8BD9428**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09429
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 110 North Dixie Highway — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
110	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) Tyler Street and N Dixie Highway
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514216130080 — Landgrant _____
Subdivision Name HOLLYWOOD PLACE — Block _____ — Lot 8-9
UTM Coordinates: Zone ☐16 ☒17 — Easting 585089 — Northing 2877292
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1964 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1964 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1990 — Nature windows on front and south facade
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

AAA Triple A Cleaning and Restoration (2013);110 N Dixie Hwy LLC (2013);Total Bank/Osinowicz,L (1997);Hill D and Payne F (pre-1990)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Flat — 2. _____ — 3. _____
Roof Material(s) 1. Built-up — 2. Barrel tile — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. tower
Windows (types, materials, etc.)

Fixed, metal, single, one-light; one 6-light casement windows on E facade, windows on the east and south elevations are covered by awnings.

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ metal coping and a tower at the southeast corner with barrel roof tiles

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09429

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

E ELEV: single metal frame door w/ full light

Porch Descriptions (types, locations, roof types, etc.)

none

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building clad in stucco with a prominent tower located on the southeast corner.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

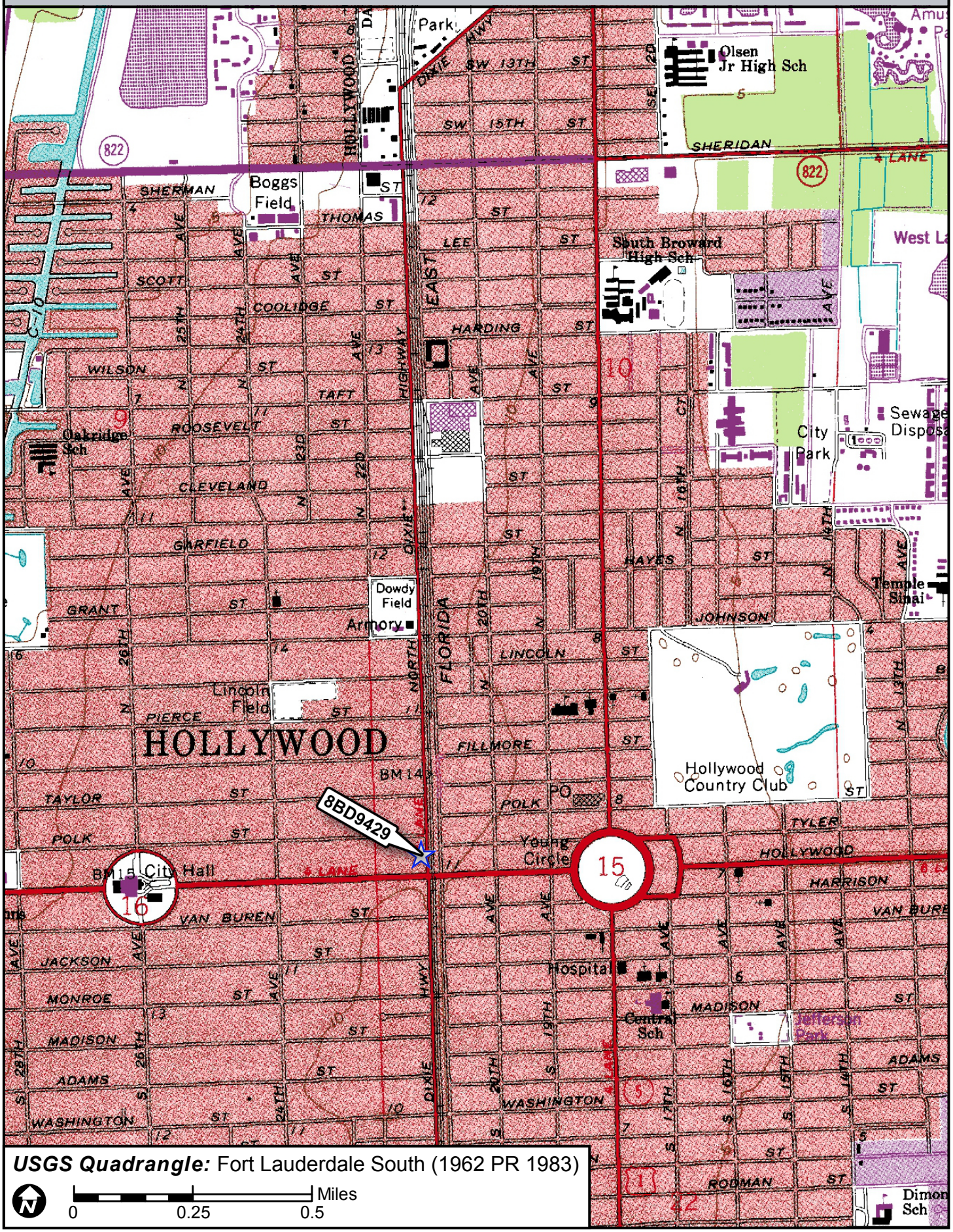
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9429

SKETCH MAP 8BD9429

USGS QUADRANGLE MAP **8BD9429**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09430
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 127 S. 21st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
127	S	21st	Avenue	

Address:
Cross Streets (nearest / between) S. 21st Avenue and Harrison Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514215011320 — Landgrant _____
Subdivision Name HOLLYWOOD — Block 8 — Lot 6
UTM Coordinates: Zone ☐16 ☒17 — Easting 585196 — Northing 2877133
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1948 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1948 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-2000 — Nature windows and doors on S elevation
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

127 S 21st Ave LLC(2021);Harrison Capital LLC (2005);DixieMint (1998);Camparone,M (1991); Mercurio, A (pre 1991)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Mission — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Flat — 2. _____ — 3. _____
Roof Material(s) 1. Built-up — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ stucco pilasters between the units, scuppers above each entrance

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09430

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

S ELEV:6 entrances w/ single metal frame doors w/ full light with single-light transom;some are incised, some have awnin

Porch Descriptions (types, locations, roof types, etc.)

awnings over eastern 3 entrances

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ approximately 6 units accessed from the S, pilasters and scuppers are present on the S elevation.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

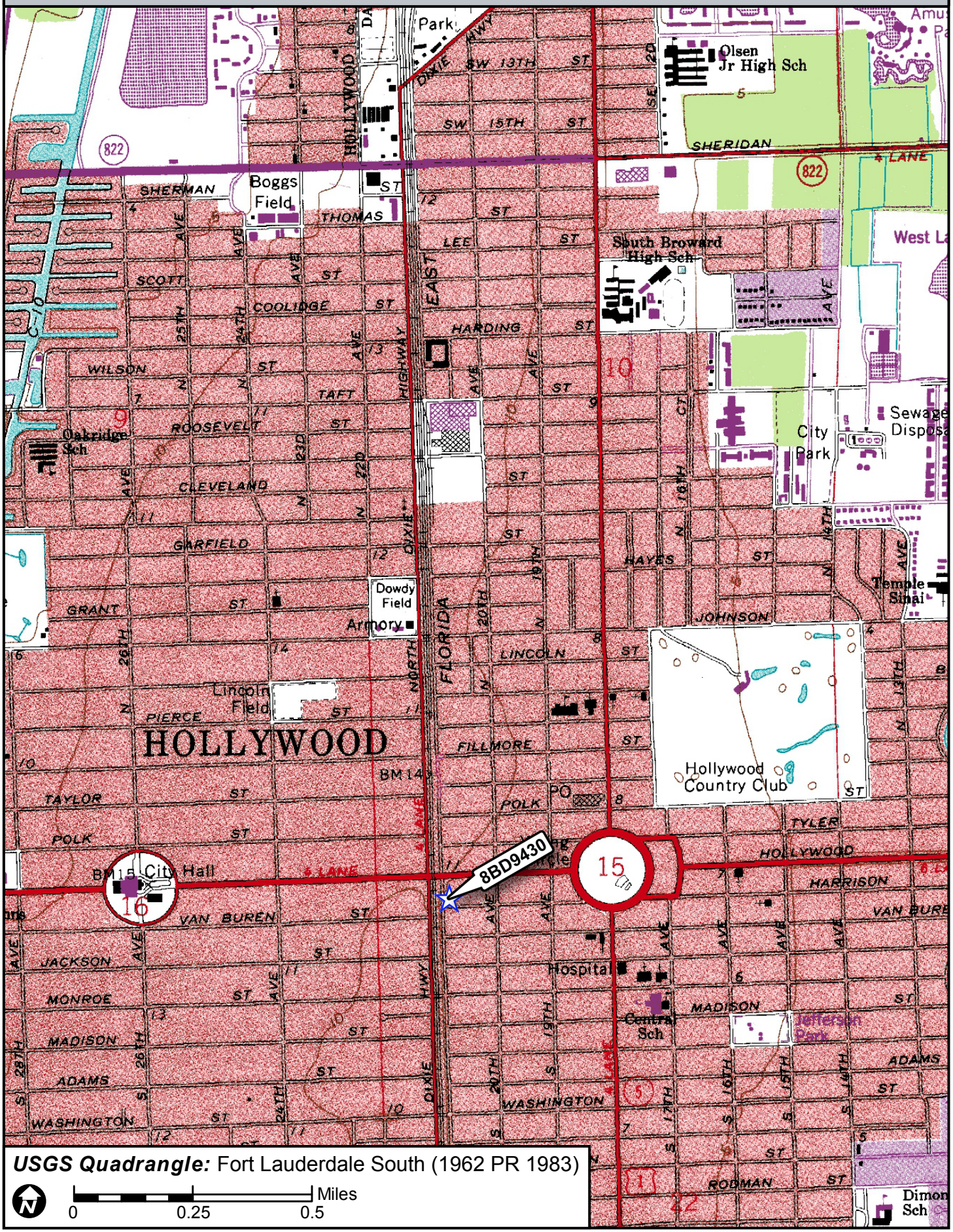
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9430

SKETCH MAP 8BD9430

PHOTOGRAPH **8BD9430**

USGS QUADRANGLE MAP **8BD9430**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09431
Field Date 6-30-2023
Form Date 8-3-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 2032 Harrison St. **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	2032		Harrison	Street	

Cross Streets (nearest / between) S. 21st Avenue and Harrison Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH **USGS Date** 1962 **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood **In City Limits?** ☐yes ☐no ☒unknown **County** Broward
Township 51S **Range** 42E **Section** 15 **¼ section:** ☐NW ☐SW ☐SE ☐NE **Irregular-name:** _____
Tax Parcel # 514215011170 **Landgrant** _____
Subdivision Name HOLLYWOOD **Block** 7 **Lot** 1-2
UTM Coordinates: Zone ☐16 ☒17 **Easting** 585210 **Northing** 2877097
Other Coordinates: X: _____ Y: _____ **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1955 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial From (year): 1955 To (year): CURR
Current Use _____ From (year): _____ To (year): _____
Other Use _____ From (year): _____ To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☒yes ☐no ☐unknown Date: 1-1-1980 Nature windows and door replaced,awnings
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Investment Van Buren LLC(2013);Philadelphia Properties LLC(2007);Harrison St Property Holdings LLC(2005);Sourmint Inc(1994)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown **Describe** _____

DESCRIPTION

Style Masonry Vernacular **Exterior Plan** Rectangular **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. parapet
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed, metal, single, one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ scored stucco parapet with pilasters and pyramidal towers on NW corner, angled front entrance with glass block surrounds and awnings

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
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HISTORICAL STRUCTURE FORM

Site # BD09431

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

NW corner: single metal frame door w full view light w glass blocks sidelights, additional entrances on N & W

Porch Descriptions (types, locations, roof types, etc.)

awnings over entrances

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ a parapet roof with pyramidal details.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

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Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

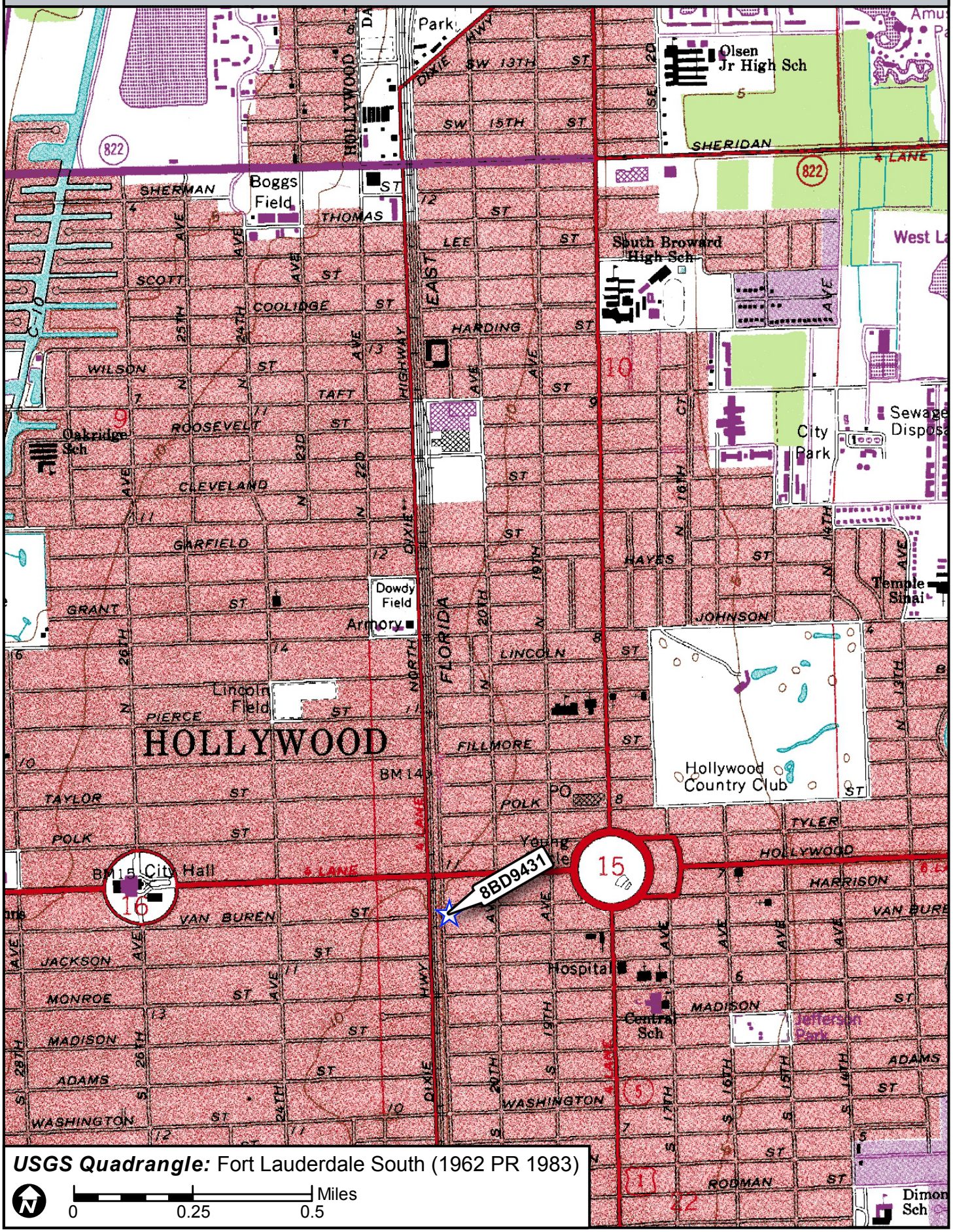
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9431

SKETCH MAP 8BD9431

PHOTOGRAPH **8BD9431**

USGS QUADRANGLE MAP **8BD9431**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09432
Field Date 9-20-2023
Form Date 9-25-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 113-117 S. 21st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
113-117	S	21st	Avenue	

Address:
Cross Streets (nearest / between) S. 21st Avenue and Hollywood Boulevard
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514215011300 — Landgrant _____
Subdivision Name HOLLYWOOD — Block 8 — Lot 4
UTM Coordinates: Zone ☐16 ☒17 — Easting 585203 — Northing 2877158
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1947 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1947 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-2000 — Nature windows and door replaced,openings
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Yves and Millien(2023);Williams R.(2023);Rio Colorado(2023);Broward Capital(2023),Pacoul Cherisol (2023),Hollywood City Community Redevelopment (2023)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 2
Exterior Fabric(s) 1. Stucco — 2. _____ — 3. _____
Roof Type(s) 1. Flat — 2. _____ — 3. parapet
Roof Material(s) 1. Built-up — 2. _____ — 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ — 2. _____
Windows (types, materials, etc.)

Fixed, and vinyl 1/1 with hurricane shutters

Distinguishing Architectural Features (exterior or interior ornaments)

Flat roof w/ scored stucco pilaster(off-center),scuppers in parapet,glass block door surrounds,decorative ceramic tile on center entrance

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09432

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

NE corner:single metal frame door w full view light w transom for 2nd story entrance,N:2 entrances w/metal frame doors

Porch Descriptions (types, locations, roof types, etc.)

The entrances are incised under the main roof.

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A two-story Masonry Vernacular style commercial building w/ scored stucco and decorative scuppers.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

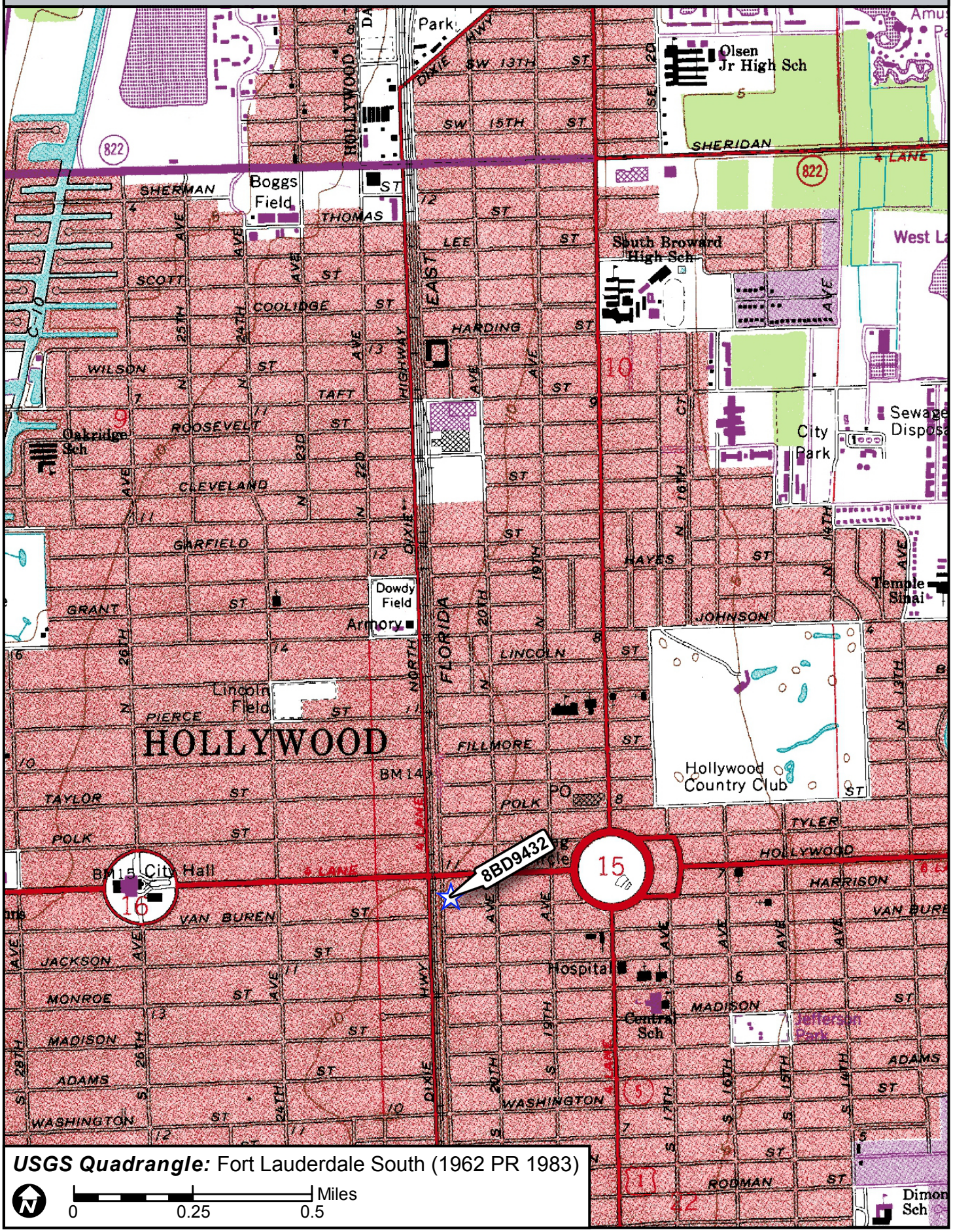
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9432

SKETCH MAP 8BD9432

USGS QUADRANGLE MAP **8BD9432**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09459
Field Date 9-20-2023
Form Date 9-25-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 514-516 N. Dixie Highway — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
514-516	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) N. Dixie Highway and Fillmore Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514216010181 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block C — Lot 3
UTM Coordinates: Zone ☐16 ☒17 — Easting 585088 — Northing 2877685
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1949 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1949 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1980 — Nature windows and doors replaced
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

SSS(2018);NETA LLC(2017);FL's Choice Investment Grp(2006);Geiger,E(1996),Maloney,J and G

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

Fixed

Distinguishing Architectural Features (exterior or interior ornaments)

textured stucco w/ scored quoins,eyebrow ledge over entire front facade,

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09459

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N:two single metal frame doors w full view light

Porch Descriptions (types, locations, roof types, etc.)

The entrances are incised under the main roof and the eyebrow ledge.

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ textured stucco and scored quoins

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

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Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
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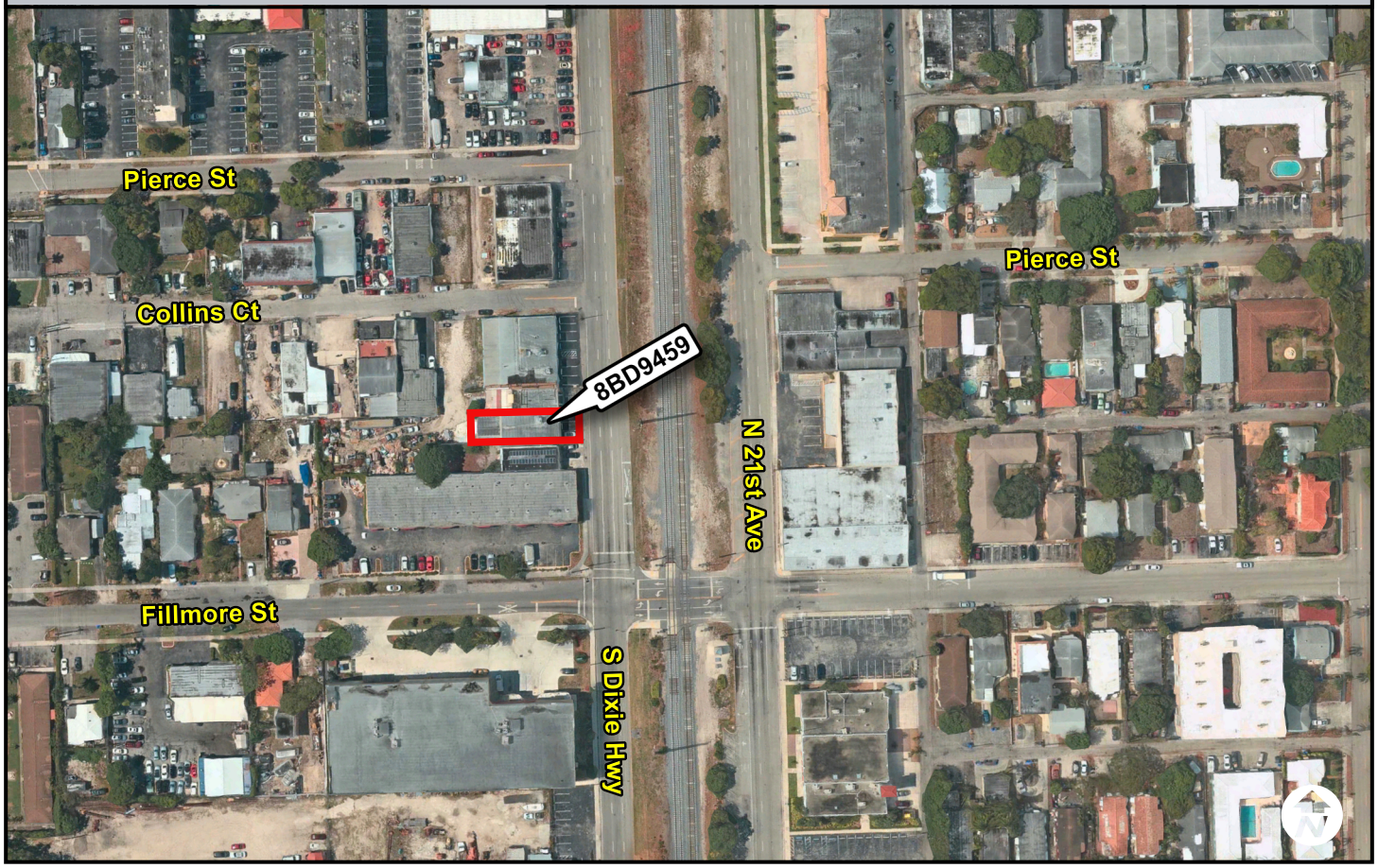
Required Attachments

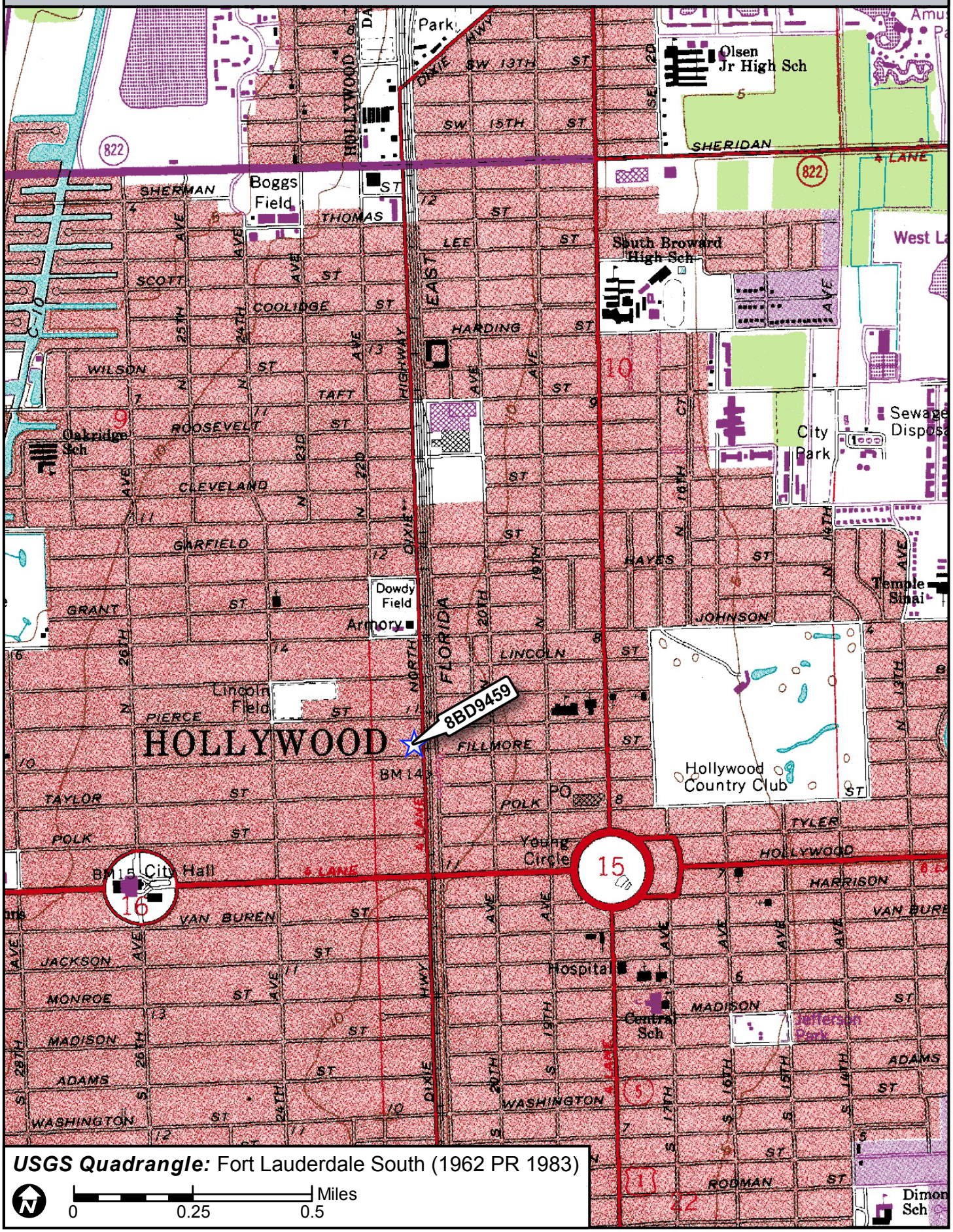
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9459

SKETCH MAP 8BD9459



USGS QUADRANGLE MAP **8BD9459**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09460
Field Date 9-20-2023
Form Date 9-25-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 520 N. Dixie Highway — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
520	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) N. Dixie Highway and Collins Court
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514216070200 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block C — Lot 4-7
UTM Coordinates: Zone ☐16 ☒17 — Easting 585094 — Northing 2877694
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1950 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1950 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1980 — Nature doors replaced, A/C added
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

YMBH Partners (2022);Bongiorni, R;AES 1926 (2019);Ded,S and A (2019);J Daniel Enterprises

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

none

Distinguishing Architectural Features (exterior or interior ornaments)

textured stucco w/ scored door surrounds

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09460

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

N:double metal door under an awning

Porch Descriptions (types, locations, roof types, etc.)

The entrance is located under an awning and is accessed by a concrete ramp

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ stucco scored door surrounds

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

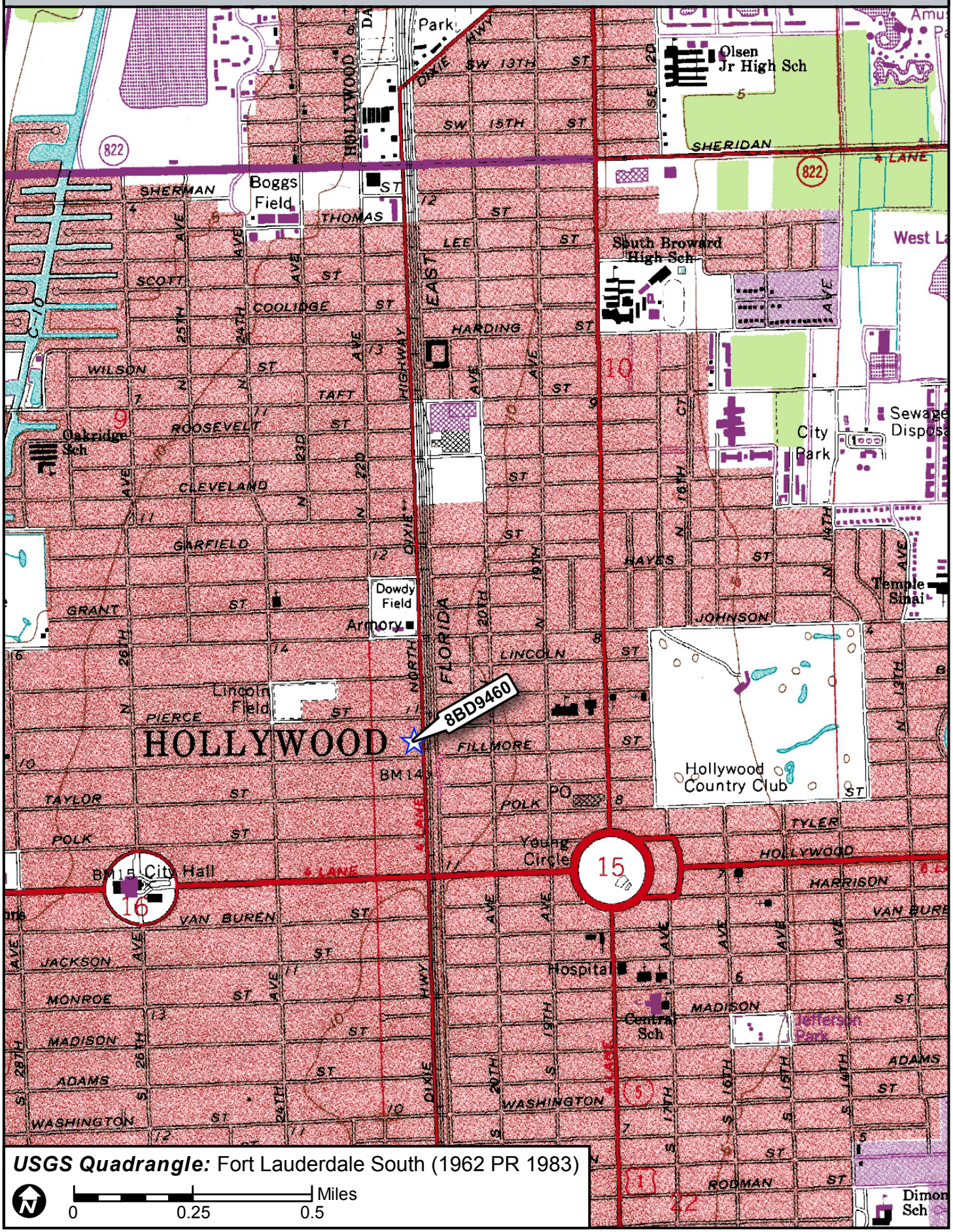
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9460

SKETCH MAP 8BD9460

USGS QUADRANGLE MAP **8BD9460**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09461
Field Date 9-20-2023
Form Date 9-25-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 524 N. Dixie Highway — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
524	N	Dixie	Highway	

Address:
Cross Streets (nearest / between) N. Dixie Highway and Collins Court
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514216070210 — Landgrant _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — Block D — Lot 2-4
UTM Coordinates: Zone ☐16 ☒17 — Easting 585088 — Northing 2877708
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1941 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1941 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1970 — Nature doors/wnds replaced,permastone added
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

ADG 1926 Corp (2017);TAS Associates (2014);Harris, E, Evans (2014), Fink (2014)

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

metal single light

Distinguishing Architectural Features (exterior or interior ornaments)

permastone/brick on front (S facade) and pilasters,coping along roofline, parapet on E facade

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09461

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

S:single metal door, 2 bay doors

Porch Descriptions (types, locations, roof types, etc.)

no porches

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ painted permastone/brick,pilasters, coping, and parapet (E elevation)

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

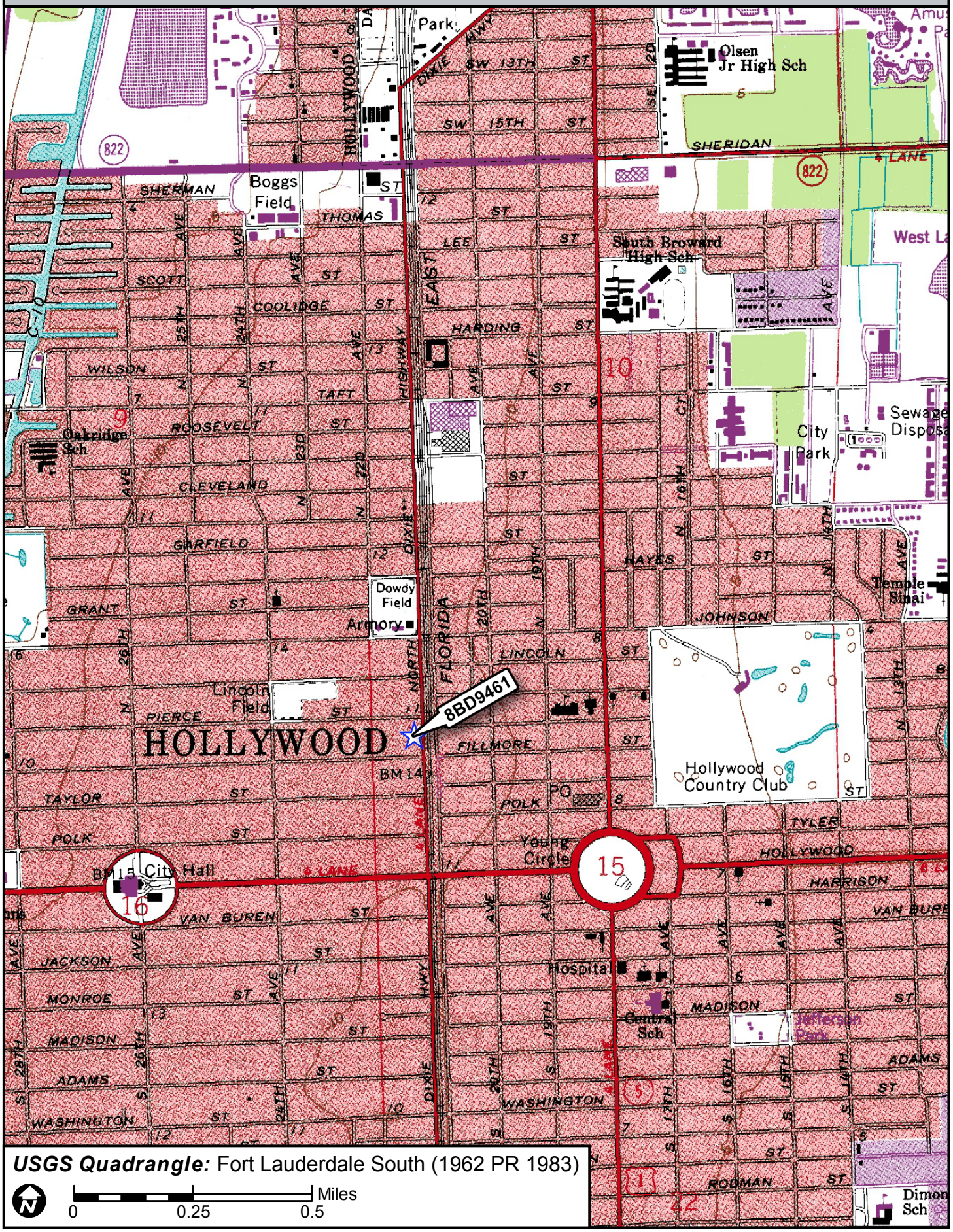
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9461

SKETCH MAP 8BD9461

USGS QUADRANGLE MAP **8BD9461**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09462
Field Date 9-20-2023
Form Date 9-25-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 526-530 N. Dixie Highway — **Multiple Listing** (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — **Survey #** (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

	Street Number	Direction	Street Name	Street Type	Suffix Direction
Address:	526-530	N	Dixie	Highway	

Cross Streets (nearest / between) N. Dixie Highway and Pierce Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — **USGS Date** 1962 — **Plat or Other Map** _____
City / Town (within 3 miles) Hollywood — **In City Limits?** ☐yes ☐no ☒unknown — **County** Broward
Township 51S — **Range** 42E — **Section** 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — **Irregular-name:** _____
Tax Parcel # 514216070010 — **Landgrant** _____
Subdivision Name HOLLYWOOD LITTLE RANCHES — **Block** A — **Lot** 1-4
UTM Coordinates: **Zone** ☐16 ☒17 — **Easting** 585085 — **Northing** 2877742
Other Coordinates: X: _____ Y: _____ — **Coordinate System & Datum** _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1948 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1948 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-1970 — Nature doors/wnds replaced,permastone added
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — **Builder** (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Majeed Begum Real Estate (2014);Mella Investments (2007);Simkowitz,T (1987), Schlichte, R and Mary, & Cossick, R and R

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — **Describe** _____

DESCRIPTION

Style Masonry Vernacular — **Exterior Plan** Rectangular — **Number of Stories** 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

metal single light

Distinguishing Architectural Features (exterior or interior ornaments)

permastone/brick on front (S facade) and E elevation

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

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HISTORICAL STRUCTURE FORM

Site # BD09462

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____

Structural System(s): 1. Concrete block 2. _____ 3. _____

Foundation Type(s): 1. Slab 2. _____

Foundation Material(s): 1. Concrete, Generic 2. _____

Main Entrance (stylistic details)

SE corner:double metal/glass door

Porch Descriptions (types, locations, roof types, etc.)

main entrance incised under the main roof

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource

A one-story Masonry Vernacular style commercial building w/ painted permastone/brick a corner incised entrance

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research

Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research

Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**

❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)

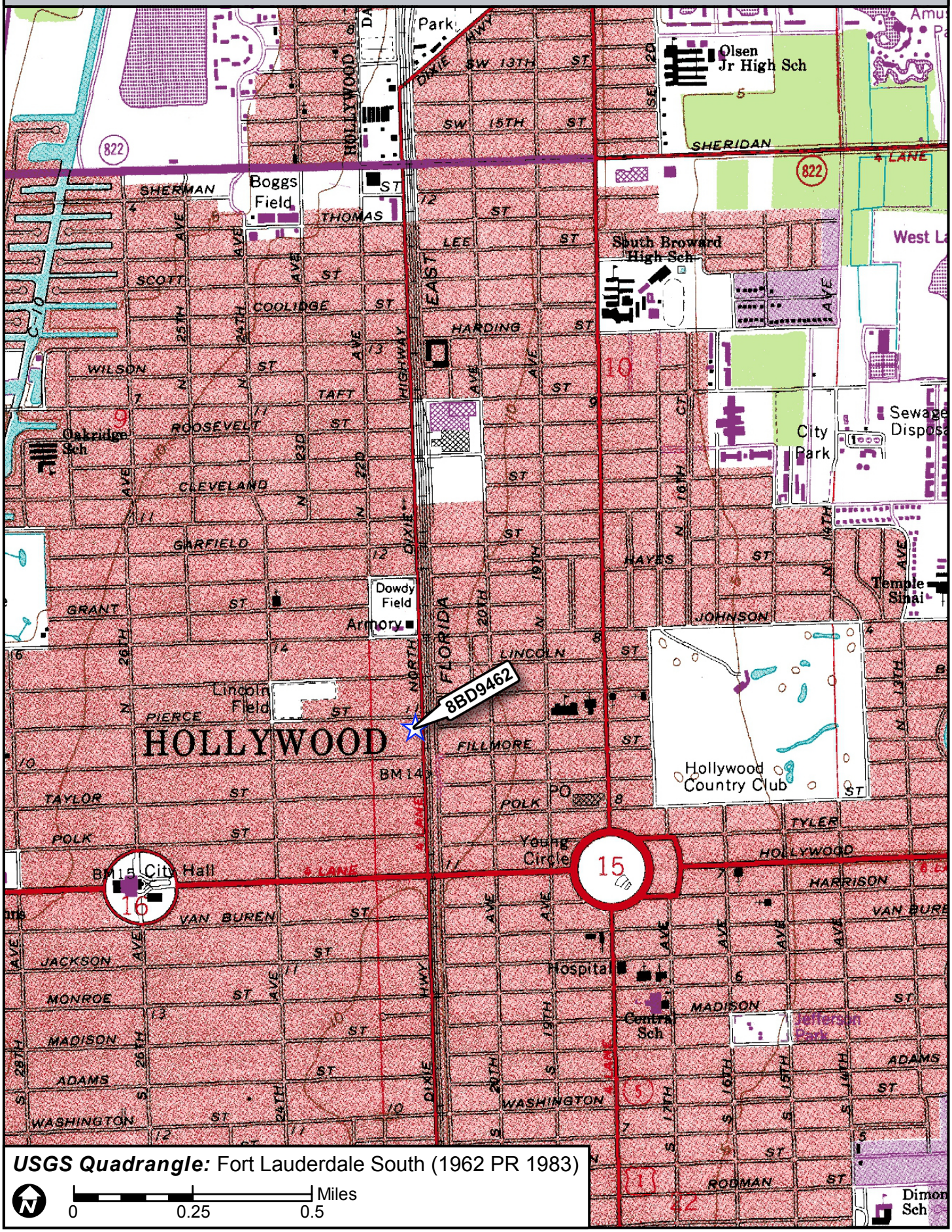
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9462

SKETCH MAP 8BD9462

USGS QUADRANGLE MAP **8BD9462**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09463
Field Date 9-20-2023
Form Date 9-28-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 505-515 N. 21st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
505-515	N	21st	Avenue	

Address:
Cross Streets (nearest / between) N. 21st Avenue and Fillmore Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Hollywood — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 51S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 514215012240 — Landgrant _____
Subdivision Name HOLLYWOOD — Block 13 — Lot 3-8
UTM Coordinates: Zone ☐16 ☒17 — Easting 585193 — Northing 2877669
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1956 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1956 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown — Date: _____ — Original address _____
Alterations: ☒yes ☐no ☐unknown — Date: 1-1-2000 — Nature doors/windows replaced
Additions: ☐yes ☒no ☐unknown — Date: _____ — Nature _____
Architect (last name first): _____ — Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Foan Investments(2022);Levy, L & N (1996);Merritt,L (1995);Ambassador Moving and Storage (1992);Brunson & Trevathan

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown — Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

paired 6-over-6 double-hung vinyl windows and one 4-over-4 double-hung vinyl window

Distinguishing Architectural Features (exterior or interior ornaments)

none

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09463

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W elevation/north end:single metal door next to two metal bay doors

Porch Descriptions (types, locations, roof types, etc.)

main entrance under a shed roof with metal pipe supports

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

A one-story Masonry Vernacular style storage/industrial building with two bay doors and a single metal entrance on the north end

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building has been altered and exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

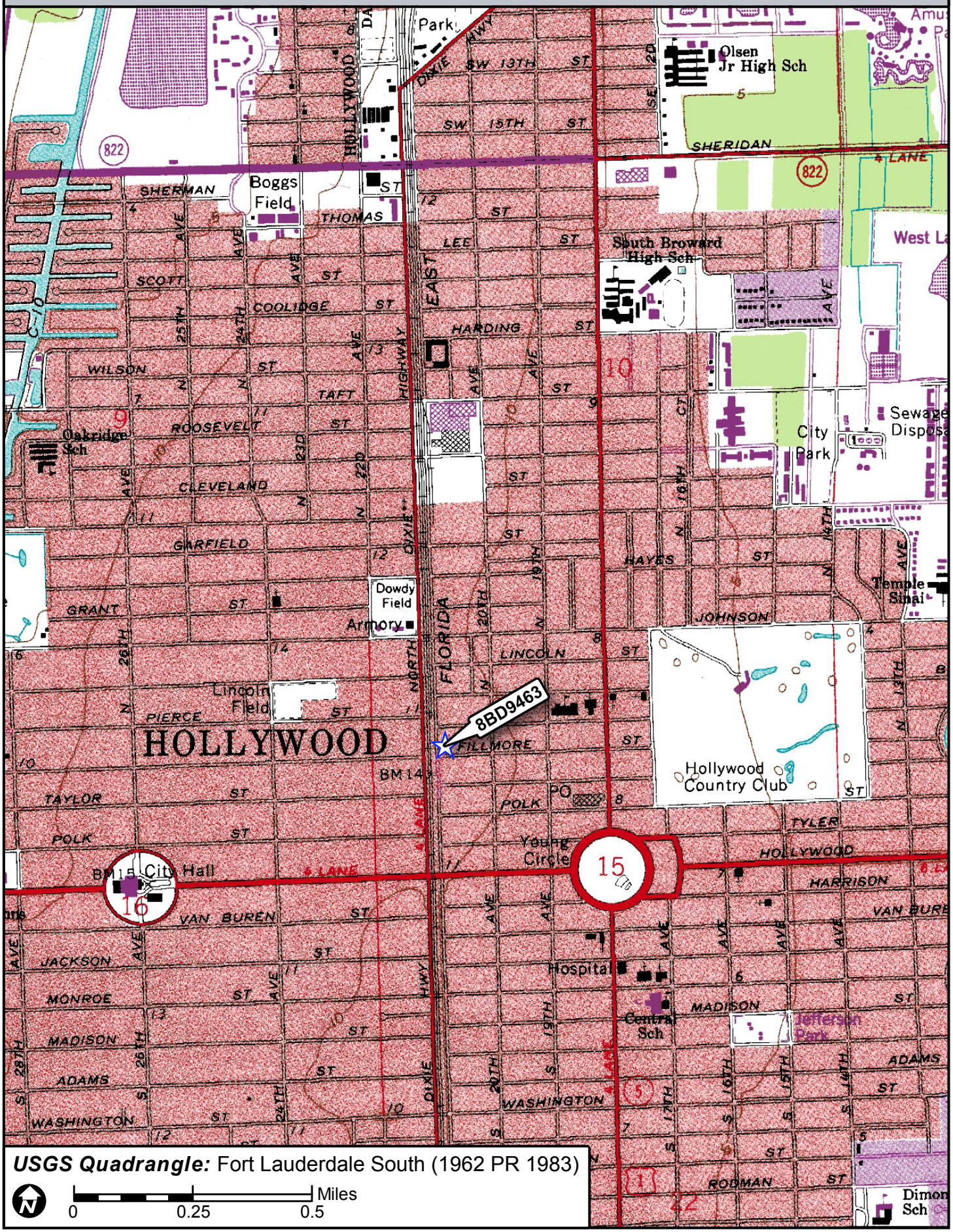
Required Attachments

❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9463

SKETCH MAP 8BD9463

USGS QUADRANGLE MAP **8BD9463**



USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

0 0.25 0.5 Miles

Page 1

☒ Original
☐ Update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE
Version 5.0 3/19

Site#8 BD09468
Field Date 9-20-2023
Form Date 10-2-2023
Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1506 SW 1st Avenue — Multiple Listing (DHR only) _____
Survey Project Name CRAS Broward Commuter Rail PD&E Study — Survey # (DHR only) _____
National Register Category (please check one) ☒building ☐structure ☐district ☐site ☐object
Ownership: ☐private-profit ☐private-nonprofit ☐private-individual ☒private-nonspecific ☐city ☐county ☐state ☐federal ☐Native American ☐foreign ☐unknown

LOCATION & MAPPING

Street Number	Direction	Street Name	Street Type	Suffix Direction
1506	SW	1st	Street	

Address:
Cross Streets (nearest / between) S Andrews Avenue Avenue and SW 21st Street
USGS 7.5 Map Name FORT LAUDERDALE SOUTH — USGS Date 1962 — Plat or Other Map _____
City / Town (within 3 miles) Fort Lauderdale — In City Limits? ☐yes ☐no ☒unknown — County Broward
Township 50S — Range 42E — Section 15 — ¼ section: ☐NW ☐SW ☐SE ☐NE — Irregular-name: _____
Tax Parcel # 504215102210 — Landgrant _____
Subdivision Name Croissant Park — Block 35 — Lot 5
UTM Coordinates: Zone ☐16 ☒17 — Easting 585675 — Northing 2887358
Other Coordinates: X: _____ Y: _____ — Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1958 ☒approximately ☐year listed or earlier ☐year listed or later
Original Use Commercial — From (year): 1958 — To (year): CURR
Current Use _____ — From (year): _____ — To (year): _____
Other Use _____ — From (year): _____ — To (year): _____
Moves: ☐yes ☒no ☐unknown Date: _____ Original address _____
Alterations: ☐yes ☒no ☐unknown Date: _____ Nature _____
Additions: ☐yes ☒no ☐unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.)

Deo Pedia Holdings, Inc(2009);Thompson, W & T(1992); Marne, S & K

Is the Resource Affected by a Local Preservation Ordinance? ☐yes ☐no ☒unknown Describe _____

DESCRIPTION

Style Masonry Vernacular — Exterior Plan Rectangular — Number of Stories 1
Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. _____
Roof Material(s) 1. Built-up 2. _____ 3. _____
Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
Windows (types, materials, etc.)

none visible

Distinguishing Architectural Features (exterior or interior ornaments)

none

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

none

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ ☐Owner Objection	SHPO – Appears to meet criteria for NR listing: ☐yes ☐no ☐insufficient info Date _____ Init._____ KEEPER – Determined eligible: ☐yes ☐no Date _____ NR Criteria for Evaluation: ☐a ☐b ☐c ☐d (see *National Register Bulletin 15*, p. 2)	

Florida Master Site File / Div. of Historical Resources / R. A. Gray Bldg / 500 S Bronough St., Tallahassee, FL 32399-0250
Phone **850.245.6440** / Fax **850.245.6439** / E-mail **SiteFile@dos.myflorida.com**

HISTORICAL STRUCTURE FORM

Site # BD09468

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
Structural System(s): 1. Concrete block 2. _____ 3. _____
Foundation Type(s): 1. Slab 2. _____
Foundation Material(s): 1. Concrete, Generic 2. _____
Main Entrance (stylistic details)

W elevation:1 bay opening and one single metal door

Porch Descriptions (types, locations, roof types, etc.)

the metal door on the W elevation has a small metal overhang/awning

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous
Narrative Description of Resource

This is a one-story commercial structure with a flat roof,with one metal bay door and a single metal door with a small metal overhang/awning. There are no visible windows.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (select all that apply)

☒FMSF record search (sites/surveys)	☐library research	☐building permits	☐Sanborn maps
☒FL State Archives/photo collection	☐city directory	☐occupant/owner interview	☐plat maps
☒property appraiser / tax records	☒newspaper files	☐neighbor interview	☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS)	☐historic photos	☐interior inspection	☐HABS/HAER record search

☒other methods (describe) USDA historic aerial photographs (PALMM)
Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

Janus library

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information
Explanation of Evaluation (**required**, whether significant or not; use separate sheet if needed)

This building exhibits a common style found in South Florida, and lacks historical significance. Therefore, the building is considered ineligible for listing in the National Register individually and as part of a historic district.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
Document description _____ File or accession #'s _____

2) Document type Field maps Maintaining organization Janus Research
Document description _____ File or accession #'s _____

RECORDER INFORMATION

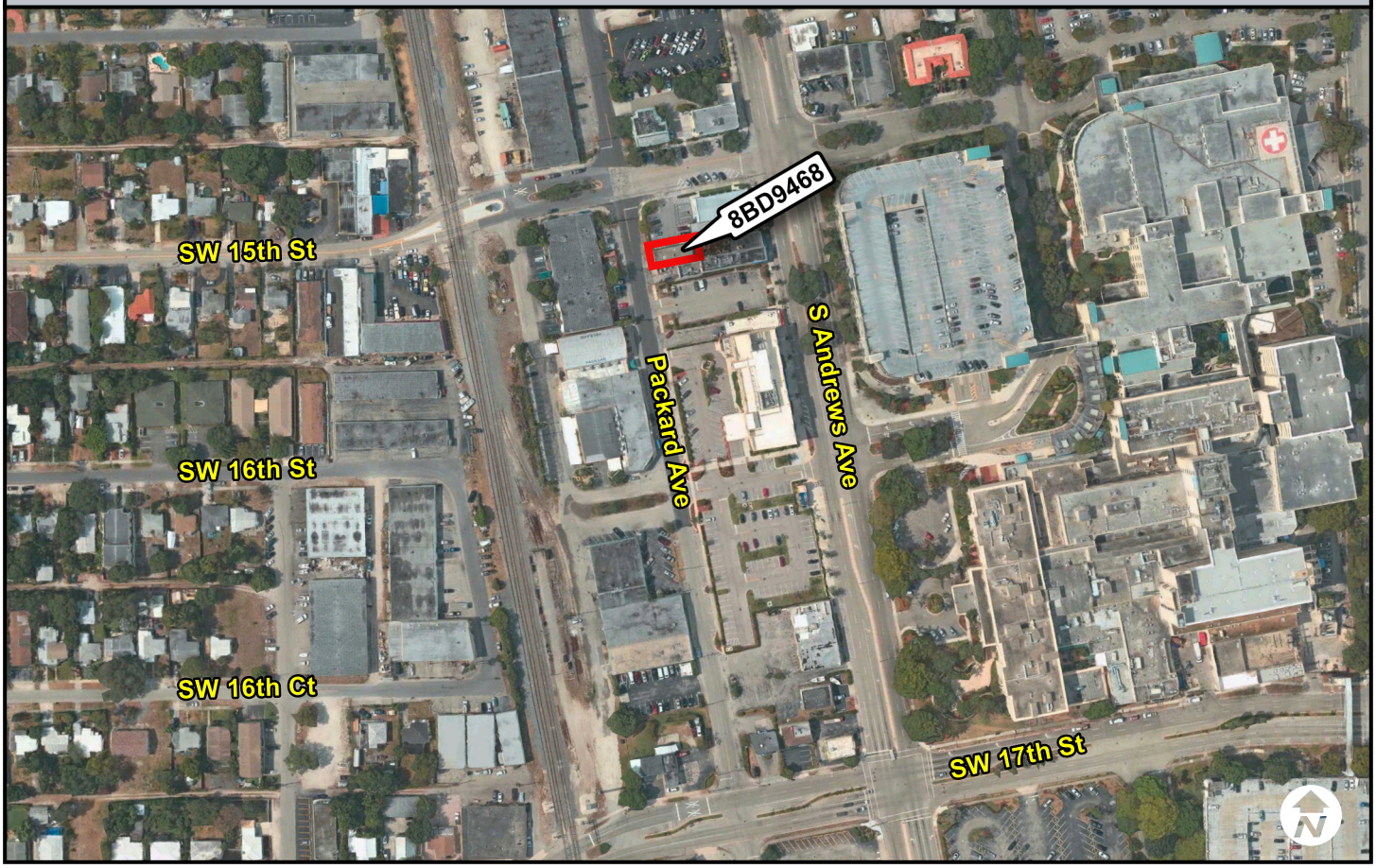
Recorder Name Janus Research Affiliation Janus Research
Recorder Contact Information 1107 N Ward St,Tampa, FL 33607/813.636.8200/janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

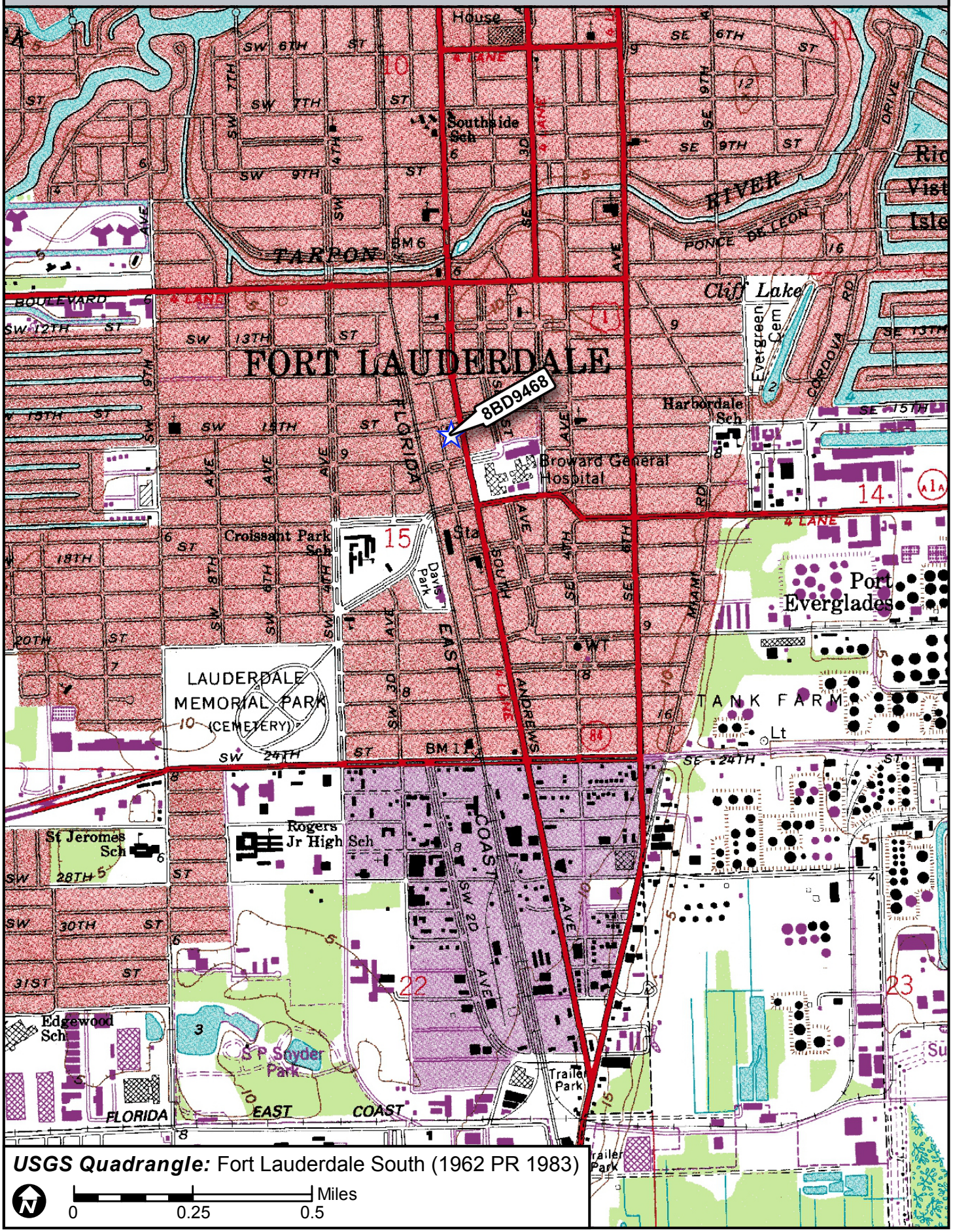
❶ **USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED**
❷ **LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)
❸ **PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**
When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH 8BD9468

SKETCH MAP 8BD9468



USGS QUADRANGLE MAP **8BD9468**



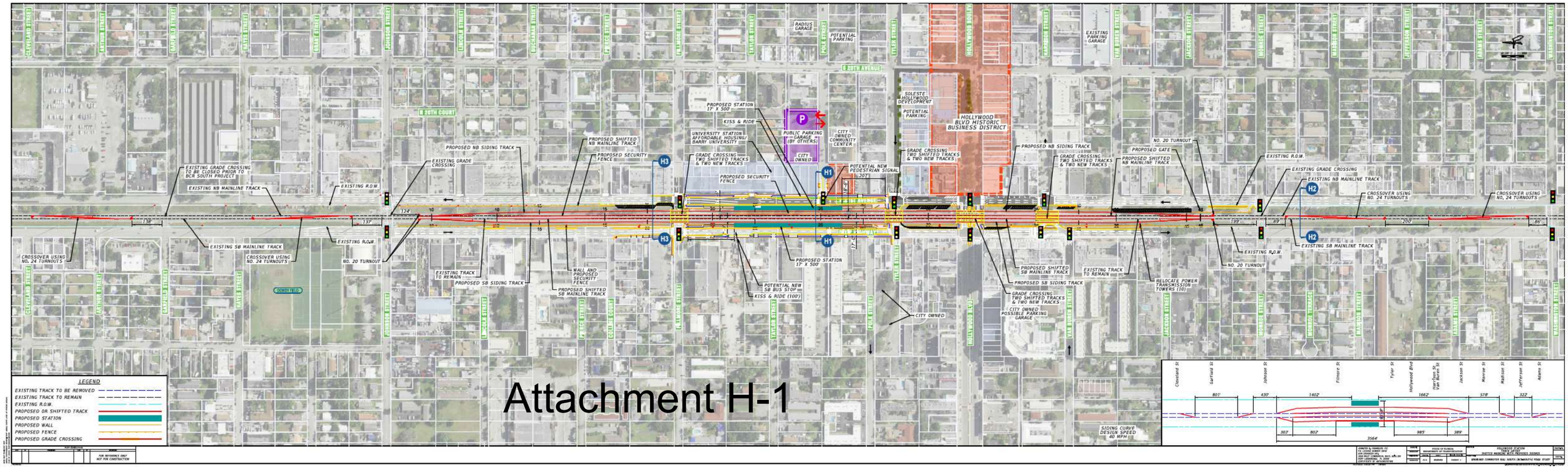
USGS Quadrangle: Fort Lauderdale South (1962 PR 1983)

N

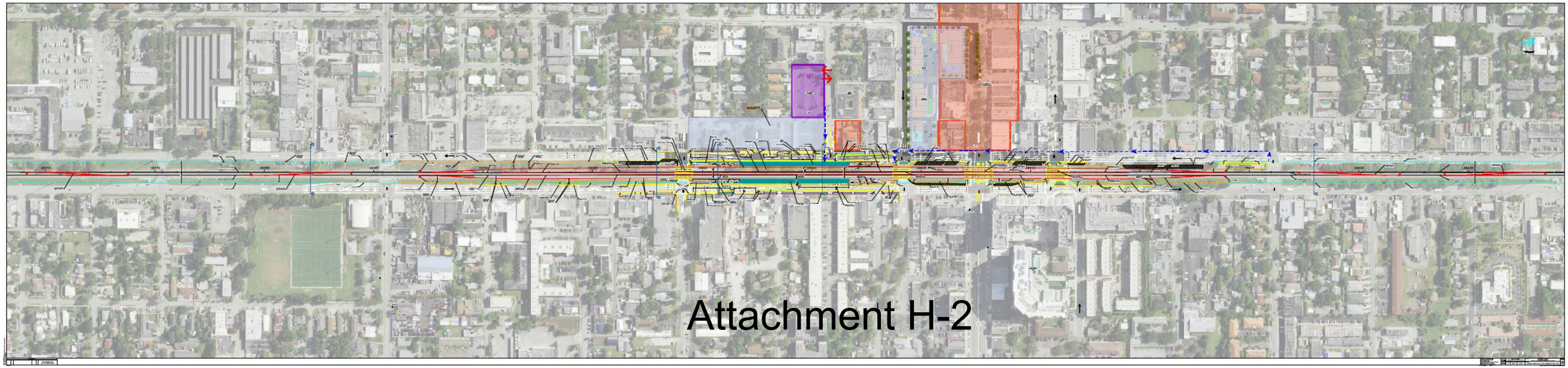
0 0.25 0.5 Miles

Appendix C: Hollywood Station:

- Track layout details (Attachment H-1)
- Roadway detailed layouts and dimensions (Attachment H-2)
- Typical sections (Attachments H-3 & H-4)



Attachment H-1



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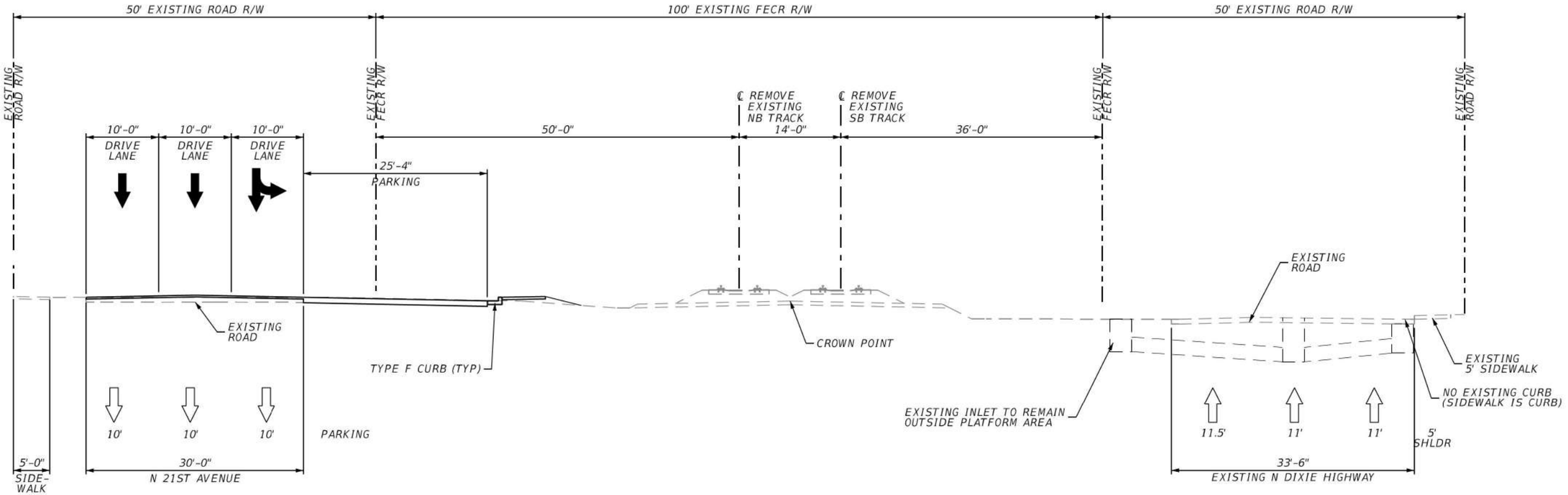

HOLLYWOOD STATION SECTION H1-H1
SHIFTED MAINLINE - PROPOSED SIDINGS
JUST NORTH OF GRANT STREET

NOTE: TYPICAL SECTIONS LOOK SOUTH

ATTACHMENT H-3

AUG 8, 2023
NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEERING INC.
3250 WEST COMMERCIAL BLVD, Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION 4213

BROWARD COUNTY Transit

TRANSPORTATION DEPARTMENT
RAIL DIVISION

CITY	RAILROAD	FINANCIAL PROJECT NO.
FORT LAUDERDALE, DANIA BEACH, HALLANDALE, HOLLYWOOD	FECR/ BRIGHTLINE	452240-1

SHEET TITLE: HOLLYWOOD STATION PLATFORM TYPICAL SECTION NORTH OF GRANT STREET

SHEET NO. 7

PROJECT NAME: BROWARD COMMUTER RAIL SOUTH (BCR SOUTH) PD&E STUDY

TNORVIEL 11/3/2023 2:14:13 PM ...\Roadway\PlanSet\TYPDRD07.dgn

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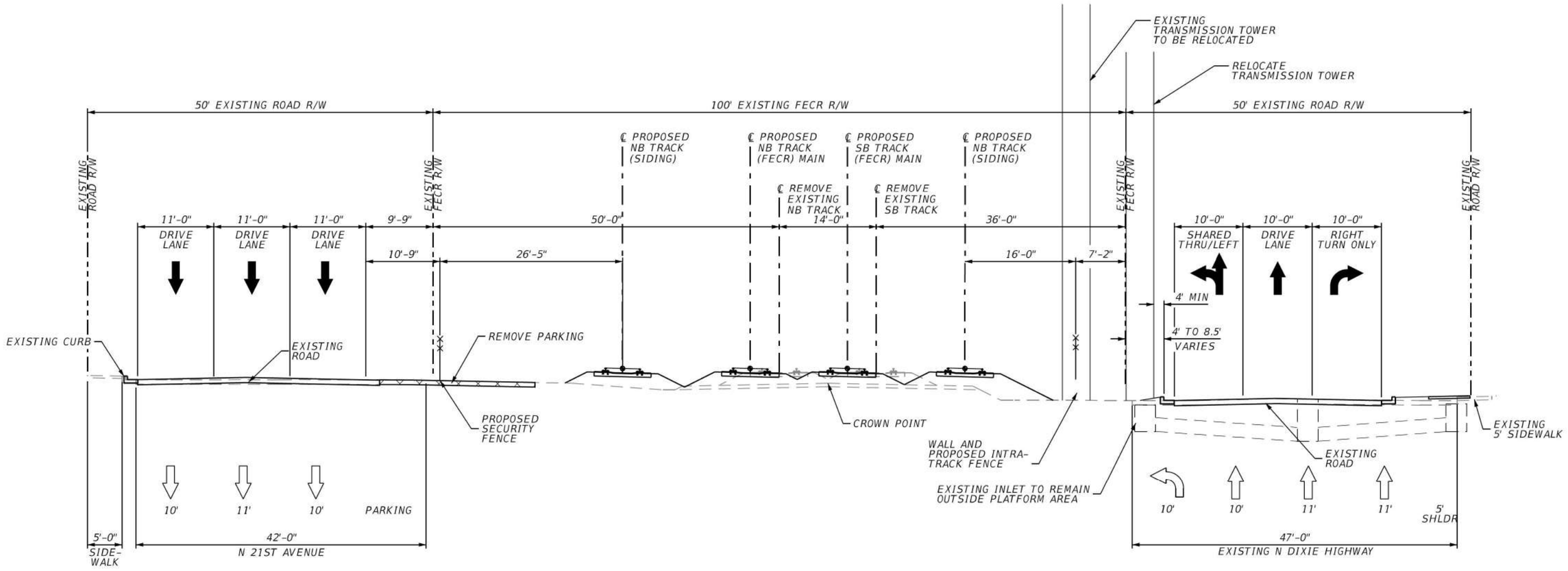

HOLLYWOOD STATION SECTION H2-H2
SHIFTED MAINLINE - PROPOSED SIDINGS
JUST NORTH OF FILLMORE STREET

NOTE: TYPICAL SECTIONS LOOK SOUTH

ATTACHMENT H-4

AUG 8, 2023
NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEERING INC.
3250 WEST COMMERCIAL BLVD, Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION 4213

BROWARD COUNTY Transit

TRANSPORTATION DEPARTMENT
RAIL DIVISION

CITY	RAILROAD	FINANCIAL PROJECT NO.
FORT LAUDERDALE, DANIA BEACH, HALLANDALE, HOLLYWOOD	FECR/ BRIGHTLINE	452240-1

SHEET TITLE: HOLLYWOOD STATION TYPICAL SECTION NORTH OF FILLMORE STREET

SHEET NO. 8

PROJECT NAME: BROWARD COMMUTER RAIL SOUTH (BCR SOUTH) PD&E STUDY

TNORVIEL 11/3/2023 2:14:17 PM ...\Roadway\PlanSet\TYPDRD08.dgn

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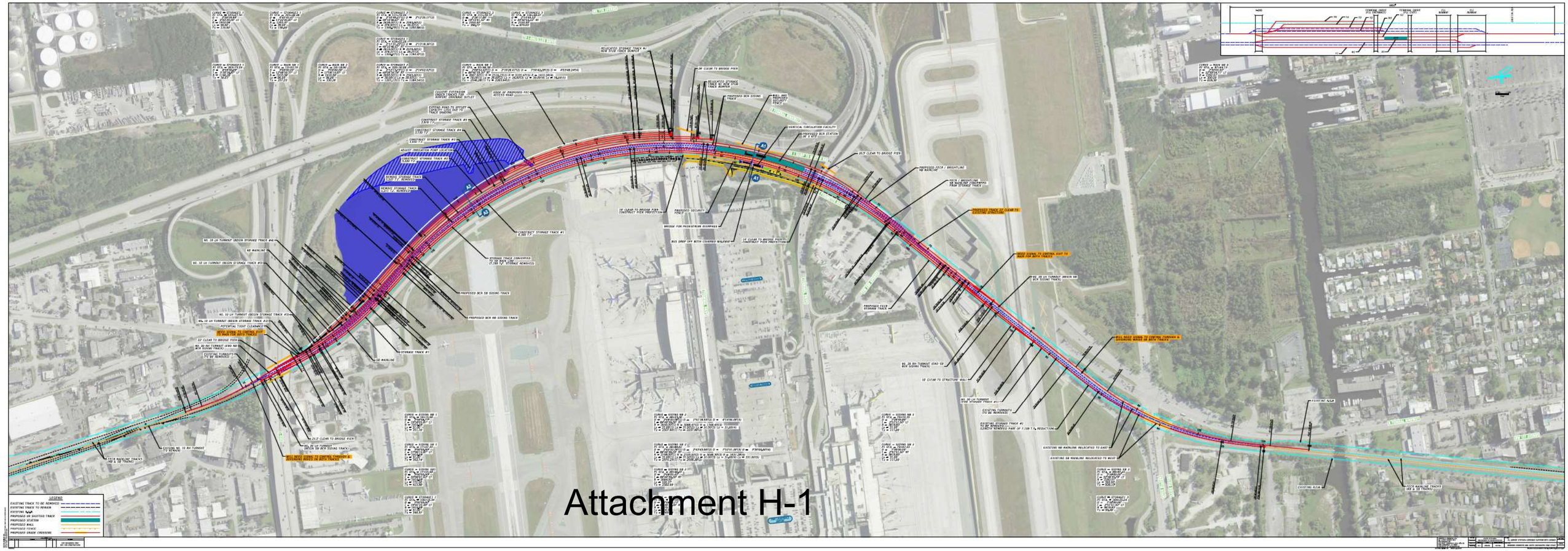
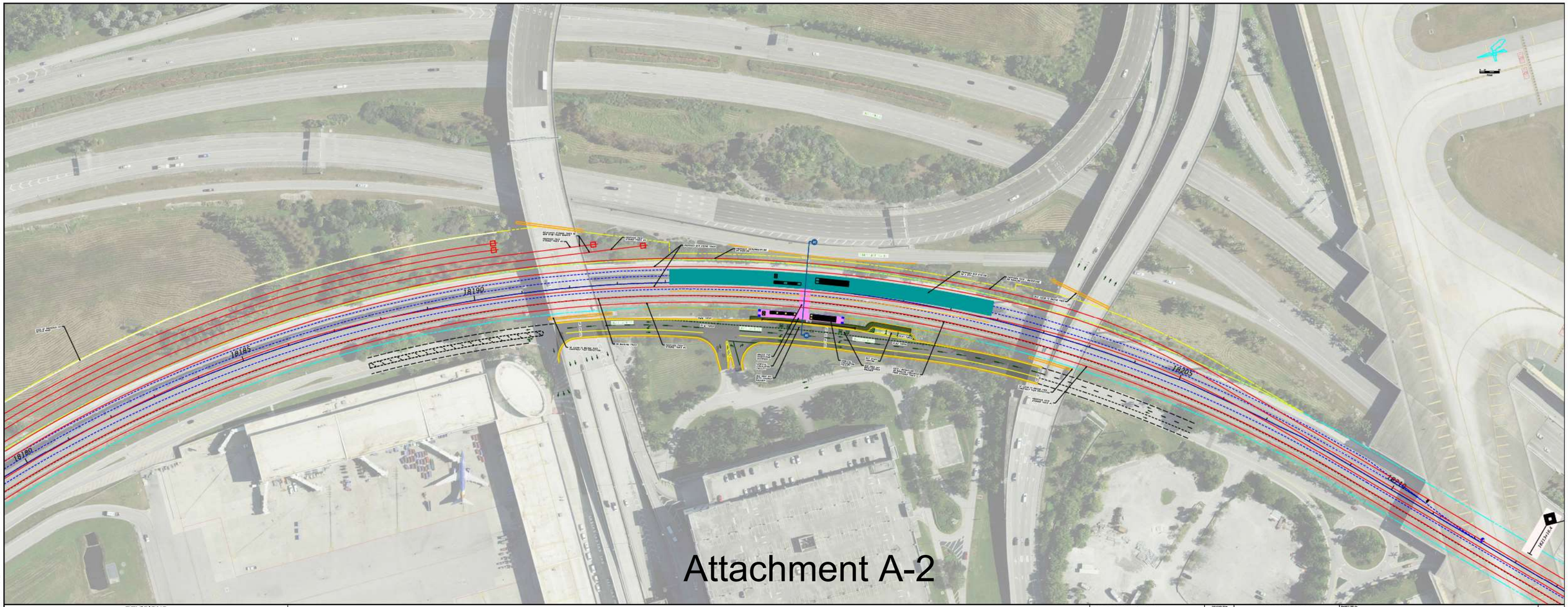
Appendix D: Fort Lauderdale Airport Station:

- Detailed track layouts with dimensions and stationing (Attachment A-1)
- Roadway concept and dimensions (Attachment A-2)
- Typical sections (Attachment A-3 and A-4).



Attachment H-1



BASE MAP YEARS JULY 2021
AERIAL PHOTOGRAPHY: FIRST AERIAL PHOTO LOOK UP SYSTEM (ARIUS)
YEAR OF AERIAL PHOTOGRAPHY: 2019

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
					FOR REFERENCE ONLY NOT FOR CONSTRUCTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEER INC.
3250 WEST COMMERCIAL BLVD, Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION

DRAWN BY:
CHECKED BY:
DESIGNED BY:
CHECKED BY:

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

ROAD NO.	COUNTY	FINANCIAL PROJECT ID
N/A	BROWARD	452240-1

SHEET TITLE: FLL AIRPORT STATION - CENTERED PLATFORM WITH SIDINGS
PROJECT NAME: BROWARD COMMUTER RAIL SOUTH (BCR-SOUTH) PD&E STUDY
REF. DWG. NO.:
SHEET NO.:

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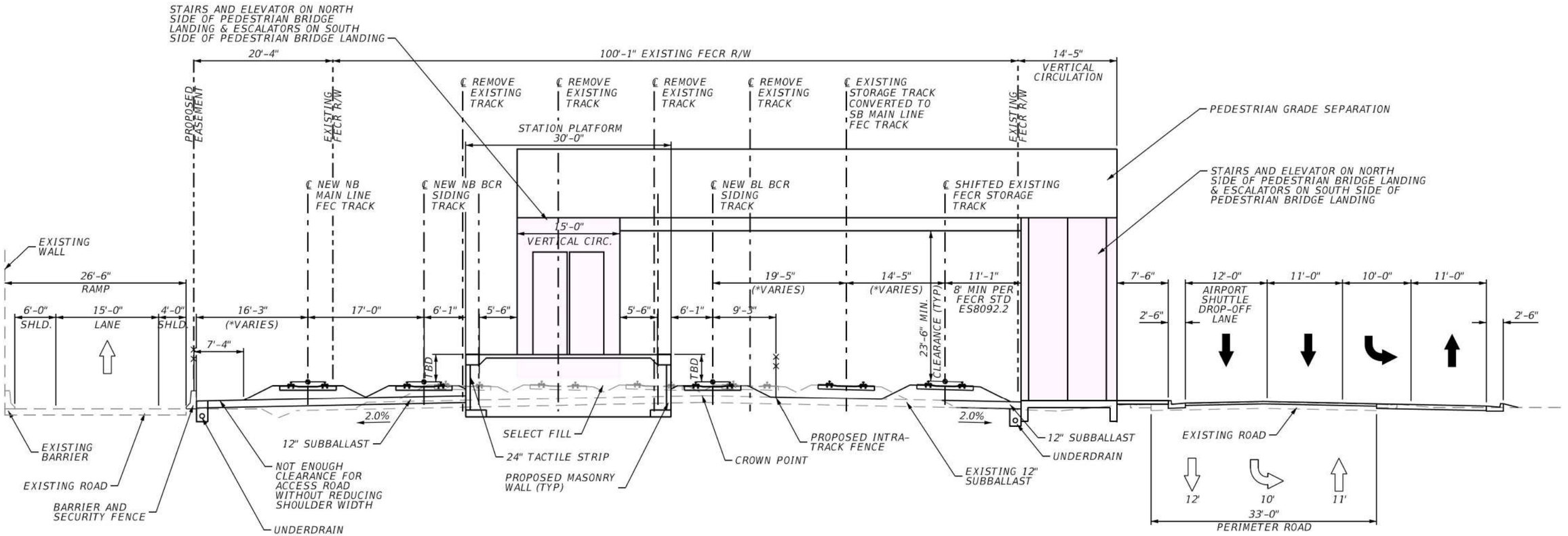

FORT LAUDERDALE AIRPORT STATION SECTION A1-A1
SHIFTED MAINLINE
NEW SIDINGS WITH CENTER PLATFORM

NOTE: TYPICAL SECTIONS LOOK SOUTH

* TRACK CENTERS FROM EXISTING TRACKS VARY ALONG LENGTH OF PLATFORM
18'-6" MIN. AT PLATFORM
17'-0" MIN. OUTSIDE PLATFORM

ATTACHMENT A-3

AUG 8, 2023
NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEERING INC.
3250 WEST COMMERCIAL BLVD, Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION 4213

BROWARD COUNTY Transit

TRANSPORTATION DEPARTMENT
RAIL DIVISION

CITY	RAILROAD	FINANCIAL PROJECT NO.
FORT LAUDERDALE, DANIA BEACH, HALLANDALE, HOLLYWOOD	FECR/ BRIGHTLINE	452240-1

SHEET TITLE: FLL AIRPORT STATION PLATFORM TYPICAL SECTION SHIFTED MAIN, NEW SIDINGS & SHIFTED STORAGE TRACK

SHEET NO. 5

PROJECT NAME: BROWARD COMMUTER RAIL SOUTH (BCR SOUTH) PD&E STUDY

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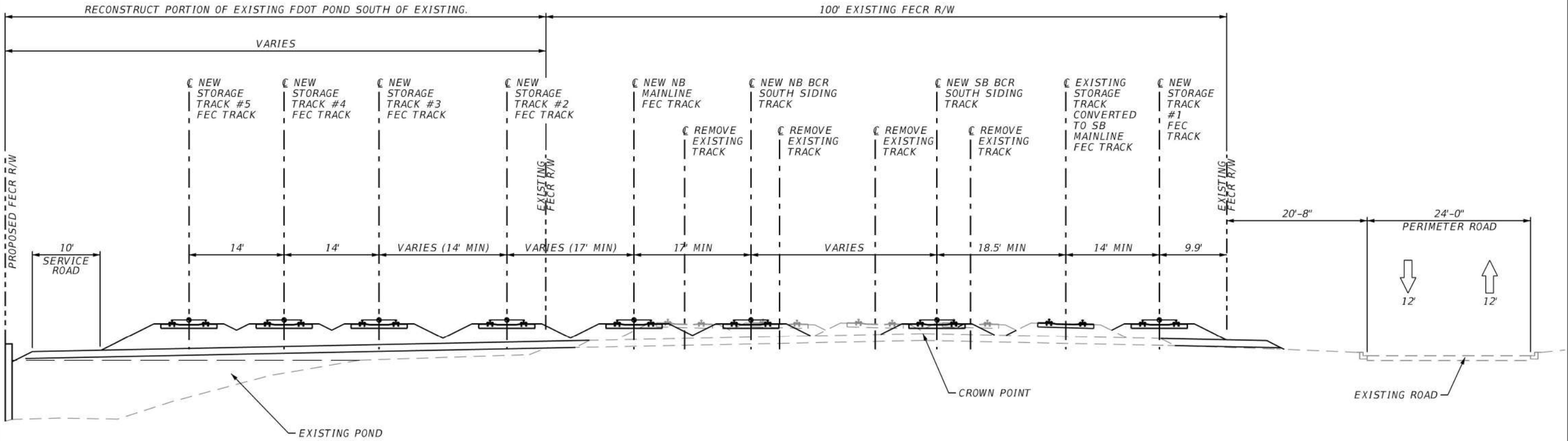


FORT LAUDERDALE AIRPORT STATION YARD SECTION A2-A2

CENTERED STATION
NEW SIDINGS WITH MAINLINE SHIFTED TO OUTSIDE
YARD STORAGE TRACKS

NOTE: TYPICAL SECTIONS LOOK SOUTH

ATTACHMENT A-4

AUG 8, 2023
NOT TO SCALE

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS	
DATE	DESCRIPTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEERING INC.
3250 WEST COMMERCIAL BLVD, Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION 4213

BROWARD COUNTY Transit

TRANSPORTATION DEPARTMENT
RAIL DIVISION

CITY	RAILROAD	FINANCIAL PROJECT NO.
FORT LAUDERDALE, DANIA BEACH, HALLANDALE, HOLLYWOOD	FECR/ BRIGHTLINE	452240-1

SHEET TITLE: FLL AIRPORT STATION YARD SECTION RECONFIGURED MAIN, NEW SIDINGS, & STORAGE TRACKS

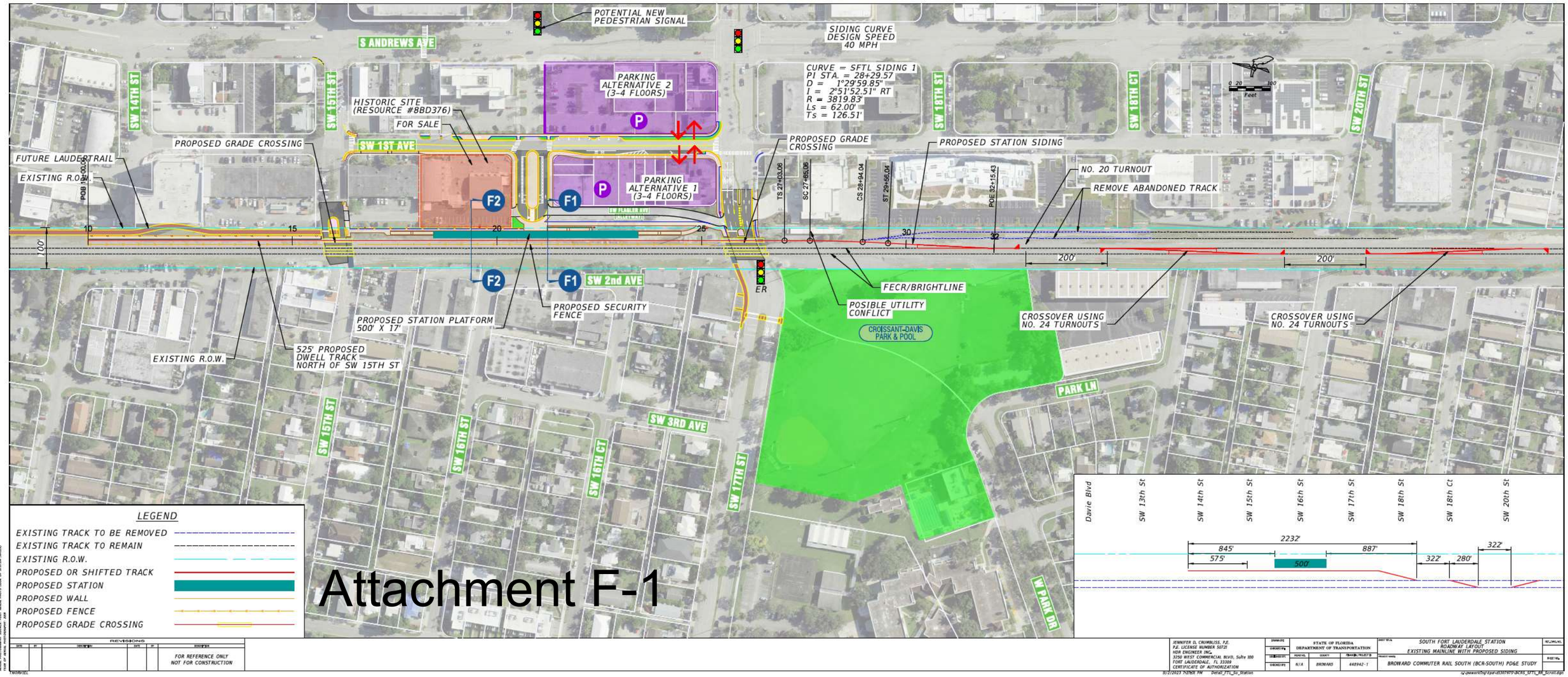
SHEET NO. 6

PROJECT NAME: BROWARD COMMUTER RAIL SOUTH (BCR SOUTH) PD&E STUDY

TNORVIEL 11/3/2023 2:14:08 PM ...\Roadway\PlanSet\TYPDRD06.dgn

Appendix E: South Fort Lauderdale Station:

- Full track layout details (Attachment F-1)
- Roadway layout details (Attachment F-2)
- Typical sections (Attachment F-3 and F-4)



Attachment F-1

Attachment F-2

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
					FOR REFERENCE ONLY NOT FOR CONSTRUCTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEER INC.
3250 WEST COMMERCIAL BLVD; Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

DISTRICT	COUNTY	FINANCIAL PROJECT ID
N/A	BROWARD	452240-1

SOUTH FORT LAUDERDALE STATION
ROADWAY LAYOUT
EXISTING MAINLINE WITH PROPOSED SIDING

BROWARD COMMUTER RAIL SOUTH (BCR-SOUTH) PD&E STUDY

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11/7/2023 6:54:33 PM
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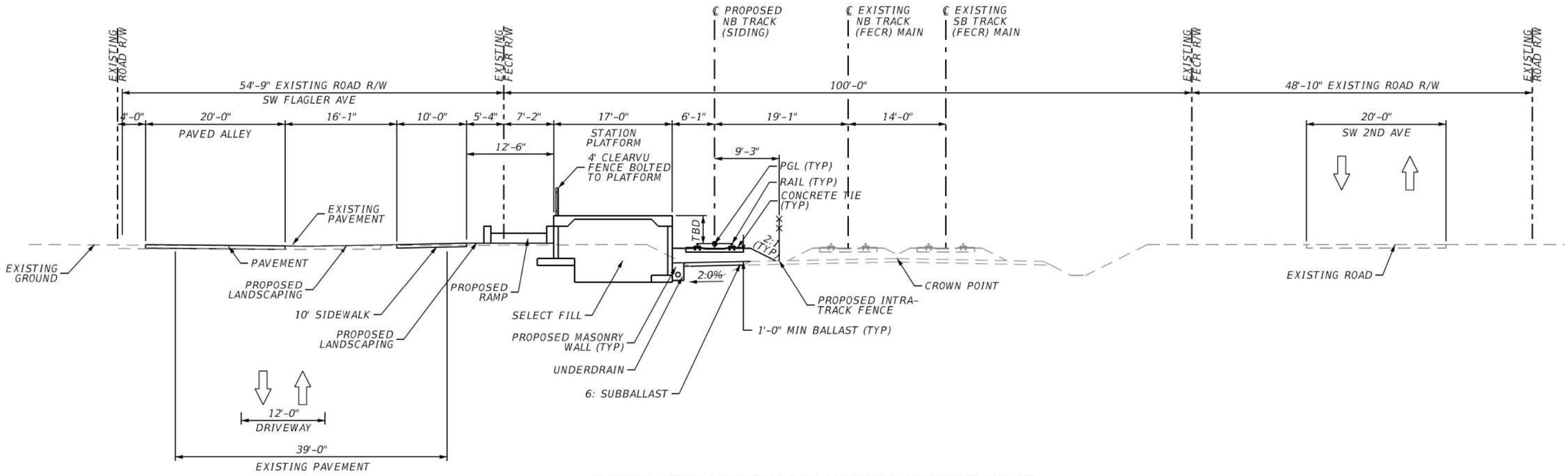

SOUTH FORT LAUDERDALE STATION SECTION F1-F1
BETWEEN SW 16TH STREET AND SW 17TH STREET

NOTE: TYPICAL SECTIONS LOOK SOUTH

ATTACHMENT F-3

AUG 8, 2023
NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEERING INC.
3250 WEST COMMERCIAL BLVD, Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION 4213

BROWARD COUNTY Transit

TRANSPORTATION DEPARTMENT
RAIL DIVISION

CITY	RAILROAD	FINANCIAL PROJECT NO.
FORT LAUDERDALE, DANIA BEACH, HALLANDALE, HOLLYWOOD	FECR/ BRIGHTLINE	452240-1

SHEET TITLE: SOUTH FT LAUDERDALE STATION PLATFORM TYPICAL SECTION BETWEEN SW 16TH & SW 17TH STREET

SHEET NO. 2

PROJECT NAME: BROWARD COMMUTER RAIL SOUTH (BCR SOUTH) PD&E STUDY

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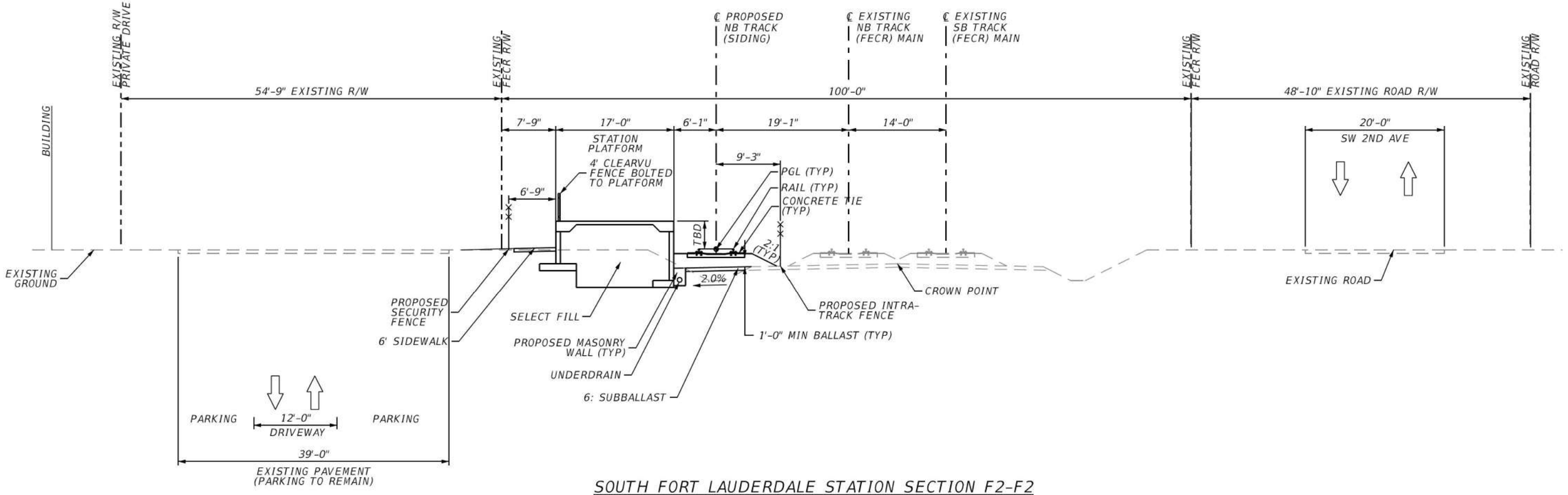


SOUTH FORT LAUDERDALE STATION SECTION F2-F2
BETWEEN SW 15TH STREET AND SW 16TH STREET

NOTE: TYPICAL SECTIONS LOOK SOUTH

ATTACHMENT F-4

AUG 8, 2023
NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION

JENNIFER D. CRUMBLISS, P.E.
P.E. LICENSE NUMBER 50721
HDR ENGINEERING INC.
3250 WEST COMMERCIAL BLVD, Suite 100
FORT LAUDERDALE, FL 33309
CERTIFICATE OF AUTHORIZATION 4213

BROWARD COUNTY Transit

TRANSPORTATION DEPARTMENT
RAIL DIVISION

CITY	RAILROAD	FINANCIAL PROJECT NO.
FORT LAUDERDALE, DANIA BEACH, HALLANDALE, HOLLYWOOD	FECR/ BRIGHTLINE	452240-1

SHEET TITLE: SOUTH FT LAUDERDALE STATION PLATFORM TYPICAL SECTION BETWEEN SW 15TH & SW 16TH STREET

SHEET NO. 3

PROJECT NAME: BROWARD COMMUTER RAIL SOUTH (BCR SOUTH) PD&E STUDY

TNORVIEL 11/3/2023 2:13:53 PM ...\Roadway\PlanSet\TYPDRD03.dgn

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

Appendix F: Survey Log

Ent D (FMSF only) _____

Survey Log Sheet

Florida Master Site File
Version 5.0 3/19

Survey # (FMSF only) _____

Consult *Guide to the Survey Log Sheet* for detailed instructions.

Manuscript Information

Survey Project (name and project phase)

Cultural Resource Assessment Survey, Project Development and Environment (PD&E) Study, Broward Commuter Rail South, Broward County, Florida

Report Title (exactly as on title page)

Cultural Resource Assessment Survey, Project Development and Environment (PD&E) Study, Broward Commuter Rail South, Broward County, Florida, Financial Project ID: 417031-5-22-01

Report Authors (as on title page) 1. Janus Research 3. _____ 2. _____ 4. _____

Publication Year 2023 **Number of Pages in Report** (do not include site forms) 173

Publication Information (Give series, number in series, publisher and city. For article or chapter, cite page numbers. Use the style of *American Antiquity*.)

1107 N Ward Street, Tampa, FL 33607

Supervisors of Fieldwork (even if same as author) Names Streelman, Amy

Affiliation of Fieldworkers: Organization Janus Research City Tampa

Key Words/Phrases (Don't use county name, or common words like *archaeology*, *structure*, *survey*, *architecture*, *etc.*)

1. Hollywood 3. Antique Car Museum 5. Hollywood Blvd Commer 7. Ingram Arcade
2. Fort Lauderdale 4. FEC Railway 6. Broward Building 8. Hollywood Publishing

Survey Sponsors (corporation, government unit, organization, or person funding fieldwork)

Name Corridino Group Organization _____

Address/Phone/E-mail _____

Recorder of Log Sheet Janus Research **Date Log Sheet Completed** 10-12-2023

Is this survey or project a continuation of a previous project? ☒No ☐Yes: **Previous survey #s (FMSF only)** _____

Project Area Mapping

Counties (select every county in which field survey was done; attach additional sheet if necessary)

1. Broward 3. _____ 5. _____
2. _____ 4. _____ 6. _____

USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name FORT LAUDERDALE SOUTH Year 1994
2. Name _____ Year _____
3. Name _____ Year _____
4. Name _____ Year _____
5. Name _____ Year _____
6. Name _____ Year _____

Field Dates and Project Area Description

Fieldwork Dates: Start 6-30-2023 End 6-30-2023 **Total Area Surveyed** (fill in one) _____ hectares 135.58 acres

Number of Distinct Tracts or Areas Surveyed 3

If Corridor (fill in one for each) **Width:** _____ meters _____ feet **Length:** _____ kilometers _____ miles

Florida Master Site File / Div. of Historical Resources / R.A. Gray Bldg / 500 S Bronough St., Tallahassee, Florida 32399-0250
Phone 850.245.6440, Fax 850.245.6439, Email: SiteFile@dos.myflorida.com

Survey Log Sheet

Survey #_____

Research and Field Methods

Types of Survey (select all that apply): ☒archaeological ☐architectural ☒historical/archival ☐underwater ☐damage assessment ☐monitoring report ☐other(describe): _____

Scope/Intensity/Procedures

Visual survey for both archaeological and historic resources. Desktop analysis for archaeology.

Preliminary Methods (select as many as apply to the project as a whole)

☐Florida Archives (Gray Building)	☐library research- *local public*	☒local property or tax records	☒other historic maps	☐LIDAR
☐Florida Photo Archives (Gray Building)	☐library-special collection	☒newspaper files	☒soils maps or data	☐other remote sensing
☒Site File property search	☐Public Lands Survey (maps at DEP)	☒literature search	☐windshield survey	
☒Site File survey search	☒local informant(s)	☐Sanborn Insurance maps	☒aerial photography	

☐other (describe): _____

Archaeological Methods (select as many as apply to the project as a whole)

☐Check here if **NO** archaeological methods were used.

☐surface collection, controlled	☐shovel test-other screen size	☐block excavation (at least 2x2 m)	☐metal detector
☐surface collection, uncontrolled	☐water screen	☐soil resistivity	☐other remote sensing
☐shovel test-1/4"screen	☐posthole tests	☐magnetometer	☒pedestrian survey
☐shovel test-1/8" screen	☐auger tests	☐side scan sonar	☐unknown
☐shovel test 1/16"screen	☐coring	☐ground penetrating radar (GPR)	
☐shovel test-unscreened	☐test excavation (at least 1x2 m)	☐LIDAR	

☒other (describe): Desktop analysis

Historical/Architectural Methods (select as many as apply to the project as a whole)

☐Check here if **NO** historical/architectural methods were used.

☐building permits	☐demolition permits	☐neighbor interview	☐subdivision maps
☐commercial permits	☐windshield survey	☐occupant interview	☐tax records
☐interior documentation	☐local property records	☐occupation permits	☐unknown

☐other (describe): _____

Survey Results

Resource Significance Evaluated? ☒Yes ☐No

Count of Previously Recorded Resources 12 **Count of Newly Recorded Resources** 56

List Previously Recorded Site ID#s with Site File Forms Completed (attach additional pages if necessary)

BD375, BD376, BD381, BD383, BD414, BD888, BD4227, BD4373, BD4425, BD4776, BD8176, BD8182

List Newly Recorded Site ID#s (attach additional pages if necessary)

BD8176, BD8182, BD8252, BD8254-BD8256, BD8259, BD9326-BD9327, BD9330-BD9338, BD9339, BD9342-BD9350, BD9411-BD9432, BD9459-BD9463, and BD9468

Site Forms Used: ☐Site File Paper Forms ☒Site File PDF Forms

REQUIRED: Attach Map of Survey or Project Area Boundary

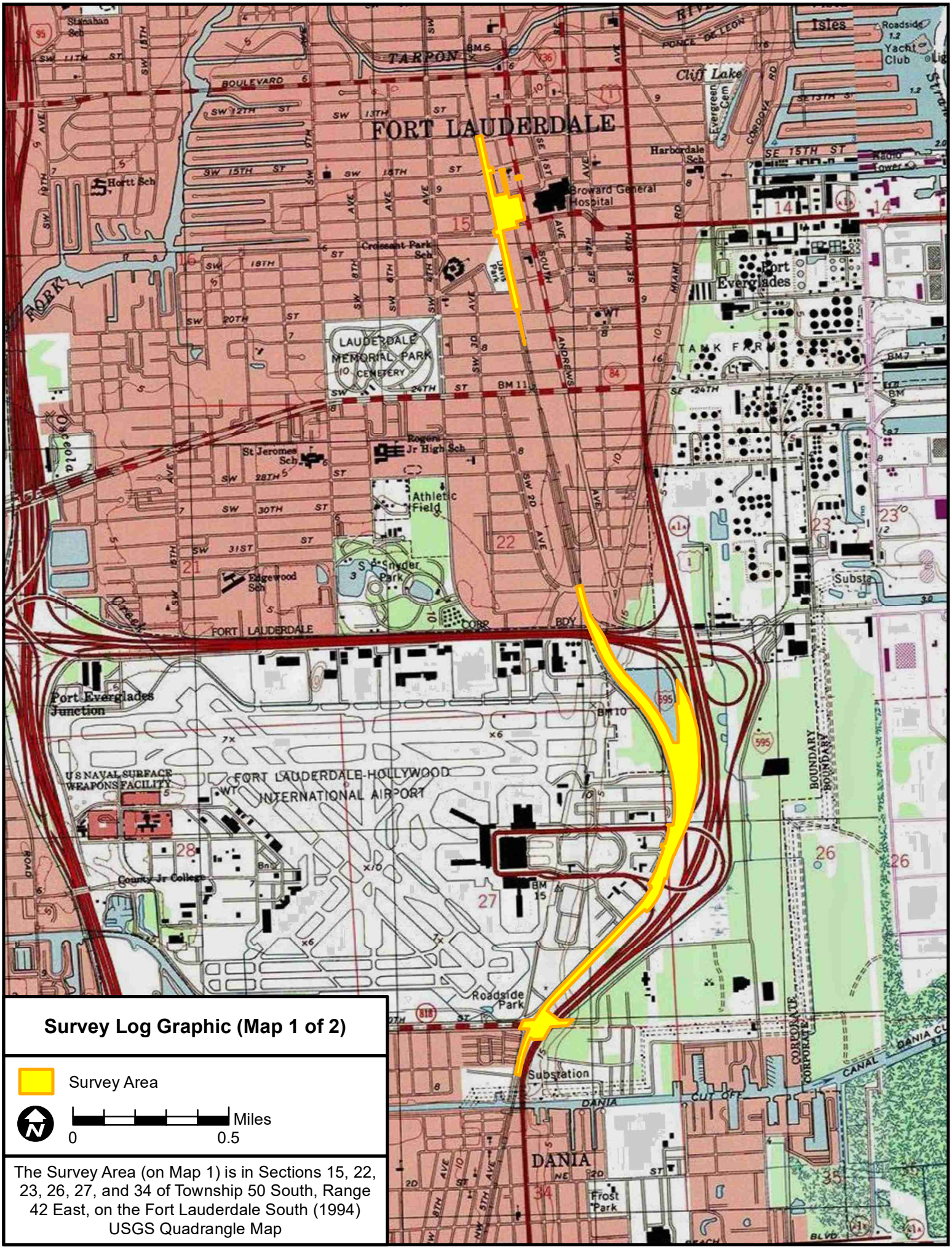
SHPO USE ONLY **SHPO USE ONLY** **SHPO USE ONLY**

Origin of Report: ☐872 ☐Public Lands ☐UW ☐1A32 # _____ ☐Academic ☐Contract ☐Avocational ☐Grant Project # _____ ☐Compliance Review: CRAT # _____

Type of Document: ☐Archaeological Survey ☐Historical/Architectural Survey ☐Marine Survey ☐Cell Tower CRAS ☐Monitoring Report ☐Overview ☐Excavation Report ☐Multi-Site Excavation Report ☐Structure Detailed Report ☐Library, Hist. or Archival Doc ☐Desktop Analysis ☐MPS ☐MRA ☐TG ☐Other: _____

Document Destination: Plottable Projects **Plotability:** _____

Florida Master Site File / Div. of Historical Resources / R.A. Gray Bldg / 500 S Bronough St., Tallahassee, Florida 32399-0250
Phone 850.245.6440, Fax 850.245.6439, Email: SiteFile@dos.myflorida.com



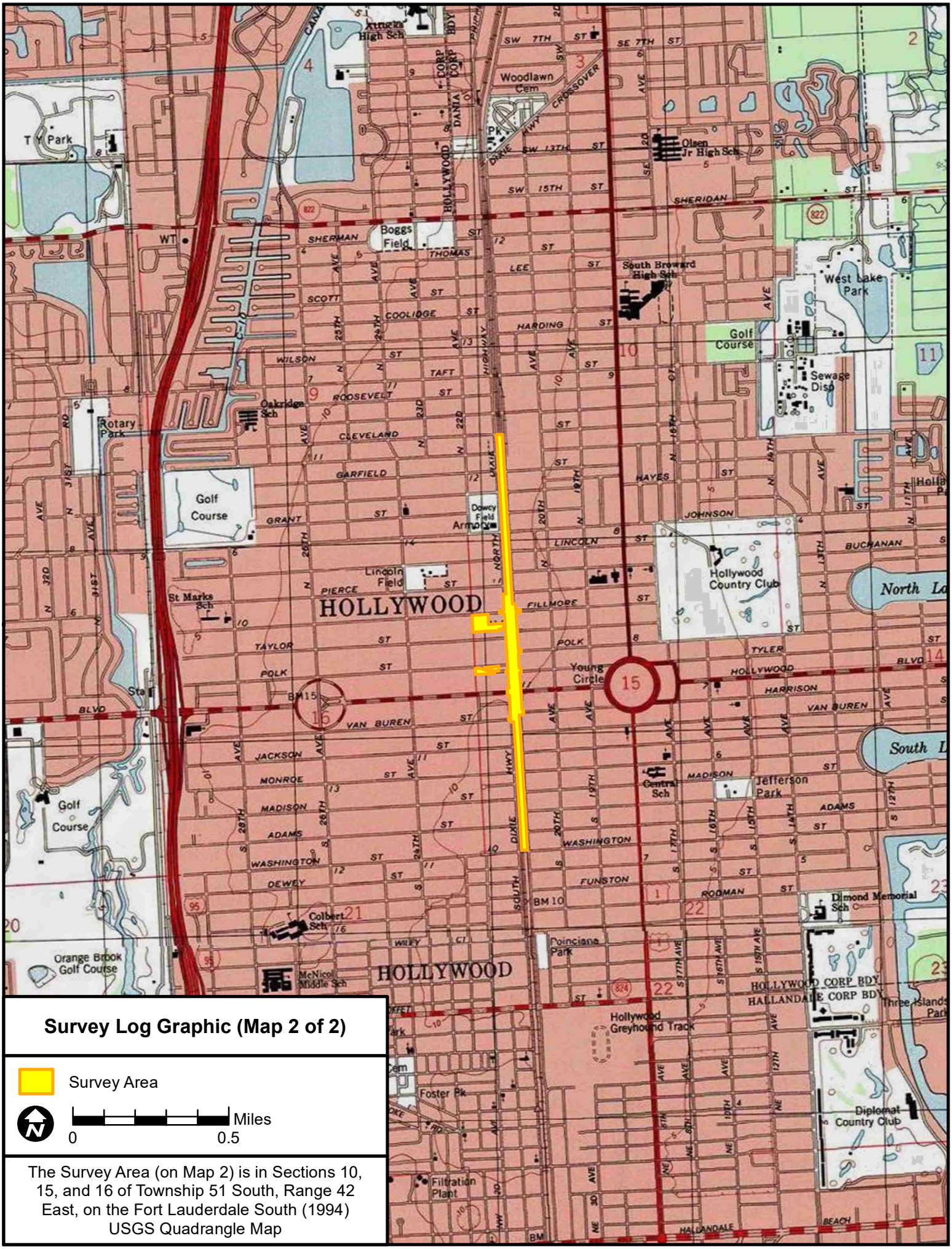
Survey Log Graphic (Map 1 of 2)

Survey Area

Miles

0 0.5

The Survey Area (on Map 1) is in Sections 15, 22, 23, 26, 27, and 34 of Township 50 South, Range 42 East, on the Fort Lauderdale South (1994) USGS Quadrangle Map


HOLLYWOOD
HOLLYWOOD
Survey Log Graphic (Map 2 of 2)
Survey Area
N
Miles
0
0.5
The Survey Area (on Map 2) is in Sections 10, 15, and 16 of Township 51 South, Range 42 East, on the Fort Lauderdale South (1994) USGS Quadrangle Map