

FINAL CULTURAL RESOURCE ASSESSMENT SURVEY

State Road (SR) 5/US-1 Federal Highway Bridge

From CR A1A to Beach Road,
Palm Beach County, Florida

Addendum To

Jupiter US-1/Intracoastal Waterway Bridge

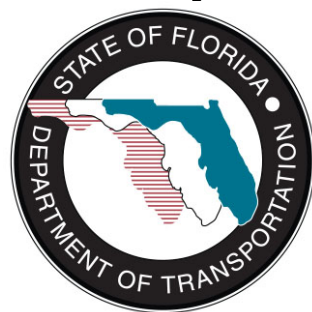
From Ocean Boulevard (Mile Post 10.567)
to Beach Road (Mile Post 11.127),
Palm Beach County, Florida

Financial Project ID: 428400-1-22-01

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

District IV
3400 WEST COMMERCIAL BOULEVARD
FORT LAUDERDALE, FLORIDA 33309-3421

January 2017



The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried out by FDOT pursuant to 23 U.S.C. § 327 and a Memorandum of Understanding dated December 14, 2016 and executed by FHWA and FDOT.

EXECUTIVE SUMMARY

This cultural resource assessment survey (CRAS) of State Road (SR) 5/US-1 Federal Highway Bridge from CR A1A to Beach Road, Palm Beach County, Florida was undertaken by Janus Research at the request of the Florida Department of Transportation (FDOT), District 4, in 2016. This report is an addendum to the CRAS of the Jupiter US-1/Intracoastal Waterway Bridge from Ocean Boulevard (Mile Post 10.567) to Beach Road (Mile Post 11.127), Palm Beach County, Florida (Janus Research 2013). The purpose of this CRAS addendum was to locate and evaluate potential archaeological and historic resources within the area of potential effect (APE) and to assess eligibility for inclusion in the *National Register of Historic Places* (National Register) according to criteria set forth in 36 CFR Section 60.4.

This assessment was designed and implemented to comply with Section 106 of the *National Historic Preservation Act (NHPA) of 1966* (Public Law 89-655, as amended), as implemented by 36 CFR 800 -- *Protection of Historic Properties* (incorporating amendments effective August 5, 2004); Section 4(f) of the *Department of Transportation Act of 1966*, as amended (49 USC 303); Stipulation VII of the *Programmatic Agreement among the Federal Highway Administration (FHWA), the Advisory Council on Historic Preservation (ACHP), the Florida Division of Historical Resources (FDHR), the State Historic Preservation Officer (SHPO), and the FDOT Regarding Implementation of the Federal-Aid Highway Program in Florida* (Section 106 Programmatic Agreement, effective March 2016); Chapter 267, *Florida Statutes*; and the minimum field methods, data analysis, and reporting standards embodied in the FDHR's *Cultural Resource Management Standards and Operational Manual* (February 2003), and Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code*. In addition, this report was prepared in conformity with standards set forth in Part 2, Chapter 12 (*Archaeological and Historic Resources*) of the FDOT *Project Development and Environment Manual* (revised, January 1999). All work also conforms to professional guidelines set forth in the *Secretary of Interior's Standards and Guidelines for Archaeology and Historic Preservation* (48 FR 44716, as amended and annotated) and Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code*.

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northern end of the project area to the east of US-1 and no cultural material was identified within any of the tests. Subsurface testing was not feasible in portions of the archaeological APE due to the presence of existing roadway, berm, pavement, sidewalk, and buried utilities.

Three historic resources were identified during the 2013 CRAS, including one bridge, one bridge remnant, and one historic building: Jupiter Bridge (8PB14878), Old US-1 Loxahatchee Bridge (8PB14572), and the World War II U.S. Navy Married Men's Housing Quarters (8PB15991). In a letter dated May 9, 2013 (Appendix A), the SHPO concurred with the individual National Register eligibility of the Jupiter Bridge (8PB14878). This concurrence was made prior to the completion of the 2013 CRAS, as FDOT requested an early rendering of eligibility for the Jupiter Bridge (8PB14878). The World War II U.S. Navy Married Men's Housing Quarters/500 Captain Armour's Way (8PB15991) was considered National Register-eligible and is locally designated within the Town of Jupiter. The Old US-1 Loxahatchee Bridge (8PB14592), of which only a remnant exists, was considered National Register-ineligible. The SHPO concurred with the findings of the 2013 CRAS in a letter dated August 30, 2016 (Appendix B).

Since the time of the 2013 CRAS, the Jupiter Bridge was determined 'Structurally Deficient' and it is proposed that the bridge be replaced. Additionally, the APE for the project was expanded at the request of FDHR staff and locally interested/affected parties. This expansion includes the area of the National Register-listed Jupiter Inlet Lighthouse (8PB65) and a wider area surrounding the bridge approaches, based on the proposed new bridge. This APE expansion was approved by Ms. Ginny Jones, Architectural Historian with the FDHR, in an email dated August 2, 2016 (Appendix C). The updated project plans and expanded APE necessitated the preparation of the current CRAS addendum. The environmental setting, precontact context, and historic context were discussed in detail within the 2013 CRAS (FMSF manuscript no. 20293), and therefore, this information has not been repeated in the addendum report.

As part of this addendum, a small portion of one previously recorded archaeological site, Jupiter Midden #2 (8PB35) was identified. Although this site is quite large, only a small portion of the site is present within the newly expanded archaeological APE. It is expressed within the APE as a lense of black dirt and oyster shell midden which is currently eroding out of the northern shore of the Loxahatchee River, just to the east of the Jupiter Bridge. Jupiter Midden #2 was determined by the SHPO as eligible for the National Register in 2011.

The historic resources survey for the addendum resulted in the identification of 18 total resources, including a lighthouse, bridge, bridge remnant, cemetery, wharf, staircase, two resource groups, and 10 buildings. Seven of the identified resources are previously recorded (8PB65, 8PB6186, 8PB14572, 8PB14878, 8PB15991, 8PB16182, and 8PB16191) and 11 are newly recorded (8PB16434-8PB16441 and 8PB16443-8PB16445). The individual National Register status of the previously recorded Old US-1 Loxahatchee Bridge (8PB14572), Jupiter Bridge (8PB14878), and World War II U.S. Navy Married Men's Housing Quarters (8PB15991) are detailed above.

The Jupiter Inlet Lighthouse (8PB65) was completed at the site of the Jupiter Lighthouse Reservation in 1859. For significance related to commerce and transportation, the lighthouse was listed in the National Register on October 15, 1973.

While the Tindall House (8PB6186) was first documented in 1990, the SHPO has not made a determination of National Register eligibility for this resource. In 2007, the restored Tindall House was relocated to serve as a permanent exhibit of the Jupiter Inlet Lighthouse and Museum. Although the Tindall House has been removed from its original location, it was found to meet National Register Criteria Consideration B for moved properties as part this study, and is considered individually National Register-eligible for its architectural value and association with the early pioneering history of the Jupiter area. The house is also locally-designated as a historic site in Palm Beach County.

In 2015, the United States Coast Guard (USCG) Family Housing for Long Range Aid to Navigation (LORAN)-C Station Jupiter Resource Group (8PB16191) was recorded, as well as the nine individual dwellings that make up the resource group. Only one of the individual units is located in the APE, LORAN-C Station, Jupiter Family Housing, Unit A (8PB16182). Both this individual unit and the resource group were determined National Register-ineligible by the SHPO in 2015 because the units are examples of common post-World War II military dwellings. In response to a September 6, 2016 request from Janus Research, Mr. Jason Aldridge, Compliance Review Supervisor and Deputy SHPO, confirmed the National Register ineligibility of this resource group (Appendix D).

The remaining newly recorded historic structures are considered National Register-eligible as contributing resources to the newly recorded potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). A district which contains both archaeological and historic sites. The historic resources include: Jupiter Lighthouse Cemetery (8PB16434), Jupiter Inlet Lighthouse Oil House (8PB16435), Jupiter Inlet Light Station Wharf (8PB16436), USCG Family Quarters, Unit A (8PB16437), USCG Family Quarters, Unit B (8PB16438), Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Jupiter Inlet Light Station Garage (8PB16441), Jupiter Inlet Light Station Auxiliary Pump House (8PB16444), and Jupiter Inlet Lighthouse Staircase (8PB16445). The National Register-listed Jupiter Inlet Lighthouse (8PB65) and determined National Register-eligible World War II U.S. Navy Married Men's Housing Quarters (8PB15991) are also considered contributing resources to the potential district. Although the LORAN-C Station Jupiter Resource Group (8PB16191) and LORAN-C Station Jupiter Family Housing, Unit A (8PB16182) were determined individually National Register-ineligible, these resources are significantly related to the history of the Jupiter Lighthouse Reservation and therefore, are contributing resource to the mixed district.

Although not a part of the archaeological APE, one additional previously recorded archaeological site, 8PB16068 was identified as a potentially contributing resource to the newly recorded Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). The Head/Assistant Light-Keeper's House Foundation (8PB16068) is located at the base of the Jupiter Inlet Lighthouse hill and consists of the archaeological remains of the house, which was constructed circa-1860 and destroyed by an intense fire in 1926.

The potential Jupiter Lighthouse Reservation Mixed Resource District is significant for its association with the early development of both the Town of Jupiter and Palm Beach County and the historical evolution of the area, from the time of the construction of the Jupiter Inlet Lighthouse in 1859 to the post-World War II period. The potential district is also significant for its association with the military, maritime history, and naval commerce and transportation. Therefore, the Jupiter Lighthouse Reservation is considered National Register–eligible under Criterion A. The district is also considered National Register–eligible under Criterion C for its collection of intact architecture from various time periods in the history of the Jupiter Lighthouse Reservation.

FMSF forms were prepared for all newly identified historic resources (8PB16434-8PB16441 and 8PB16443-8PB16445). Documentation was updated for structures contributing to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443): Jupiter Inlet Lighthouse (8PB65), World War II U.S. Navy Married Men’s Housing Quarters (8PB15991), and LORAN-C Station Jupiter Family Housing, Unit A (8PB16182). A FMSF form was updated for the Tindall House (8PB6186) because this structure was relocated to its present location and the SHPO has not made a decision regarding its National Register eligibility. Updated and newly prepared forms are located in Appendix E. Although FMSF forms were not updated for the Old US-1 Loxahatchee Bridge (8PB14572), Jupiter Bridge (8PB14878), and USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191), the previous forms are included in Appendix E.

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1.0 INTRODUCTION

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2.0 PROJECT DESCRIPTION

This project will address the structural and functional deficiencies of the existing Jupiter Bridge (Bridge No. 930005) over the Loxahatchee River/Atlantic Intracoastal Waterway (ICWW). The Project Development and Environment (PD&E) study evaluated vertical and horizontal alignment alternatives for the replacement of the bridge. The existing Jupiter Bridge was originally constructed in 1958. It is a four-lane, divided low-level bascule bridge providing a connection between communities within the Town of Jupiter to the south and the Village of Tequesta to the north. While the Jupiter Bridge itself is not part of Florida's Strategic Intermodal System (SIS) network, it crosses a designated SIS facility (the ICWW).

The current bridge typical section includes two eleven-foot inside travel lanes and two twelve-foot outside travel lanes; two-foot outside shoulders (both sides); bridge rail; and a seven-foot traffic separator. Traffic analysis was conducted and the results indicate that a four-lane section is sufficient to accommodate future traffic. Dedicated sidewalks and bicycle lanes are not provided, nor does a barrier exist between vehicles and pedestrians travelling along the bridge. Between County Road (CR) A1A (Ocean Boulevard) and the southern end of the bridge, US-1/SR 5 (Federal Highway) is generally a four-lane, divided roadway consisting of eleven to twelve-foot travel lanes with exclusive southbound left and right-turn lanes and a northbound free-flow ramp from CR A1A (Ocean Boulevard); curb and gutter; a two to seven-foot traffic separator; and guardrail. North of the bridge to Alternate A1A/Beach Road, US-1/SR 5 (Federal Highway) remains a four-lane, divided facility consisting of eleven to twelve-foot travel lanes with exclusive left and right-turn lanes; curb and gutter; guardrail; and a four to seventeen-foot landscaped median. Right-of-way (R/W) along the bridge is predominantly 200 feet; R/W along US-1/SR 5 (Federal Highway) tapers to 183 feet south of the bridge and is 205 feet north of the bridge, tapering down to 114 feet just north of Beach Road. The total length of the project is approximately 3,000 feet (0.57 mile).

The bridge has been the subject of a variety of FDOT studies over the last several years, specifically those commissioned to review the need for major bridge rehabilitation. Project stakeholders including the Town of Jupiter and the Palm Beach Metropolitan Planning Organization (MPO), expressed that there is a significant need to provide sidewalks and accommodate bicycle traffic in the project area, as the existing bridge does not provide dedicated facilities for these modes of travel. Throughout the process, it was determined based on bridge inspection and engineering evaluation that it is not feasible to add these facilities to the existing bridge structure. As such, bridge rehabilitation does not satisfy one of the primary elements of the project's purpose and need; therefore, the FDOT has determined that bridge replacement alternatives be evaluated to include dedicated bicycle lanes and sidewalks (on both sides).

The project is located in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 Photorevised [PR] 1983) United States Geological Survey (USGS) quadrangle map. The project location is depicted in Figure 1.

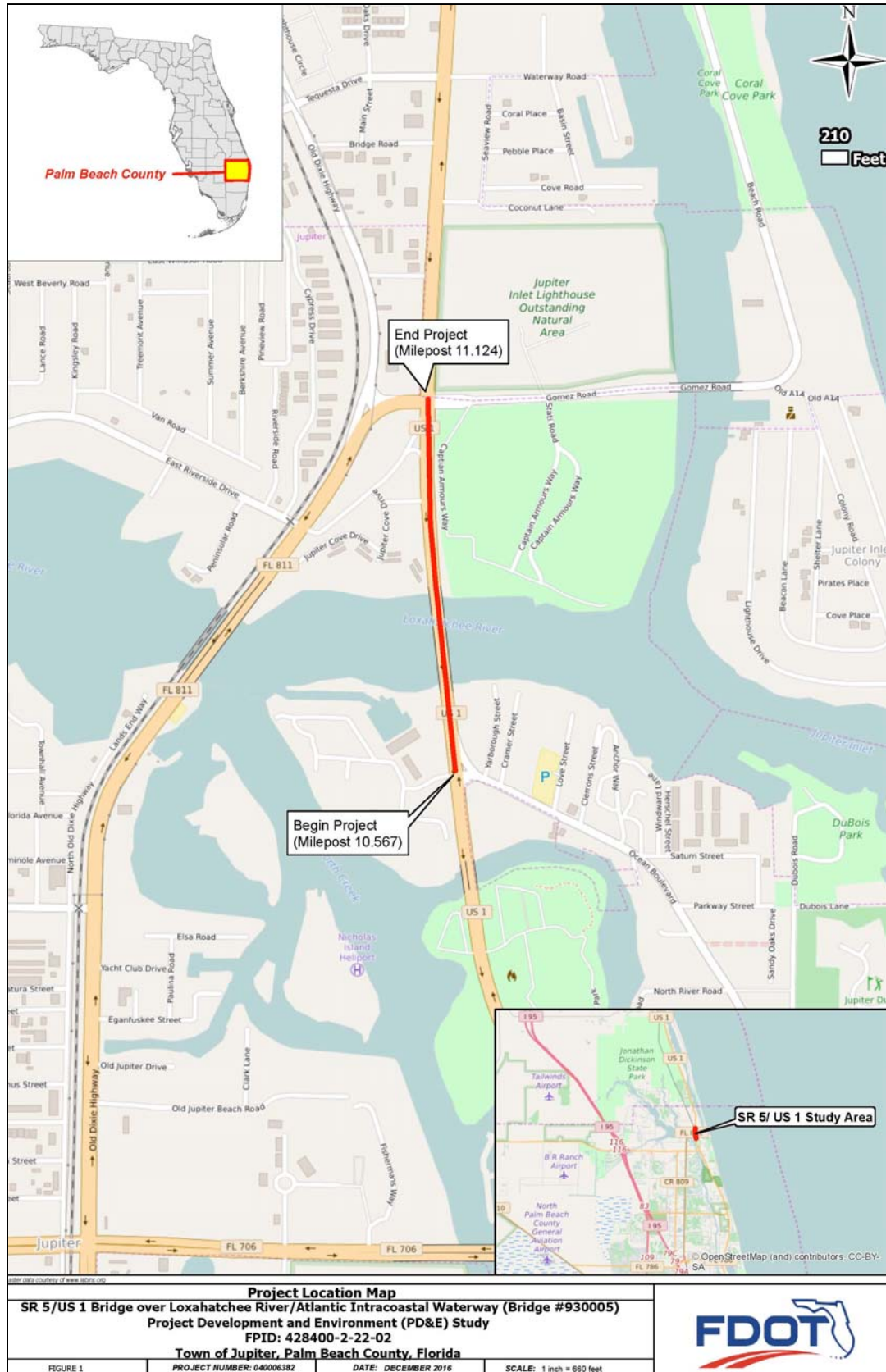


Figure 1: Project Location Map

2.1 Purpose and Need

Purpose

The purpose of this project is to address the structural and functional deficiencies of the existing bridge.

Needs

The need for the project is based on identified bridge deficiencies, including the deteriorating structural condition of the existing bridge, the substandard clearances at the navigable waterway channel, and the lack of adequate and safe pedestrian and bicycle accommodations for the surrounding community. In addition, a replacement bridge may reduce user delay costs and may provide consistency with adjacent project typical sections in the area. Each of the elements of need is described further below.

Structural Deficiencies

The Jupiter Bridge was determined to be 'Structurally Deficient', with a sufficiency rating of 50.8 (a rating of 50.0 or lower is categorized as unsatisfactory and provides justification for replacement) based on a bridge inspection conducted in September 2014. While the deck and channel conditions of the bridge have satisfactory ratings, the bridge superstructure and substructure have a poor rating of 4; therefore, the bridge is deemed structurally deficient due to the substandard condition of the superstructure and substructure. The condition of the bridge is anticipated to deteriorate further as the existing structure is currently beyond its maximum service life of 50 years. Due to the naturally corrosive environment, the superstructure and substructure of the bridge will continue to degrade and need further repair in the future. In addition, the bridge is susceptible to scour during major storm events and is considered "Scour Critical." Replacement of the bridge will address the deteriorating condition of the structure and maintain the connection between communities within Jupiter and Tequesta.

Substandard Navigational Clearance Requirements

As the Jupiter Bridge crosses the ICWW, it must meet all navigational guide clearance requirements set forth by the USCG. The USCG minimum bridge horizontal clearance requirement is 125 feet; the minimum vertical clearance requirement (above the Mean High Water [MHW] elevation at the face of the fender system) for a bascule bridge is 21 feet and for a fixed bridge is 65 feet. Presently, the existing horizontal clearance between the fender systems of the Jupiter Bridge over the ICWW is 90 feet; the existing vertical clearance is 25 feet over the MHW elevation at the face of the fenders and 28 feet at the center of the channel. Based on these clearances, only the horizontal clearance of the bridge does not meet current USCG requirements for a bascule bridge. This substandard horizontal clearance adds to the further deficiency of the existing bridge structure.

Deficient Bicycle and Pedestrian Accommodations

There are no pedestrian accommodations (sidewalks) or bicycle lanes provided on the Jupiter Bridge. Existing signage is provided indicating that bicyclists share the road with motorists. On the west side of SR 5/US-1, north of CR A1A (Ocean Boulevard), there is an existing six-foot at-grade sidewalk path which terminates at an observation deck/fishing pier. A sidewalk and pedestrian crossing also exist at the intersection of SR 5/US-1 and CR A1A (Ocean Boulevard). North of the bridge, existing sidewalk facilities begin at the intersection of SR

5/US-1 with Alternate A1A/Beach Road and continue north of the study area. Despite the lack of sidewalks and bicycle lanes, some pedestrians and bicyclists still cross the bridge by using the two-foot wide raised curb along the sides or by using the raised median separator down the center of the bridge. The two-foot tall post and beam bridge railings do not meet standards and further exacerbate the safety of pedestrians.

Secondary Criteria - Hurricane Evacuation

It should be noted that hurricane evacuation plans are set by the Florida Division of Emergency Management. This bridge currently meets hurricane evacuation requirements and would continue to meet them after replacement. In the event of an emergency evacuation, all four lanes of the bridge could be operated in the northbound direction, effectively doubling the capacity of the bridge. Therefore, a four-lane replacement bridge appears to be adequate to accommodate emergency evacuation traffic volumes.

3.0 ALTERNATIVES CONSIDERED

3.1 Typical Section

Bridge Typical Section

The proposed bridge typical section has four eleven-foot travel lanes, two in each direction, a 19.5-foot median, eight-foot shoulders which includes a buffered bicycle lane and eight-foot sidewalks. The sidewalk is separated from the shoulder using a raised traffic rail. There is an 11.5-foot side separation between the two-proposed bascule leaves to allow easy access for bridge inspection and maintenance.

Roadway Typical

The south roadway approach begins at the north approach of the US-1/CR A1A intersection. The US-1 median to the south is 22 feet wide. The proposed typical median width for the south approach varies from 22 feet to 19.5 feet. Other features of the typical section are four eleven-foot travel lanes, two lanes in each direction, and seven-foot buffered bicycle lanes, two-foot curb and gutter and eight-foot sidewalks on each side.

The typical section for the north roadway approach is similar but the median varies from 19.5 feet to the US-1 Beach Road/SR A1A intersection. The median width north of the intersection is 15.5 feet. The transition occurs through the intersection. The roadway typical section also includes seven-foot buffered bicycle lanes and eight-foot sidewalks on both sides. Some of the roadway widening will be contained on retaining walls to avoid impacts to adjacent properties including the Jupiter Lighthouse Park. No R/W acquisition is required for these roadway typical sections.

3.2 Horizontal and Vertical Alignment

3.2.1 Horizontal Alignment

The centerline for the new bridge will be at the same location as the centerline of the existing bridge. The new bridge has a total width of 100.5 feet which is almost 36 feet wider than the

existing bridge. The new bridge will extend 15.75 feet to the east and west of the existing bridge. The new bridge will be within existing FDOT R/W. The south roadway approach begins at the existing intersection of the US-1/CR A1A/Jupiter Harbour entrance and ends at the intersection of US-1/Alternate A1A/Beach Road. The horizontal alignment consists of an entrance tangent from begin project to 510 feet north of the bascule span of the proposed bridge. A horizontal curve with 5000-foot radius and normal crown is introduced and then a tangent section is used to the intersection at the end of the project.

3.2.2 Vertical Alignment

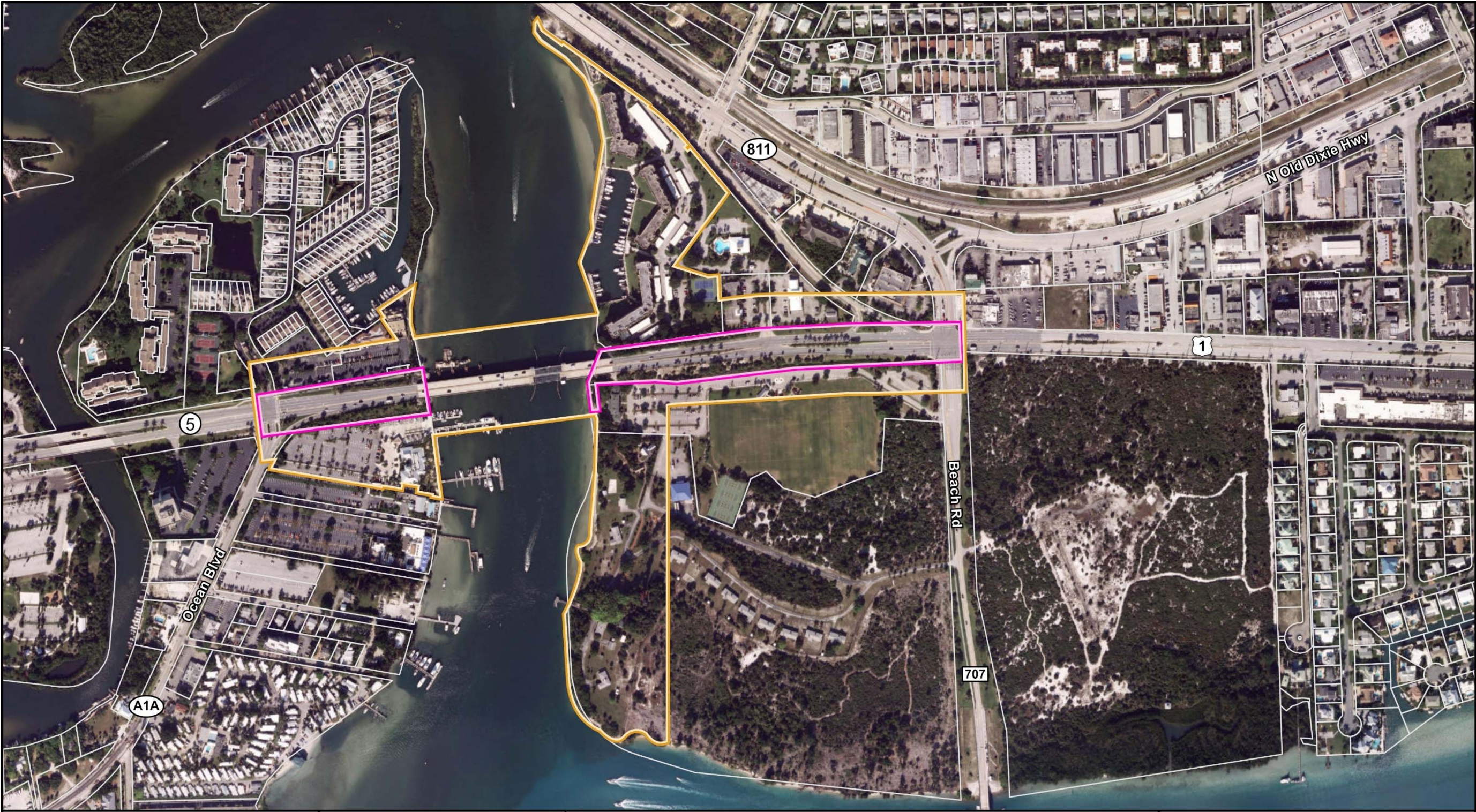
The vertical alignment of the proposed bridge is dictated by the vertical clearance of the bridge at the ICWW. The clearance is measured from MHW to the bottom of the bascule span at the fender system. Five vertical clearance alternatives were considered: 25 feet, 30 feet, 35 feet, 40 feet, and 65 feet. The 25-, 30-, 35-, and 40-foot options will require a bascule bridge. The 65-foot option is a fixed span bridge and was eliminated from further consideration because the south touch down point would be about 30 feet south of the US-1/CR A1A/Jupiter Harbour entrance intersection. In addition, the Town of Jupiter has an ordinance that no structure can be over 50 feet within the Inlet Village Sector. Providing a connection to CR A1A to the east and Jupiter Harbour to the west has been determined by FDOT to be excessively impactful to the area and was not studied further.

4.0 AREA OF POTENTIAL EFFECT

According to 36 CFR 800.16(d), the APE is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties, if such properties exist. The APE is influenced by the scale and nature of the undertaking, as well as its geographical setting. The APE must include measures to identify and evaluate both archaeological and historical resources. Normally, archaeological and other below-ground resources will be affected by ground disturbing activities and changes in ownership status. Structural resources and other above ground sites are often impacted by those activities as well as alterations to setting, access, and appearance.



Following consultation with FDHR staff, Ginny Jones, Architectural Historian with the FDHR, as well as locally interested and affected parties, it was requested that the APE be expanded to include the National Register-listed Jupiter Inlet Lighthouse (8PB65) and also address a wider area surrounding bridge approaches, based on the proposed new bridge. This APE expansion was approved by Ms. Jones in an email dated August 2, 2016 (Appendix C), and is shown in Figure 2.

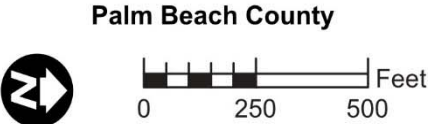
For the addendum, the archaeological APE was expanded to include a small portion of the northern shore of the Loxahatchee River just to the east of the Jupiter Bridge. This area was added to the archaeological APE at the request of locally interested and affected parties who raised concerns of possible additional erosion to archaeological site 8PB35 as a result of the proposed bridge replacement and channel-dredging.



**Figure 2:
Project APE**

*Jupiter US-1/Intracoastal Waterway
Bridge from Ocean Boulevard
to Beach Road
(FM No. 428400-1-52-01)*

-  Historic Resources APE
-  Archaeological APE



5.0 FLORIDA MASTER SITE FILE SEARCH AND LITERATURE REVIEW

Evaluations of archaeological or historic resources' significance cannot be made without proper attention to the resources' placement within the context of other resources in the area. The work of previous investigators was reviewed in order to gather information about types of precolumbian archaeological sites, early historic archaeological sites, and historic resources that could be expected to occur within the project APE. A comprehensive review of previous surveys, FMSF data, Palm Beach County Property Appraiser records, and other relevant historical research materials was conducted to determine the potential for National Register-listed, National Register-eligible, and potentially National Register-eligible cultural resources within the project APE. The FMSF is an important planning tool that assists in identifying potential cultural resources issues and resources that may warrant further investigation and protection. It can be used as a guide but should not be used to determine the FDHR/SHPO's official position about the significance of a resource.

5.1 Previously Conducted Cultural Resource Surveys

A search of FMSF data identified 21 previously conducted cultural resource surveys within one mile of the project APE (Table 1). A total of six surveys (FMSF manuscript nos. 408, 8126, 14000, 14904, 16886, and 20293) partially or entirely contain the project APE. In 1981, the *Literature Review and Cultural Resources Survey of the U.S.C.G Light Station* (FMSF manuscript no. 605) was conducted by C.S. Weed, L. Janice Campbell, and Prentice M. Thomas for the Interagency Archeological Services Division of the National Park Service (NPS). The project entailed a survey of the entire property of the Jupiter Lighthouse Reservation, evaluation of archaeological site 8PB35, evaluation for possible significance of historic resources located in the station, and a complete background and literature review (Weed et al. 1981). While this study identified several of the historic resources documented during this CRAS addendum, none of these were recorded within the FMSF at the time of the 1981 study, nor did the SHPO concur with any findings of the 1981 study.

The Florida Lighthouse Study (FMSF manuscript no. 7358), a state-wide study, was conducted in 2002 for the FDHR and included the Jupiter Inlet Lighthouse (8PB65), located within the current addendum APE. This purpose of the study was to determine the locations of Florida's historic lighthouses, background, potential uses, current conditions, and restoration needs and the funding required for potential restoration.

In 2009, A *CRAS of the Jupiter Inlet Fishing Piers in Jupiter, Palm Beach County, Florida* (Panamerican Consultants, Inc. 2009a; FMSF manuscript no. 16886) was conducted. The study was requested by FDOT, District 4 in advance of the planned dismantling of the Old US-1 Loxahatchee Bridge (8PB14572), located within the addendum APE. Panamerican Consultants, Inc. considered the bridge ineligible for listing in the National Register and the SHPO concurred with this finding in a letter dated July 14, 2009.

The *CRAS of Jupiter US-1/Intracoastal Waterway Bridge from Ocean Boulevard (Mile Post 10.567) to Beach Road (Mile Post 11.127), Palm Beach County, Florida* is the original document for which this CRAS serves as an addendum. In a letter dated August 30, 2013, SHPO concurred with the findings of the 2013 CRAS report (Appendix B).

TABLE 1: PREVIOUS CULTURAL RESOURCE SURVEYS WITHIN ONE MILE OF THE APE			
FMSF Survey No.	Report Title	Author(s)	Publication Date
408	Archaeological Survey of Government Lots 5 and 6, T40S-R43E	Kennedy, William J.	1981
593	Cultural Resources Reconnaissance of the U.S. Coast Guard Facilities, Florida, SC & Puerto Rico	Bennett, W.J., Jr.	1981
605	Literature Review and Cultural Resources Survey of the US Coast Guard Light Station, Jupiter Inlet, Palm Beach County	Weed, Carol S., Campbell, L. Janice, and Prentice M. Thomas	1981
1804	Archaeological Survey of API Inc, Jupiter Project	Sears, William H.	1976
2031	Archaeological Excavations and Monitoring at the Jupiter Lighthouse Restoration Project, 8PB35, Palm Beach County, Florida	Pepe, James P.	2000
2381	A Cultural Resource Assessment Survey of SR 706 (Indiantown Road) in Palm Beach, Florida.	Ballo, George R. and Roy Adlai Jackson	1990
5325	Cultural Resource Assessment Survey of U.S. Coast Guard Exchange Project	Janus Research	1998
7358	Florida Lighthouse Study	Kenneth Smith Architects, Inc. and Bender & Associates, Architects, P.A. Associate Architects	2002
7849	Archaeological Monitoring of a Garage Demolition at the Jupiter Inlet Coast Guard Station, Palm Beach County, Florida	Elgart-Berry, Alison and Victor Longo	2002
7878	Archaeological Monitoring of a Fence Line Installation at the Jupiter Inlet Coast Guard Station, Palm Beach, Florida	Elgart-Berry, Alison	2002

TABLE 1: PREVIOUS CULTURAL RESOURCE SURVEYS WITHIN ONE MILE OF THE APE

FMSF Survey No.	Report Title	Author(s)	Publication Date
8118	Archaeological Testing and Monitoring of the Septic System Project Area at the Jupiter Inlet Coast Guard Station, Palm Beach County, Florida	Elgart-Berry, Alison and Victor Longo	2002
8126	An Archaeological and Historical Survey of the Proposed Jupiter Eyeball Tower Location in Palm Beach County, Florida	Jones, Paul L. and Cynthia L. Sims	2001
14000	Cultural Resources Reconnaissance Study South Florida East Coast Corridor Transit Analysis Miami-Dade, Broward and Palm Beach Counties	Janus Research	2006
14415	A Cultural Resource Assessment Survey of the 761 North A1A Tract, Palm Beach County, Florida	Arbuthnot, Michael A. and Brian S. Marks	2007
14904	Cultural Resource Assessment Survey Report US 1/SR 5 Low Level Bridges Replacement Project Development and Environment (PD&E) Study, Palm Beach County, Florida	Archaeological Consultants, Inc.	2007
15842	The Results of a Historic Resources Assessment at the Susan DuBois Kindt Estate in an Unincorporated Portion of Jupiter, Florida	Davenport, Christian and Gregory Mount	2008
16702	Archaeological and Historical Reconnaissance Survey at USCG Jupiter Inlet Light Station, Palm Beach County, Florida	Driscoll, Kelly A. and Lucy D. Jones	2009
16802	AHC Monitoring of Construction for Drain Fields at Jupiter Lighthouse (PB00035)	Carr, Robert S.	2008

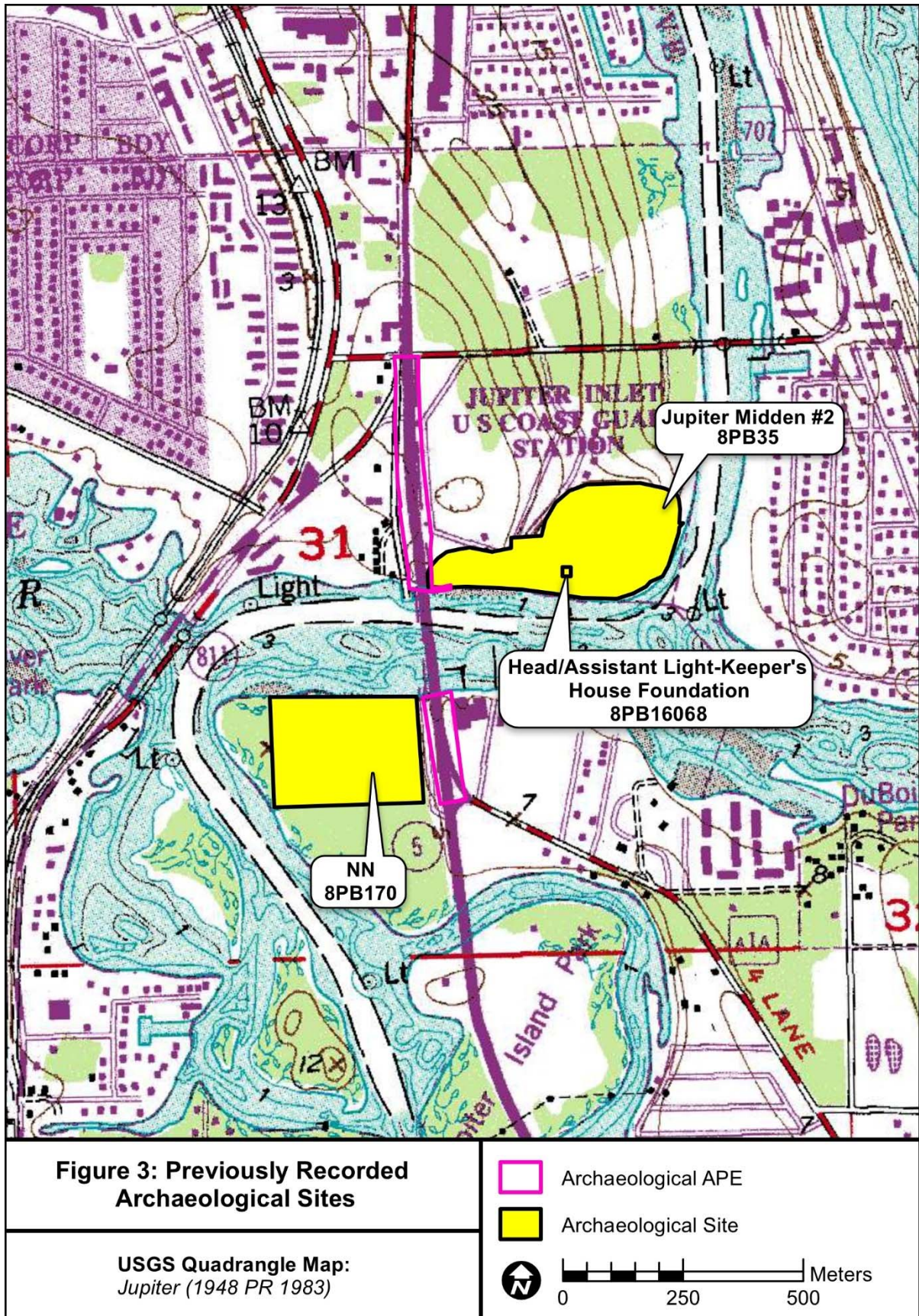
TABLE 1: PREVIOUS CULTURAL RESOURCE SURVEYS WITHIN ONE MILE OF THE APE			
FMSF Survey No.	Report Title	Author(s)	Publication Date
16886	A Cultural Resource Assessment Survey of the Jupiter Inlet Fishing Piers in Jupiter, Palm Beach County, Florida	Panamerican Consultants, Inc.	2009
19113	A Phase I Cultural Resource Survey of the Waterway Park Parcel, Jupiter, Palm Beach County, Florida	Carr, Robert S., Ryan Franklin, and Joseph F. Mankowski	2011
20293	Cultural Resource Assessment Survey of Jupiter US-1/Intracoastal Waterway Bridge from Ocean Boulevard (Mile Post 10.567) to Beach Road (Mile Post 11.127), Palm Beach County, Florida	Janus Research	2013

The *Town of Jupiter Historic and Archaeological Resources Survey* was conducted by Janus Research in 2002. In March of 2001, the Town of Jupiter received a grant from FDHR to conduct a reconnaissance level survey of archaeological resources and an intensive level historic resources survey for all resources constructed prior to 1956 within the town. All historic and archaeological resources within the Town of Jupiter's corporate boundaries were included as part of this survey (Janus Research 2002). Further, historic and archaeological resources were identified and evaluated, and suggestions and recommendations were offered to insure the resources were recognized and protected for current and future use (Janus Research 2002). This 2002 survey was formally withdrawn from submittal to the FMSF database.

5.2 Previously Recorded Archaeological Resources

Several archaeological sites have been previously recorded within or within 1,000 feet of the archaeological APE. These include sites 8PB35, 8PB170 and 8PB16068 (Figure 3).

Jupiter Midden #2 (8PB35) is a multi-component precolumbian site. The site is located on a parabolic dune on the north bank of the Loxahatchee River to the east of US-1. The site consists of in situ shell midden and midden deposits in an area measuring approximately 500 by 230 meters. Radiocarbon dates from shell samples suggest that the site was in use by AD 900 and was possibly occupied by Native Americans into the historic period. Historic material associated with the lighthouse station is present near the surface of portions of the site.



Two main site areas for the precolumbian occupation of the site have been identified during excavations: the eastern component near the lighthouse (8PB35A) and the western component near the bridge (8PB35B). Precolumbian artifacts recovered from the site include pottery (Sand-tempered Plain, Belle Glade Plain, Glades Red, St Johns Plain, St Johns Check-Stamped), shell tools and faunal bone and shell. Human remains have also been identified at the site. The site was determined National Register-eligible by the SHPO in 2011.

Site 8PB170 was a precolumbian shell midden located on the south bank of the Loxahatchee River to the west of US 1 adjacent to the archaeological APE. The site was severely disturbed when it was identified in 1981 (Kennedy 1981). The shell midden measured approximately 130 by 50 feet. One shell tool fragment was recovered from the site but no temporally diagnostic artifacts were identified. The SHPO has not evaluated the National Register eligibility of the site. The site was likely destroyed in the 1980s by the construction of Charley's Crab Restaurant (Janus Research 2002: 64). The site area is currently under a paved parking lot and structures.

The Head/Assistant Light-Keeper's House Foundation (8PB16068) consists mainly of the foundation and cistern associated with the first Jupiter Light-Keeper's house. The site was identified by the Archeological and Historical Conservancy (AHC) in 2010 (Carr et al. 2014). The structure was built in circa-1860 and burned down in 1926. The structure was initially occupied by the Head Light-Keeper but was occupied by the Assistant after the construction of a new house for the Head Keeper in circa-1883. Archaeological remains identified during the excavation of consisted of a brick foundation, piers, and cistern and brick rubble from the demolition of the house. Artifacts recovered from the excavations included brick, tabby, iron and copper nails, wooden planks, copper mesh screen, a mortise lock, a ceramic door knob, musket balls, .22 and .38 caliber cartridges, shotgun shells, possible engineer's ruler fragment, U.S. Lighthouse Engineers service button, clay pipe fragments, iron tools, domestic ceramics, glass fragments, utensils, personal items, coins, and toys including marbles and doll fragments. Although the site is described in the 2014 AHC report as National Register-eligible, as of December 2016, the FMSF form for the site has not been submitted to the FDHR.

5.3 Previously Recorded Historic Resources

A search of the FMSF identified seven previously recorded historic resources within the APE, inclusive of one structure (8PB65), one historic bridge remnant (8PB14572), one historic bridge (8PB14878), three buildings (8PB6186, 8PB15991, and 8PB16182), and one resource group (8PB16191). Table 2 provides pertinent details of each previously recorded resource. The locations of these resources are depicted on current aerial mapping contained in the *Results* section of the study on pages 24 and 25 (Figures 5a-b).

The 1859 constructed Jupiter Inlet Lighthouse (8PB65) was listed in the National Register on October 15, 1973. Both the Jupiter Bridge (8PB14878) and World War II U.S. Navy Married Men's Housing Quarters (8PB15991) have been determined National Register-eligible by the SHPO. The World War II U.S. Navy Married Men's Housing Quarters is also locally designated within the Town of Jupiter. The Old US-1 Loxahatchee Bridge (8PB14878) has been determined National Register-ineligible by the SHPO.

In 2007, the Tindall House (8PB6186) was relocated to the site of the Jupiter Inlet Lighthouse and Museum, and is now in the current addendum APE. Although the previous surveyor considered the Tindall House to be National Register-eligible, SHPO has not evaluated this resource in terms of its National Register significance. This resource is also locally-designated as a historic site in Palm Beach County.

TABLE 2: PREVIOUSLY RECORDED HISTORIC RESOURCES WITHIN THE HISTORIC RESOURCES APE				
FMSF#	Name/Address	Year Built	Surveyor Evaluation	National Register Evaluation
8PB65	Jupiter Inlet Lighthouse	1859	Considered National Register-eligible	National Register-listed
8PB6186	Tindall House	1892	Considered National Register-eligible	No SHPO evaluation
8PB14572	Old US-1 Loxahatchee Bridge.	1926	Considered National Register-ineligible	Determined National Register-ineligible by the SHPO
8PB14878	Jupiter Bridge	1958	Considered National Register-eligible	Determined National Register-eligible by the SHPO
8PB15991	World War II U.S. Navy Married Men's Housing Quarters/500 Captain Armour's Way	1942	Considered National Register-eligible	Determined National Register-eligible by the SHPO
8PB16182	LORAN-C Station Jupiter Family Housing, Unit A	c. 1961	Considered National Register-ineligible	Determined National Register-ineligible by the SHPO
8PB16191	USCG Family Housing for LORAN-C Station Jupiter	c. 1961	Considered National Register-ineligible	Determined National Register-ineligible by the SHPO

Because of the *Memorandum of Agreement (MOA) Between the United States Coast Guard and the Bureau of Land Management and the Florida Division of Recreation and Parks and the SHPO Regarding the Interim and Final Disposition of the LORAN-C Station, LORSTA, Jupiter*, the USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191) was recorded, as well as the nine individual dwellings that make up the resource group (8PB16182-8PB16190). During the Historic American Buildings Survey (HABS) Level III documentation of the MOA for LORAN-C Station Jupiter, it was determined that the housing units at the Jupiter Inlet Light Station should not be included as part of the documentation (Davenport 2015); however, FMSF forms for the individual buildings and the overall resource group were prepared and submitted to the FDHR. Only one of the previously recorded housing units is in the APE, LORAN-C Station Jupiter Family Housing, Unit A (8PB16182). Both the resource group and individual unit were determined National Register–ineligible by the SHPO in 2015. On September 6, 2016, Janus Research requested confirmation of the National Register status for the USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191), and in a September 9, 2016 email response, Mr. Jason Aldridge, Compliance Review Supervisor and Deputy SHPO, confirmed the National Register ineligibility of the resource.

In 2008, President George W. Bush established the Jupiter Inlet Lighthouse Outstanding Natural Area (ONA), a portion of which is located in the APE (see Figure 1). In its entirety, the ONA encompasses 120 acres of land, where the northern portion is located in the Village of Tequesta and the southern portion is located within the Town of Jupiter (Winters 2010:3). The Jupiter Inlet Lighthouse ONA is bounded at the north by the line between Section 30 and 31 of Township 40 South, Range 43 East on the Jupiter (1948 PR 1983) USGS quadrangle map, at the west by US-1 and the Indian River Lagoon and Loxahatchee River at the east and south. While congressional designation as an ONA offers protection to federal lands that contain unique scenic, scientific, educational, and recreational values for public enjoyment (Historical Society of Palm Beach County 2009), it has no bearing on the National Register eligibility of an area.

6.0 METHODS

6.1 Archaeological Field Methods

The archaeological field survey for the addendum consisted of a pedestrian survey. The pedestrian survey included a visual inspection of that portion of site 8PB35 that is located within the expanded archaeological APE. Visible site features were documented with photographs. As the site has already been evaluated as eligible for listing in the National Register, no subsurface testing was conducted.

6.2 Historic Resources Field Methods

Due to the expansion of the APE, an architectural historian and technical assistant conducted a historic resources survey in order to ensure that each resource built in or prior to 1968 within the project APE was identified, properly mapped, and photographed. The historic resources survey used standard field methods to identify and record historic resources. All resources within the APE received a preliminary visual reconnaissance. Any resource with features indicative of 1968 or earlier construction materials, building methods, or architectural styles was noted on aerial photographs and a USGS quadrangle map.

For each resource identified in the preliminary assessment, forms were filled out with field data, including notes from site observations and research findings. The estimated dates of construction, distinctive features, and architectural styles were noted. The information contained on any form completed for this project was recorded onto a digital form at Janus Research. Photographs were taken with a high resolution digital camera. A log was kept to record the building's physical location and compass direction of each photograph. FMSF forms were prepared for all newly identified historic resources. FMSF forms were updated for previously recorded historic resources which have not received a SHPO determination of National Register eligibility, or are newly contributing to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). Although the USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191) is newly considered a contributing resource to the potential district, a FMSF form was not updated for this resource, as the majority of associated structures are not contained within the addendum APE. One structure in the resource group, LORAN-C Station Jupiter Family Housing, Unit A (8PB16182), is in the APE, and this resource received an updated FMSF form.

The resource's individual significance was then evaluated for its potential eligibility for listing in the National Register. Historic physical integrity was determined from site observations, field data, and photographic documentation. Property tax records and historic aerial photography was consulted to assist in the research for known significant historical associations.

A visual assessment was conducted for the potential of a National Register-eligible Mixed Resource District related to the Jupiter Lighthouse Reservation. Each resource within the Reservation's present condition, location relative to other resources, and distinguishing characteristics of the area were noted and photographed for accurate assessment of National Register district eligibility.

6.3 Local Informants and Certified Local Government Coordination

In accordance with Chapter 1A-46, attempts were made to contact and interview local informants. Local informants may often provide valuable information which is otherwise not available through official records or library collections. Cultural Resources Committee (CRC) meetings pertaining to the proposed project were held on May 4, 2016 and August 23, 2016. The CRC minutes are contained in Appendix F. Additionally, Mr. Josh Liller, Historian and Collections Manager for the Jupiter Inlet Lighthouse and Museum, was contacted on November 11, 2016 via telephone by Mr. James P. Pepe for information on cultural resources within the APE. Mr. Liller also provided Mr. Pepe with a guided field reconnaissance on November 23, 2016. Mr. Liller was able to provide information on several of the resources documented as part of the CRAS addendum.

7.0 RESULTS

7.1 Archaeological Results

The archaeological survey for the addendum resulted in the verification of one previously identified archaeological site, Jupiter Midden #2 (8PB35) within the expanded archaeological APE. This site is located along the northern shore of the Loxahatchee River, just to the east of the Jupiter Bridge. The small portion of this site located within the archaeological APE is visible as a lense of black dirt and oyster shell midden eroding from the bank of the Loxahatchee River. As described earlier, Jupiter Midden #2 was evaluated in 2011 by the SHPO as eligible for listing in the National Register.



Figure 4: 8PB35 Shell Midden Eroding out of the Bank, facing North

7.2 Historic Resources Survey Results

The historic resources survey for the addendum resulted in the identification of 18 total resources, including a lighthouse, bridge, bridge remnant, cemetery, wharf, staircase, two resource groups, and 10 buildings. Seven of the identified resources are previously recorded (8PB65, 8PB6186, 8PB14572, 8PB14878, 8PB15991, 8PB16182, and 8PB16191) and 11 are newly recorded (8PB16434-8PB16441 and 8PB16443-8PB16445).

The Jupiter Inlet Lighthouse (8PB65) was completed at the site of the Jupiter Lighthouse Reservation in 1859. For significance related to commerce and transportation, the lighthouse was listed in the National Register on October 15, 1973.

The Tindall House (8PB6186) was documented in 1990 during the *Survey Report of Historic Resources in Unincorporated Palm Beach County* (Johnson 1990a; FMSF manuscript no. 1833). In previous documentation for the resource, the surveyor suggested that the Tindall House was likely eligible for listing in the National Register (Johnson 1990b). As the house was documented as part of a county sponsored survey that did not require SHPO concurrence, a determination of National Register eligibility was never made. In 2007, the Tindall House was relocated to the site of the Jupiter Inlet Lighthouse and Museum to serve as an interpretive exhibit after undergoing restoration. Although the Tindall House has been removed from its original location, it was found to meet National Register Criteria Consideration B for moved properties as part this study, and is considered individually National Register-eligible for its architectural value and association with the early pioneering history of the Jupiter area. The house is also locally-designated as a historic site in Palm Beach County.

The Old US-1 Loxahatchee Bridge (8PB14572), Jupiter Bridge (8PB14878), and World War II U.S. Navy Married Men's Housing Quarters/500 Captain Armour's Way (8PB15991) were documented during the original *CRAS of Jupiter US-1/Intracoastal Waterway Bridge from Ocean Boulevard (Mile Post 10.567) to Beach Road (Mile Post 11.127), Palm Beach County, Florida* (Janus Research 2013a; FMSF manuscript no. 20293). In a letter dated May 9, 2013 (Appendix A), the SHPO determined that the Jupiter Bridge (8PB14878) was eligible for listing in the National Register prior to the completion of the 2013 CRAS. This bridge is National Register-eligible under Criterion C for engineering significance as the only remaining historic four-leaf, double-bascule bridge in the State of Florida. The World War II U.S. Navy Married Men's Housing Quarters (8PB15991) was determined National Register-eligible under Criterion A for its association with World War II and the Town of Jupiter, as well as under Criterion C as an exemplary representation of military Frame Vernacular style architecture from its era of construction. This resource is also locally-designated within the Town of Jupiter. The 1926 Old US-1 Loxahatchee Bridge (8PB14592), of which only a remnant remains, was determined National Register-ineligible due to compromised integrity.

The USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191) is partially located inside the APE. Only one of the nine total dwellings that comprise the grouping is in the APE, LORAN-C Station Jupiter Family Housing, Unit A (8PB16182). Both this individual unit and the resource group were determined National Register-ineligible by the SHPO in 2015 because the units are examples of common post-World War II military dwellings. In response to a September 6, 2016 request from Janus Research, Mr. Jason Aldridge, Compliance Review Supervisor and Deputy SHPO, confirmed the National Register ineligibility of this resource group (Appendix D).

The remaining newly recorded historic structures are considered National Register-eligible as contributing resources to the newly recorded potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). A district which contains both archaeological and historic sites. The historic resources include: Jupiter Lighthouse Cemetery (8PB16434), Jupiter Inlet Lighthouse Oil House (8PB16435), Jupiter Inlet Light Station Wharf (8PB16436), USCG Family Quarters, Unit A (8PB16437), USCG Family Quarters, Unit B (8PB16438), Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Jupiter Inlet Light Station Garage (8PB16441), Jupiter Inlet Light

Station Auxiliary Pump House (8PB16444), and Jupiter Inlet Lighthouse Staircase (8PB16445). The National Register-listed Jupiter Inlet Lighthouse (8PB65) and determined National Register-eligible World War II U.S. Navy Married Men's Housing Quarters (8PB15991) are also considered contributing resources to the potential district. Although the LORAN-C Station Jupiter Resource Group (8PB16191) and LORAN-C Station Jupiter Family Housing, Unit A (8PB16182) were determined National Register-ineligible, these resources are significantly related to the history of the area and therefore, are contributing resources to the potential district.

Although not a part of the archaeological APE, one additional previously recorded archaeological site, 8PB16068 was identified as a potentially contributing resource to the newly recorded Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). The Head/Assistant Light-Keeper's House Foundation (8PB16068) is located at the base of the Jupiter Inlet Lighthouse hill and consists of the archaeological remains of the house, which was constructed circa-1860 and destroyed by an intense fire in 1926.

The potential Jupiter Lighthouse Reservation Mixed Resource District is significant for its association with the early development of both the Town of Jupiter and Palm Beach County and the historical evolution of the area, from the time of the construction of the Jupiter Inlet Lighthouse in 1859 to the post-World War II period. The potential district is also significant for its association with the military, maritime history, and naval commerce and transportation. Therefore, the Jupiter Lighthouse Reservation is considered National Register-eligible under Criterion A. The district is also considered National Register-eligible under Criterion C for its collection of intact architecture from various time periods in the history of the Jupiter Lighthouse Reservation.

Table 3 a comprehensive listing of all identified resources located in the expanded historic resources APE and Figures 5a-b is current aerial mapping depicting the physical locations of resources. Please note that Figure 5b is a zoomed-in image of the APE only showing those resources which are in the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). Narratives for resources which are National Register-listed or determined National Register-eligible are presented in Section 7.2.1 (Figures 6 through 14). Section 7.2.2 contains a narrative for the Jupiter Lighthouse Reservation Mixed Resource District (PB16443), that is considered National Register-eligible, and those resources which are contributing to the district (8PB16182, 8PB16191, 8PB16434-8PB16441, 8PB16444, and 8PB16445) (Figures 15-38). Although the Jupiter Inlet Lighthouse (8PB65) and Married Quarters (8PB15991) also contribute to the potential district, these narratives are contained in Section 7.2.1 for National Register-listed and -eligible resources. Section 7.2.3 contains a narrative for the National Register-ineligible Old US-1 Loxahatchee Bridge (8PB14572) (Figure 39).

FMSF forms were prepared for all newly identified historic resources (8PB16434-8PB16441 and 8PB16443-8PB16445). Documentation was updated for structures contributing to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443): Jupiter Inlet Lighthouse (8PB65), World War II U.S. Navy Married Men's Housing Quarters (8PB15991), and LORAN-C Station Jupiter Family Housing, Unit A (8PB16182). A FMSF form was

updated for the Tindall House (8PB6186) because this structure was relocated to its present location and the SHPO has not made a decision regarding its National Register eligibility. Updated and newly prepared forms are located in Appendix E. Although FMSF forms were not updated for the Old US-1 Loxahatchee Bridge (8PB14572), Jupiter Bridge (8PB14878), and USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191), the previous forms are included in Appendix E.

TABLE 3: IDENTIFIED HISTORIC RESOURCES WITHIN THE EXPANDED HISTORIC RESOURCES AREA OF POTENTIAL EFFECT										
FMSF #	Site Name/Address	Const. Date	Type/Style	Stories	Exterior Fabric	Roof Type	Windows	Alterations Type	Additions Type	National Register Status
8PB65	Jupiter Inlet Lighthouse	1859	Historic lighthouse	n/a	Brick	n/a	6/6 sash	Restoration work in 1973 and 2000	n/a	National Register-listed and contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB6186	Tindall House	1892	Frame Vernacular	1	Wood drop siding; wood clapboard	Gable: clad in sheet metal	Wood 1/1 double-hung sash	Re-located from original site; restored between 1997 and 2007	Main entrance porch, breezeway, and kitchen reconstructed	Considered individually National Register-eligible and non-contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB14572	Old US-1 Loxahatchee Bridge	1926	Former historic bascule bridge of which only a remnant remains	n/a	Concrete	n/a	n/a	Portions demolished in 1956; north bridge remnant demolished between 2010 and 2011; reduced in size between 2013 and 2016; deck and handrails replaced between 2013 and 2016	n/a	Determined National Register-ineligible by the SHPO
8PB14878	Jupiter Bridge	1958	Historic four-leaf double-bascule bridge	n/a	Concrete	n/a	n/a	Routine maintenance repairs; replacement of frame	n/a	Determined National Register-eligible by the SHPO
8PB15991	World War II U.S. Navy Married Men’s Housing Quarters/500 Captain Armour’s Way	c. 1942	Frame Vernacular	2	Wood clapboard	Hip; shed	Replacement wood 2/2 double-hung sash	Rehabilitated; windows replaced	ADA compliant access ramps	Determined individually National Register-eligible by the SHPO and contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16182	LORAN-C Station Family Housing Jupiter, Unit A	c. 1961	Masonry Vernacular	1	Stucco	Gable; shed clad in composition shingles	Replacement aluminum 1/1 single-hung sash	Windows and doors replaced	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)

TABLE 3: IDENTIFIED HISTORIC RESOURCES WITHIN THE EXPANDED HISTORIC RESOURCES AREA OF POTENTIAL EFFECT										
FMSF #	Site Name/Address	Const. Date	Type/Style	Stories	Exterior Fabric	Roof Type	Windows	Alterations Type	Additions Type	National Register Status
8PB16191	USCG Family Housing For LORAN-C Station, Jupiter	c. 1961	Resource Group	Individual units are 1-story	Individual units clad in stucco	Individual units have hip and shed roof systems	Windows of individual units are replacement aluminum 1/1 SHS	Individual units in resource group have sustained minor alteration	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16434	Jupiter Lighthouse Cemetery	c. 1905	Historic Cemetery	n/a	n/a	n/a	n/a	Non-historic fencing	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16435	Jupiter Inlet Lighthouse Oil House	1859	Masonry Vernacular	1	Stucco	Gable; covered in corrugated metal	n/a	Initially remodeled in 1905; altered in 1973; restored to 1905 remodel in 1999	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16436	Jupiter Inlet Light Station Wharf	c. 1931	Historic Wharf	n/a	Wood	n/a	n/a	n/a	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16437	USCG Family Quarters, Unit A	c. 1961	Masonry Vernacular	1	Stucco	Hip; covered in composition shingles	Replacement aluminum 1/1 SHS	Windows and doors replaced	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16438	USCG Family Quarters, Unit B	c. 1961	Masonry Vernacular	1	Stucco	Hip; covered in composition shingles	Window configurations obstructed by hurricane shutters	Hurricane shutters added; door replaced	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16439	Jupiter Inlet Lighthouse Keeper’s Workshop	c. 1929	Frame Vernacular	1	Clapboard	Hip; drop-point slating	Wood 6/6 DHS	Likely minor restoration work for repurposing as museum building	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)

TABLE 3: IDENTIFIED HISTORIC RESOURCES WITHIN THE EXPANDED HISTORIC RESOURCES AREA OF POTENTIAL EFFECT										
FMSF #	Site Name/Address	Const. Date	Type/Style	Stories	Exterior Fabric	Roof Type	Windows	Alterations Type	Additions Type	National Register Status
8PB16440	Jupiter Inlet Light Station Radio Beacon Building	c. 1928	Masonry Vernacular	1	Stucco	Gable; appears to be covered in built-up materials	Replacement aluminum 1/1 SHS	Possible fenestration enclosures; windows and door replaced	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16441	Jupiter Inlet Light Station Garage	c. 1929	Frame Vernacular	1	Vertical Board	Gable; covered in composition shingles	None observed	None observed	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16443	Jupiter Lighthouse Reservation Mixed Resource District	Various	Mixed Resource District	n/a	n/a	n/a	n/a	Continuously modified from establishment in 1855 to present day	n/a	Considered National Register–eligible
8PB16444	Jupiter Inlet Light Station Auxiliary Pump House	Between 1929 and 1941	Masonry Vernacular	1	Stucco	Flat; covered in built-up materials	None observed	n/a	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)
8PB16445	Jupiter Inlet Lighthouse Staircase	Before 1915	Historic Staircase	n/a	Plaster; concrete	n/a	n/a	Handrails altered sometime prior to 1953 and re-plastered with restoration work in recent years	n/a	Considered contributing to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)





7.2.1 Narratives for Individually National Register-listed or National Register-eligible Historic Resources



Figure 6: National Register-listed Jupiter Inlet Lighthouse (8PB65), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing North

8PB65

Jupiter Inlet Lighthouse

Contained within the boundaries of the original Jupiter Lighthouse Reservation, the Jupiter Inlet Lighthouse is presently located on land belonging to the USCG in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 PR 1983) USGS quadrangle map, in the Town of Jupiter, Palm Beach County, Florida (Figure 6). The lighthouse is approximately 380 feet from the northeast juncture of Jupiter Lighthouse Park and Coast Guard Way. The conical structure stands at an approximate total height 108 feet. Structural brick walls taper in thickness ranging from 31 ½ inches at the tower base to 18 inches at the base of the lamp housing. Exterior brick of the lighthouse tower is painted a bright red color. The entrance is located at the south side of the tower, and features an iron door set within a circular arch with a voussoir of brick. Windows of the tower are six-over-six sash in configuration. Cast iron stairs ascend the tower to the watch room, accessed through a hatch door. The watch room floor is wood over cast iron plates and walls are covered in wainscoting. Three portholes punctuate the watch room walls. Wooden stairs extend from the watch room to the lens room above. The original Fresnel Lens itself is supported by a cast iron base with bronze gears that rotate the lens. The lens room consists of a metal dome with metal framework holding triangular shaped glazing. An exterior gallery extends around the perimeter of the watch room and incorporates a cast iron floor and iron railing. The exterior gallery is supported by brackets (Fryman 1973; Kevin Smith Architecture, Inc. and Bender & Associates, P.A. Associated Architects 2002).

On October 15, 1973, the lighthouse was nominated to the National Register for its demonstrated significance in naval commerce and transportation. As part of the current study, the National Register listed Jupiter Inlet Lighthouse is considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443).



Figure 7: The Tindall House (8PB6186), Considered Individually National Register-eligible and a Non-contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Northwest

8PB6186

Tindall House

The Tindall House was relocated from its original site to the Jupiter Inlet Lighthouse and Museum grounds at 500 Captain Armour's Way, in the Town of Jupiter, Palm Beach County, Florida (Figure 7). It is further located in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 PR 1983) USGS quadrangle map. The Tindall House, representative of a Frame Vernacular Florida Cracker house, was constructed in 1892 by Jupiter area pioneer George W. Tindall. Currently, it is owned/operated by the Loxahatchee River Historical Society and has been repurposed as an interpretive exhibit, intended to give visitors a glimpse into early pioneering life along the Loxahatchee River (Jupiter Inlet Lighthouse and Museum 2016). The one-story double-pen residence is constructed of yellow pine and cypress, and rests on a concrete block pier system. Exterior walls of the historic main building block are clad in wood drop siding, some of which appears original. The steeply pitched side gable roof is capped in crimped metal sheeting and features wide over-hanging eaves. Windows of the Tindall House are wood one-over-one double-hung sash and are encased with wood surrounds. At attic level, two windows set within the gable ends serve to vent the space. Historic operable wood shutters are present at all window openings. Two historic wood panel doors access the residence from within the shed roof extension porch, which is a reconstruction of the original

porch. The reconstructed porch includes wood supports and wood clapboard covered railings. Modern concrete steps with wooden handrails access the house. Additional features of the Tindall House include exposed rafter tails and cornerboards.

As part of 2007 restoration measures, a breezeway and kitchen were reconstructed at the rear façade of the residence (Figure 8). The breezeway appends the main house to the kitchen and can be accessed by either the backdoor of the house or via an Americans with Disabilities Act (ADA) compliant wooden ramp that connects with the breezeway at the northeast. The wood frame kitchen features a steeply pitched front gable roof covered in sheet metal, and like the main house, this portion rests on a concrete block pier system. Portions of the kitchen are clad in wood drop siding and clapboard. Architectural elements of the historic house have been carried over to the reconstructed kitchen such as window configurations, shutters, surrounds, cornerboards, and exposed rafter tails. The restored building remains in good condition.

The relocation site is adjacent to a meandering south pathway. A reconstructed Seminole Indian Chickee is in proximity to the Tindall House to the southeast across this pathway. The exhibit has been enhanced with the construction of a non-historic hen-house (Figure 9) and fern shed. Views of the expansive museum parking lot and complex from the Tindall House have been blocked by traditional fruit tree plantings (Jupiter Inlet Lighthouse and Museum 2016).

As previously stated, the Tindall House is an example of a double-pen type residence that is best characterized as a Frame Vernacular style Florida Cracker house. Double-pen houses are typically one room deep, incorporating two square pens, and are easily recognizable by the presence of two doors at the façade (Georgia Historic Preservation Division n.d.). Houses of this typology were most often one-story in height, with an attached porch, and a steeply pitched roof (Old House Web 2016). Cracker Frame Vernacular refers to the common wood frame construction technique employed by lay or self-taught builders. Before the Civil War, house construction was local in nature and dependent upon the building materials at hand. Builders adapted to the materials and developed individual methods and designs. The Industrial Revolution permitted standardization of building materials and exerted a significant change in vernacular house design. Popular magazines helped to make architectural trends universal throughout the country. The railroad provided cheap and efficient transportation for manufactured building materials. Ultimately, individual builders had access to a myriad of finished architectural products from which to create their own designs. The earliest Cracker houses in the mid-nineteenth century were commonly single pen structures with dirt floors. Over time, these Cracker houses became double-pens, saddlebag, and dog-trot houses. Such as with the Tindall House, Cracker houses often featured a kitchen attached to the rear of the building to isolate hearth and fire hazard from the main massing of the house.



Figure 8: The Tindall House Reconstructed Breezeway, Reconstructed Kitchen, and ADA Compliant Access Ramp, facing West



Figure 9: The Non-Historic Reproduction Hen-House, facing Northwest

Despite the post-Industrial Revolution construction date of the Tindall House, the structure doesn't display any particular mainstream design trends of the time period, and is simple and rustic in nature, built strictly for functionality. Of particular significance is the adaptation of the house to suit the rainy humid Florida climate by the incorporation of wide overhanging eaves, operable shutters, and a steep gabled roof that could easily shed water. Cross-ventilation techniques were also taken into consideration, as observed by the fenestration patterns.

Native Floridian George W. Tindall was born in Columbia County, Florida on March 11, 1850 to Alexander Dowling Tindall and Benety Alligood. Alexander Tindall was an itinerant preacher, moving back and forth between Georgia and Florida. His son, George W. Tindall evidently moved from Florida to Georgia at some point, and in 1872, he married Georgian Mary Victoria Pilcher. At the time, George W. Tindall supported his growing family as a hunter, trapper, cattleman, and farmer. His health began to fade in 1886, during a period of time in which he was engaged in farming, prompting him to make the decision to move his family to the warm healthy climate of Florida. It took the Tindall family four months to reach Florida by covered wagon. Upon reaching Florida, they first settled in the area of Kissimmee, and stayed there for a number of years. From Kissimmee, they ventured to the area of Jupiter, initially living in a palmetto shack; however, they were forced to leave the shack after a year when it was brought to their attention that they were squatting on a homestead belonging to another settler. Tindall then moved his family approximately 300 yards to the site of the homestead he had originally filed for and built a second palmetto shack (Jupiter Inlet Lighthouse and Museum n.d., Palm Beach County n.d.; Procyk 2012).

In 1892, Tindall constructed the current dwelling from yellow pine and cypress that he had ordered, which was carried to the area by boat. The house was constructed in two sections, the first being the main living quarters, to which an entrance porch was appended, and the second being the kitchen connected by a breezeway (Figure 10). The main entrance of the house faced the Loxahatchee River. Tindall's house was originally capped with a palmetto thatch roof, but a Cracker style tin roof eventually replaced the thatch roof when it was blown away during the devastating hurricane that hit Florida in 1928. The interior of the house contained a total of five rooms, with two bedrooms at its east side, a central living room, and an additional bedroom at the southwest corner of the home, located adjacent to a utility room. A staircase ascended to the attic from one of the east bedrooms. A fire place was not included into the construction of the home. Tindall fashioned crude interim furniture from beach wood for use until the family could acquire proper furnishings. In 1896 Dade County directories, Tindall is listed as a vegetable and fruit farmer. During the time period, Palm Beach County was part of Dade County (Jupiter Inlet Lighthouse and Museum n.d.; Procyk 2012; Palm Beach County n.d.).



Figure 10: A Historic Photograph of the Tindall House, date unknown (*courtesy of the Jupiter Inlet Lighthouse and Museum*)

Tindall sold portions of his land to fellow settlers Frank J. Laird and Lloyd V. Minear during the early part of the 20th century. In 1923, the Tindall House was relocated further south on the lot, away from the Loxahatchee River, near the northern terminus of current day Palm Point Drive. Where the Tindall House was originally located, Minear constructed two dwellings. At some point during the 1920s, Lloyd Minear apparently purchased Tindall's home. The daughter of Minear, Anna Minear, donated the Tindall House to the Loxahatchee River Historical Society in 1997. That same year, the building was moved from its original lot to then Burt Reynolds Park, the former home of the Loxahatchee River Historical Society. Here, the building was faithfully restored based on photographic documentation under the supervision of a restoration architect. The restoration process took over a decade to complete. The goal was to resurrect the Tindall House as a permanent living history exhibit. In 2007, the Tindall House was again secured onto the bed of a moving truck and traveled across the Loxahatchee River on US-1 to the Jupiter Inlet Lighthouse and Museum/500 Captain Armour's Way (Palm Beach County n.d.; Procyk 2012).

National Register Criteria Consideration B states that a property that has been moved from its original or historic location may be eligible for listing in the National Register if primary significance is based upon architectural value, or is the surviving property most importantly associated with a historic person or event (NPS 2002:29). The significance of the Tindall House is intrinsic to the structure itself and does not depend on a historic site. This building is the earliest known surviving house in Jupiter (Jupiter Inlet Lighthouse and Museum 2016; Procyk 2012; Palm Beach County n.d.) and with a construction date of 1892, it in fact pre-dates the United States Senate opening the lands of the Jupiter Military Reservation for homesteading by two years. This event effectively allowed for the first real development boom in and around the Jupiter area. As the only known remaining house in Jupiter from this time, the Tindall House serves as the single most important structure that attests to the earliest settlement of the Jupiter area. Oftentimes, small residences such as the Tindall House were an interim solution to housing. After the turn-of-the-century, a societal shift occurred towards the

construction of larger and more permanent housing. Consequently, turn-of-the-century Cracker houses are a rare resource type (Janus Research 2013b). Furthermore, the Tindall House is an exemplary representation of a turn-of-the-century wood frame Florida Cracker house. The methods of construction, materials utilized, design, and massing of the house embody the vernacular traditions employed by those first settlers in the remote Florida frontier.

For a property that has been moved to qualify for listing in the National Register under Criterion C, it must retain sufficient integrity, that is, it must retain enough historic features to convey its architectural value through integrity of design, materials, workmanship, feeling, and association (NPS 2002:29). Repurposing of the Tindall House as an interpretive exhibit is a compatible use, and required minimal change to the defining characteristics of the building. The house has maintained its historic design, including its double-pen configuration and historic fenestration patterns. Importantly, the dual entrances associated with the double-pen type house are intact. It appears that much of the original wood drop siding has been retained, and new areas of cladding are compatible and differentiated from the old. Historic windows and doors also have been retained, as well as historic elements such as the operable wood shutters, exposed rafter tails, and cornerboards. Figure 11 is a photograph of the Tindall House when it was first documented within the FMSF in 1990 (Johnson 1990b). Comparison of this to the current photograph (see Figure 7) illustrates sufficient historic integrity.

As previously discussed, the Tindall House went through a long restoration process that included the reconstruction of the entrance porch, breezeway, and the kitchen (see Figures 7 and 8). These components were necessary to the repurposing of the structure as a piece of living history, and were done with sensitivity that seems to adhere fairly close with the Secretary of the Interior's Standards for Rehabilitation, codified as 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program. However, please note that the Tindall House is not a "certified historic structure" through the NPS, and thus did not participate in the tax incentive program to receive funding. The financing of the restoration project was solely appropriated through Palm Beach County.



Figure 11: A Photograph of the Tindall House Taken from Original FMSF Documentation.

According to the Secretary of the Interior's Standards, new additions or construction should not destroy historic materials that characterize the property and furthermore, new work must be differentiated, yet compatible, with the historic massing, size, scale, and architectural features to protect historic integrity (Morton III et al. 1992). Overall, restoration work is appropriate and based on recognition of the old in a compatible manner. As previously discussed, non-existent features of the Tindall House were reconstructed through photographic evidence (Procyk 2012). Cladding of the south reconstructed porch is clapboard, a highly compatible material, in opposition to the drop siding of the historic main living quarters. The use of clapboard is extended through to the breezeway and portions of the reconstructed kitchen, although this portion also includes areas of drop siding that is slightly wider than observed on the main historic massing. Other new architectural elements, such as wood supports, shutters, and windows are also compatible with original construction.

The breezeway and kitchen are appended at the rear elevation of the original house, and appear to be constructed at a slightly lower profile. The low profile appears to be historically accurate according to the historic photograph of the building (see Figure 10), and in replicating the orientation of these elements, any potential visual impact from the main façade of the historic main massing is minimized (Figure 12). The ADA compliant access ramp is sensitively positioned approximately 12 feet northeast of the historic house. From the south pathway, the ramp extends northwest and cuts southwest in an L-shape, where it attaches centrally to the replica breezeway. The unobtrusive nature of the access ramp is evident in Figure 12. The Secretary of the Interior's Standards for Rehabilitation also dictate that new additions and adjacent or related construction should be undertaken so that if removed at a point in the future, the essential form and integrity of the historic property will not be impaired (Morton III et al.

1992). Neither the breezeway, porch, or kitchen would harm the integrity of the historic structure were it to be removed.



Figure 12: An Overview of the Tindall House from the Top of the Jupiter Inlet Lighthouse, facing Northwest

The significance of the Tindall House is not dependent upon its relationship to its surroundings; however, Criteria Consideration B still requires moved properties to have a similar orientation, setting, and general environment comparable to the historic location and compatible with the property's significance (NPS 2002:30). The current site of the Tindall House within the grounds of the Jupiter Inlet Lighthouse and Museum sufficiently evokes the basic qualities of the historic environment and setting. Upon its relocation, traditional crops and trees were planted to in an effort to recall the original environment/setting of the house. The orientation of the building is centered in a clearing of trees, much as it historically was (see Figure 10).

The Tindall House meets National Register Criteria Consideration B for moved properties because of its architectural value as a rare and intact turn-of-the-century Florida Cracker house. Of paramount importance is the fact that the Tindall House appears to be the last of its kind and is the only property that can be related to the early settlement of Jupiter. Accordingly, the Tindall House is considered eligible for listing in the National Register under Criterion A in the area of Local Exploration/Settlement, and under Criterion C in the area of Architecture.

Because the Tindall House was relocated to its current site and is not associated with the Jupiter Lighthouse Reservation, it is considered a non-contributing resource to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443).



Figure 13: Jupiter Bridge (8PB14878), Determined Individually National Register-eligible, photograph from the top of the Jupiter Inlet Lighthouse, facing Southwest

8PB14878

Jupiter Bridge

The Jupiter Bridge carries US-1/Federal Highway over the Loxahatchee River in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 PR 1983) USGS quadrangle map, in the Town of Jupiter, Palm Beach County, Florida (Figure 13). It runs north/south and is located between SR 707 and Ocean Boulevard. The bridge is also directly east of the Alternate A1A Bridge. It was constructed in 1958 by the State Road Department under the project number 9304-204 as a replacement to the Old US-1 Loxahatchee Bridge (8PB14572), which was constructed in 1926 and is located slightly to the west of the current Jupiter Bridge. Only a remnant of the old bridge is in existence. The Jupiter Bridge is owned and maintained by the State of Florida.

According to the previous FMSF form prepared by ACI (ACI 2010), this trunnion-style four-leaf, double-bascule bridge is 843 feet in length with a total of 18 spans. Spans numbered one through 11 and 15 through 18 include eight pre-stressed concrete American Association of State and Highway and Transportation Officials (AASHTO) Type C beams. Flanking spans 12 through 14 have ten AASHTO Type C Beams. Span 13 is the double-bascule span constructed of two built-up girders per leaf. Bents 5, 9, and 16 have fourteen pre-stressed 20-inch square piles and the remaining intermediate bents have eight. Both abutments are solid reinforced concrete breast walls that rest on reinforced concrete footers supported by 12 piles. The two reinforced concrete bascule piers are supported by 18-inch square piles. The bridge width is 66 feet wide and includes two-foot sidewalks to the right and left of the bridge deck. Handrails include concrete posts and beams. The handrail for the bascule includes steel channels and angles. The nine-inch deck consists of seven inches of reinforced cast-in-place

concrete with a two-inch asphalt overlay. The deck for the bascule span is comprised of five-inch open grid and three-inch filled-grid decking. Two on-coming and out-going aluminum warning gates are present. Four Vickers hydraulic power motors, a reducer box, and opening gear system are on the bridge from the 1992 rehabilitation. Vertical clearance at low tide is 16 feet, horizontal clearance is 90 feet, and the water depth at the channel is 18 feet (ACI 2010).

A three-story tender station is present on the east side of the bridge and is mounted to the northeast corner of the north pier. This tender station is rectangular in form with a flat, built-up roof. Fenestration consists of metal one-over-one single hung sash windows and the main entrance consists of a single-pane, hollow-metal door at the west façade. The year “1958” is stamped directly above this door. Exterior ornamentation includes concrete surrounds at windows and around two sets of single light double-doors at the north.

The bridge has undergone repairs for maintenance purposes over the years. In 1977, the bridge was painted and the fender system was repaired. In 1978 and 1998, the bridge sustained pile jacket repairs. Between these two repairs, the most substantial bridge maintenance took place in 1992. At this time, Tom Quinn Company was contracted to update electrical machinery as well as update the paint system of the bridge. The Hopkins frame of the bridge was also updated to a trunnion-style. The latest activity was performed in 2005 when the structural steel was painted and the fender system was once again repaired (ACI 2010).

The Jupiter Bridge was initially documented by ACI in 2010 for the FDOT Central Environmental Management Office to include in the updated *Historic Highway Bridges of Florida* study (ACI 2012), and was in draft form and under review by the SHPO at the time of the original 2013 CRAS (FMSF manuscript no. 20293; Janus Research 2013a). ACI found the bridge to be National Register-eligible as the only historic four-leaf, double-bascule bridge in the State of Florida that retains its integrity (ACI 2010). Due to the fact that the bridge had not been modified since it was initially recorded in 2010, a FMSF form was not updated for the resource in 2013. Prior to the submittal of the original 2013 CRAS, the FHWA reviewed the National Register Determination of Eligibility (DOE) for the bridge and determined that the Jupiter Bridge was eligible for individual listing in the National Register on June 18, 2013, in response to a letter from FDOT, District 4. The SHPO concurred that the Jupiter Bridge (8PB14878) was eligible for individual listing in the National Register in response to this letter on June 24, 2013.



Figure 14: The World War II U.S. Navy Married Men's Housing Quarters/500 Captain Armour's Way (8PB15991), Determined Individually National Register-eligible and Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Northeast

8PB15991

World War II U.S. Navy Married Men's Housing Quarters/500 Captain Armour's Way

The circa-1942 World War II U.S. Navy Married Men's Housing Quarters is located east of the Jupiter Bridge and south of Captain Armour's Way in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 PR 1983) USGS quadrangle map, in the Town of Jupiter, Palm Beach County, Florida (Figure 14). The two-story building is Frame Vernacular in style featuring three hip roof portions and a south second-floor shed roof extension screened-in porch. It rests on a concrete pier system. The roof is covered in composition shingles and features wide overhanging eaves. Two exterior brick chimneys are at the east and west of the central hip roof portion. The building is clad in clapboard and at the south is a full-width porch which incorporates wood supports and simple wood railing. ADA accessible ramps have been added at the north and east elevations. Windows appear to be replacement and feature two-over-two double-hung sash configurations. Wood surrounds encase window openings. The south façade main entrance is located in the south porch and includes a panel door with three-light sidelights. Concrete steps with wood rail access the main entrance. There are several north entry ways at the rear elevation of the building. Due to the significant association of the building with World War II, and its existence as an example of an intact Frame Vernacular style military building, it was determined National Register-eligible by the SHPO as part of the original 2013 CRAS (FMSF manuscript no. 20293; Janus Research 2013a).

As part of the current addendum, the World War II U.S. Navy Married Men's Housing Quarters is considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443).

7.2.2 Potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)



Figure 15: An Overview Photograph of the Potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443) within the Current APE, photograph from the top of the Jupiter Inlet Lighthouse, facing Southwest

The potential district is a mixed district that is comprised of both archaeological and historic sites. It is located at the confluence of the Loxahatchee River and the Indian River Lagoon (ICWW), in Section 31 of Township 40 South, Range 43 East, on the Jupiter (1948 PR 1983) USGS quadrangle map, in the Town of Jupiter, Palm Beach County, Florida (Figures 15 and 16). Property ownership is divided between the Town of Jupiter and the U.S. Government. Three distinct areas comprise the potential district: USCG Family Housing for LORAN-C Station Jupiter, the Jupiter Inlet Lighthouse and Museum, and the Primary Jupiter Inlet Light Station. Only those cultural resources located within the district and the APE were considered during the study.

Although the area immediately north of SR 707/Beach Road encompasses the former Jupiter Atlantic Missile Range Tracking Station, established on the Jupiter Lighthouse Reservation in the 1950s, evaluation of this area is beyond the scope of the current study, and therefore, this area was not included within the proposed district boundaries. This area may be incorporated into the potential Jupiter Lighthouse Reservation Mixed Resource District as part of a future survey.



Figure 16: An Overview Photograph of the Potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443) within the Current APE, photograph from the top of the Jupiter Inlet Lighthouse, facing Southeast

Extending south of SR 707/Beach Road is Coast Guard Way. Approximately 400 feet from the juncture of SR 707/Beach Road and Coast Guard Way, the roadway splits and a paved unnamed access road meanders from this point to the south. At the east side of the access road are eight Masonry Vernacular style single-family residences. A ninth residence is located near the southern terminus of the access road. This housing complex was developed in the early 1960s for the families of U.S. Coast Guardsmen working at the LORAN-C Station in the census designated place (CDP) of Hobe Sound, Martin County. The previously recorded USCG dwelling near the southern terminus of the access road (8PB16182) is the only building located in the APE. The complex is recorded in the FMSF as resource group 8PB16191. The non-historic Coast Guard Exchange building, newly recorded Jupiter Lighthouse Cemetery (8PB16434), and several other non-historic buildings, both within and outside the APE, are included in this general area.

To the west of the LORAN-C Station housing are the facilities related to the Jupiter Inlet Lighthouse and Museum, owned by the Town of Jupiter. It should be noted that some museum exhibits in this area are located on USCG land, such as the previously recorded Tindall House (8PB6186), located in the APE. The museum operates out of the previously recorded World War II U.S. Navy Married Men's Housing Quarters (8PB15991), located at 500 Captain Armour's Way inside the APE. A large parking lot extends north of the naval quarters all the way to SR 707/Beach Road, most of which is in the APE. Adjacent to the parking lot is a non-historic park with restroom facilities; playground equipment; a pavilion; and a display of two cannons from a shipwreck along the Jupiter Coast, a ship anchor, and bronze plaque. A modern tennis court is also located near the park. A small portion of the park is contained in the APE.

To the east of the LORAN-C Station housing is the Primary Jupiter Inlet Light Station. This area contains the National Register-listed Jupiter Inlet Lighthouse (8PB65), located in the APE, and several of the historic resources which were newly recorded as part of this study: Jupiter Inlet Lighthouse Oil House (8PB16435), Jupiter Inlet Light Station Wharf (8PB16436), USCG Family Quarters, Unit A (8PB16437), USCG Family Quarters, Unit B (8PB16438), Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Jupiter Inlet Light Station Garage (8PB16441), Jupiter Inlet Light Station Auxiliary Pump House (8PB16444), and the Jupiter Inlet Lighthouse Staircase (8PB16445). The archaeological site Head/Assistant Light-Keeper's House (8PB16068) is also contained in this area, and consists of the foundation of the original Head Light-Keeper's home and cistern. A non-historic wood deck which interprets the original location of the lighthouse keeper's home and Florida Banyan tree, planted in 1935 in tribute to the lighthouse keepers that served the station (Jupiter Inlet Lighthouse and Museum 2016), are also features of this area.

Table 4 is a listing of all 15 resources in the APE that contribute to the potential Jupiter Lighthouse Reservation Mixed Resource District and Figure 17 illustrates the locations of contributing resources on a modern aerial. Table 5 is a listing of the resources within the APE which are non-contributing to the potential Jupiter Lighthouse Reservation Mixed Resource District. While the majority of the non-contributing elements are non-historic, the 1892 Tindall House (8PB6186) is considered non-contributing because it was relocated in recent years to its present site and has little to do with the historical development of the Jupiter Lighthouse Reservation.

Following Figure 17 are brief narrative descriptions of the 15 contributing resources, except for the individually National Register-listed Jupiter Inlet Lighthouse (8PB65) and National Register-eligible World War II U.S. Navy Married Men's Quarters (8PB15991), which were presented in Section 7.2.1. A historical context for the Jupiter Lighthouse Reservation follows the narrative descriptions, and this is further followed by an evaluation of the potential district's significance.

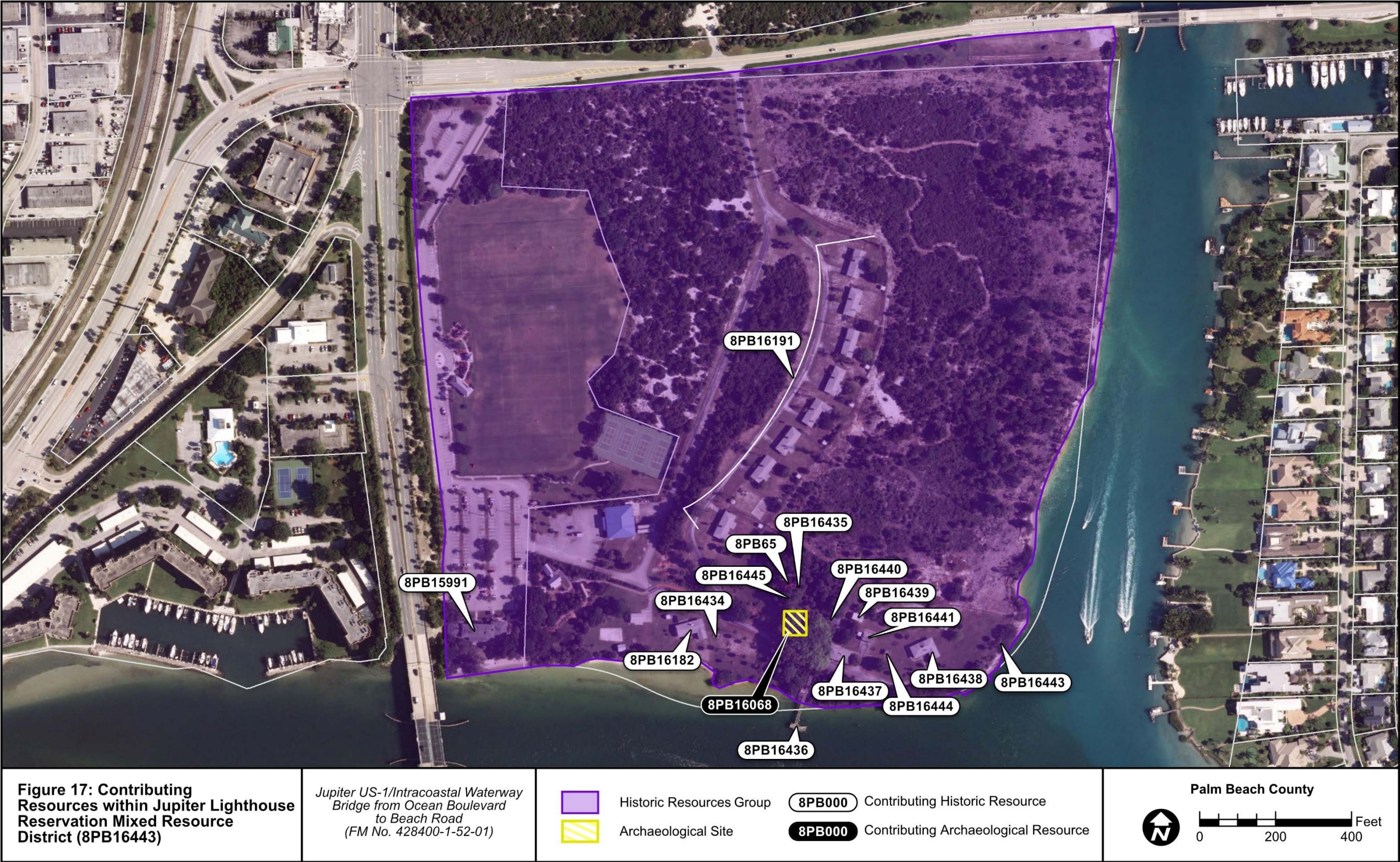
TABLE 4: CONTRIBUTING RESOURCES TO THE JUPITER LIGHTHOUSE RESERVATION MIXED RESOURCE DISTRICT (8PB16443)		
FMSF#	Contributing Resource	Construction date
8PB65	Jupiter Inlet Lighthouse	1859
8PB15991	World War II U.S. Navy Married Men's Housing Quarters/500 Captain Armour's Way	c. 1942
8PB16068	Head/Assistant Light-Keeper's House Foundation	c. 1860
8PB16182	LORAN-C Station Jupiter Family Housing, Unit A	c. 1961
8PB16191	USCG Family Housing for LORAN-C Station Jupiter Resource Group	c. 1961

TABLE 4: CONTRIBUTING RESOURCES TO THE JUPITER LIGHTHOUSE RESERVATION MIXED RESOURCE DISTRICT (8PB16443)

FMSF#	Contributing Resource	Contributing Resource
8PB16434	Jupiter Lighthouse Cemetery	c. 1905
8PB16435	Jupiter Inlet Lighthouse Oil House	1859
8PB16436	Jupiter Inlet Light Station Wharf	c. 1931
8PB16437	USCG Family Quarters, Unit A	c. 1961
8PB16438	USCG Family Quarters, Unit B	c. 1961
8PB16439	Jupiter Inlet Lighthouse Keeper's Workshop	c. 1929
8PB16440	Jupiter Inlet Light Station Radio Beacon Building	c. 1928
8PB16441	Jupiter Inlet Light Station Garage	c. 1929
8PB16444	Jupiter Inlet Light Station Auxiliary Pump House	Between 1929 and 1941
8PB16445	Jupiter Inlet Lighthouse Staircase	Before 1915

TABLE 5: NON-CONTRIBUTING RESOURCES TO THE JUPITER LIGHTHOUSE RESERVATION MIXED RESOURCE DISTRICT (8PB16443)

Non-contributing Resource	Construction Date
Tindall House (8PB6186)	1892
Tindall House Replicated Fern Shed	c. 2010
Tindall House Replicated Hen House	c. 2010
Replicated Seminole Indian Chickee	c. 2010
USCG Gabled Pavilion	Between 1968 and 1995
USCG Gabled Garage	Between 1968 and 1995
USCG Gabled Shed Adjacent to 8PB16441	c. 2000
USCG Gabled Shed 1 Northeast of 8PB16438	c. 2001
USCG Gabled Shed 2 Northeast of 8PB16438	c. 2007
Lighthouse Deck	2000s
Park and Associated Facilities	c. 1995
Parking Lot	c. 1995



Narratives for Contributing Resources to the Potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)



Figure 18: LORAN-C Station Jupiter Family Housing, Unit A (8PB16182), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing South

Previously recorded LORAN-C Station Jupiter Family Housing, Unit A (8PB16182) was constructed circa-1961 and is located to the southeast of the juncture of Coast Guard Way and Jupiter Lighthouse Park (Figure 18). The building is one-story in height and irregular in form with a main side gable roof. A cross-gable and shed roof screened porch portion extend to the south. The roof system is covered in composition shingles. The concrete block building rests on a continuous concrete block foundation and is clad in a stucco treatment. A concrete block chimney is set in the interior of the building to the north of the ridge line. Windows are replacement aluminum one-over-one single-hung sash. A replacement single-acting panel door, oriented at the north, is recessed within the main façade wall. Stucco scored to resemble brick veneer serves as a door surround. To the west of the main entrance is a concrete block integral planter, which is clad in stucco that has been scored to resemble brick veneer. A one-bay carport is located at the west end of the building, and features a stuccoed masonry support and concrete cut-out wall. The building remains in good condition. This residence is part of a nine-unit housing complex developed for USCG families associated with the LORAN-C Station in Hobe Sound, Martin County, recorded in the FMSF as 8PB16191 (Figure 19). The remaining eight units of the complex are not located in the APE. Aerials from 1964 show that the complex was completed by the time period. These units were part of a massive renovation of USCG facilities at the Jupiter Light House. Units contain between three and four bedrooms, where the four bedroom units are differentiated by the presence of a cross-gable. Non-historic storage sheds appeared on most properties in the complex between 1999 and 2002. A

basketball court and playground equipment was added outside of the APE during the early 2000s.

Because the nine residential buildings of the resource group stand as generic examples of military residential architecture, each resource, as well as the resource group, were determined National Register–ineligible by the SHPO in 2015 (Davenport 2015a; Davenport 2015b). However, because these resources are significant within the context of the Jupiter Lighthouse Reservation, they are considered contributing resources to the potential district.



Figure 19: The USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), located outside of the APE, photograph from the top of the Jupiter Inlet Lighthouse, facing North

The Jupiter Lighthouse Cemetery (8PB16434/Figure 20) is located south of Coast Guard Way, immediately east-adjacent to previously recorded Unit A of the LORAN-C housing complex (8PB16182). The cemetery is small with an approximate length of 20 feet and approximate width of seven feet. The plot appears to be outlined in stone, and is also enclosed with a non-historic wood picket fence. Contained within the cemetery are three known burials oriented to the east; however, according to Josh Liller, Historian and Collections Manager for the Jupiter Inlet Lighthouse and Museum, there are possibly other unmarked graves (Liller 2016). Two of the graves belong to the still born infants of Captain Joseph A. Wells and his wife Katherine Dickerson Armour Wells. Captain Wells served as the first assistant lighthouse keeper from 1894 to 1906 under his father-in-law, head lighthouse keeper James Armour (Lasseter-Drake and White 2003:24). Upon Armour's retirement in 1906, Wells was promoted to head lighthouse keeper, a position he held until he retired in 1919 (Lasseter-Drake and White 2003:24). The dates of the graves are between 1905 and 1906 (Liller 2016). A single stone

marker inscribed with the words “Our Babies,” flanked by two crosses, is present. Stone curbing signifies the location of the Wells burials.

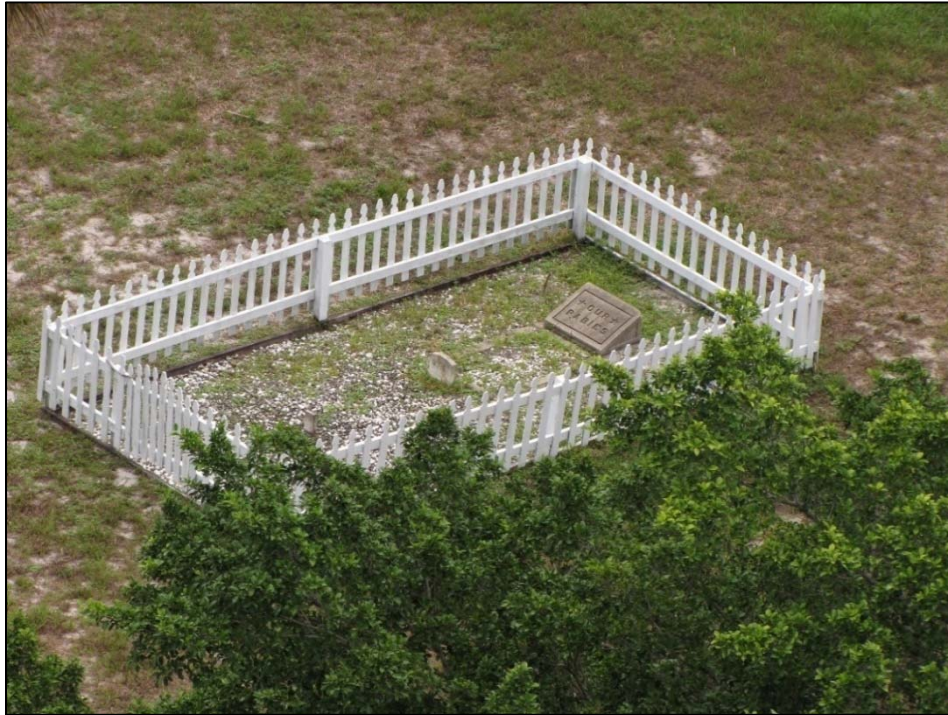


Figure 20: The Jupiter Lighthouse Cemetery (8PB16434), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), photograph from the top of the Jupiter Inlet Lighthouse, facing Southwest

The third burial is located immediately east of the Wells children and is marked by a marble tombstone inscribed with the words “Richard, Son of J&M Eriksson, Apr. 1904. Sept. 28 1906.” Above this inscription is a dove and two olive branches. The dove is the most frequently observed animal symbol in cemeteries and most often an olive branch accompanied this symbol (Keister 2008:162). According to the Christian faith, the dove is a symbol of purity and peace because God had made peace with man (Keister 2008:162). A marble footstone inscribed with the child’s initials is present. Richard Eriksson was the son of John Erwin Eriksson and Magnolia “Maggie” G. Eriksson. John Eriksson served as an assistant lighthouse keeper (Lasseter-Drake and White 2003:24). The cemetery can be observed on historic aerial photographs from 1964, appearing as it does currently.



Figure 21: The Jupiter Inlet Lighthouse Oil House (8PB16435), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing East

The Jupiter Inlet Lighthouse Oil House (8PB16435) is located immediately east of the Jupiter Inlet Lighthouse and was completed under General Edward Yorke in 1859 (Figure 21). The one-story building is rectangular in form and constructed of brick clad in plaster. It is 11 feet wide by 20 feet long. The gabled roof is structured with steel trusses and purlins (Kenneth Smith Architects, Inc. and Bender & Associates, P.A. Associates Architects 2002) and covered with what appears to be corrugated sheet metal. A shaped parapet is located at both the north and south elevations. Incorporated into each parapet are three posts and coping. A single-acting metal door is slightly recessed into the south façade of the building. There are no window openings. According to an 1862 drawing of the Jupiter Inlet Lighthouse and oil house, the current structure was designed to include windows (Figure 22). These may have been enclosed during extensive renovations to the building, or else were never included in the final design and construction. A bronze dedication plaque is affixed to the west of the south entrance. The oil house remains in good condition and currently serves as a staging area for lighthouse tours.

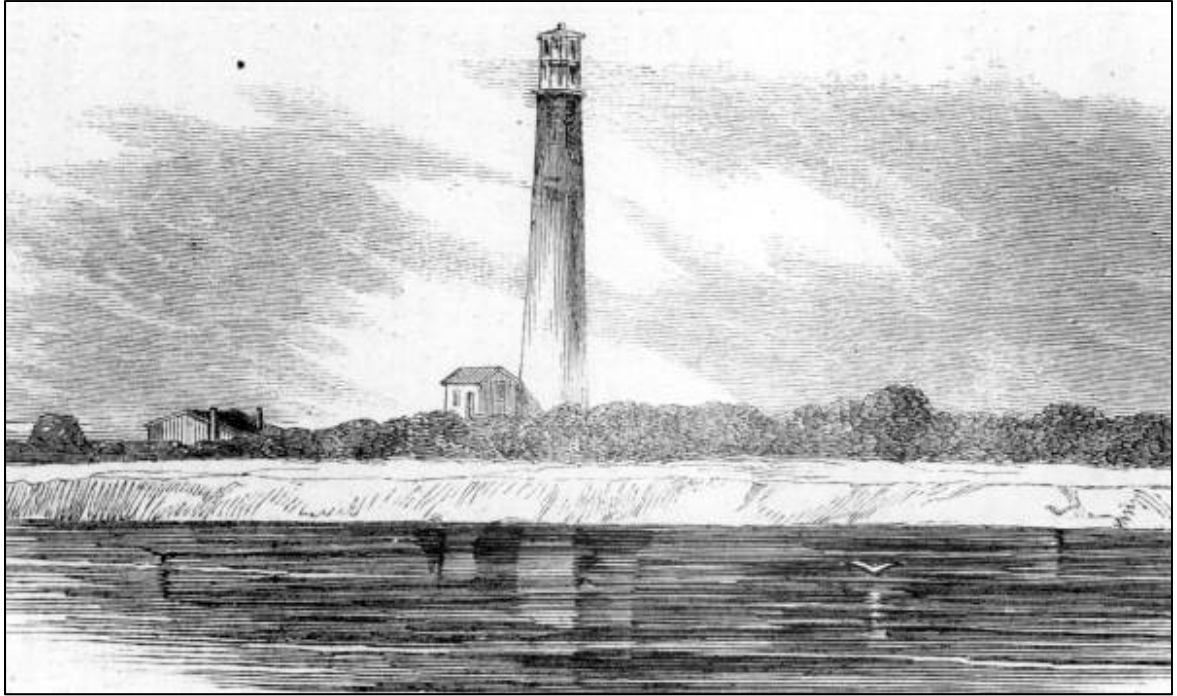


Figure 22: A 1862 Drawing of the Jupiter Inlet Lighthouse and Oil House (*courtesy of Florida Memory*)

This resource is an ancillary feature of the National Register-listed Jupiter Inlet Lighthouse (8PB65); however, the building was not recorded as part of the 1973 National Register nomination for the lighthouse. Once a year, the U.S. Buoy tender would anchor off the inlet to deliver a year's supply of oil, paint, and other necessities of the lighthouse (DuBois 1960:9). Wooden boxes delivered by the U.S. Buoy tender were placed at the foot of the staircase to the lighthouse and oil house, cracked open, and the five-gallon metal cans of oil or paint contained in the boxes were hooked into a yoke that was carried by a man up the stairs to the lighthouse keeper (DuBois 1960:9). Waiting at the door of the oil house, the lighthouse keeper would wipe the cans with a linseed saturated cloth to remove any trace of salt water prior to placing the cans on the shelves of the oil house (DuBois 1960:9). Lard oil was originally used to power the lighthouse. An early 1888 photograph depicting the original light keeper's house (Figure 23) shows the original brick exterior of the oil house. According to Bessie Wilson DuBois, the oil house had been "put in good as new condition" in 1883 (DuBois 1960:11). In 1905, the oil house was remodeled, the same year the fuel for the lighthouse was switched to kerosene (Liller 2016). During the renovation, shaped parapets were added at the north and south elevation, the brick was covered in plastering, and holes were drilled in the floor in case of a kerosene leak (Liller 2016). Figure 24 is a photograph taken prior to 1929 of the lighthouse and oil house, where the oil house shows its 1905 remodeled appearance. In 1928, the Jupiter Inlet Lighthouse was converted to electricity and no longer required oil. After this point, the oil house was used for storage.



Figure 23: A Photograph Taken Prior to 1883 of the Original c. 1859 Constructed Lighthouse Keeper's House and Jupiter Inlet Lighthouse Which Depicts the Jupiter Inlet Lighthouse Oil House Prior to the 1905 Remodel (*courtesy of Florida Memory*)



Figure 24: A Photograph of the Jupiter Inlet Lighthouse Oil House after the 1905 Remodel, photograph prior to 1929 (*courtesy of Florida Memory*)

In the early 1970s, the oil house was cleaned out, repainted, and air conditioning and display cases were installed (Liller 2016). In 1973, the oil house opened as the “Oil House Museum,” headed up by the Loxahatchee River Historical Society (Loxahatchee River Historical Society 2011). This organization was founded in 1972 with the mission of preserving Town of Jupiter history. In conjunction with the museum, sporadic public tours were given by the historical society of the lighthouse with permission of the USCG (Loxahatchee River Historical Society 2011). Restoration of the oil house commenced in 1999 to restore the building back to its appearance in 1915 (Liller 2016).

The Jupiter Inlet Light Station Wharf (8PB16436) is located to the south of Coast Guard Way at the north bank of the Loxahatchee River (Figure 25). This structure was constructed in 1931 to replace a former wharf which was destroyed by the hurricane of 1928. The wharf ramp is wooden and approximately 170 feet in total length. At the end of the ramp is the wooden head of the wharf (Figure 26). A metal ladder is positioned at the south end of the wharf head. Simple wood hand rails are observed both on the ramp and at the wharf head. The substructure consists of concrete pilings. According to original plans for the wharf, wood cross-ties would have connected the pilings (Weed et al. 1981:47). The wharf remains in fair condition and does not currently appear to be utilized for docking boats.



Figure 25: The Jupiter Inlet Light Station Wharf (8PB16436), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing East



Figure 26: The Wharf Head of the Jupiter Inlet Light Station Wharf, photograph from the top of the Jupiter Inlet Lighthouse, facing Southeast

The circa-1961 USCG Family Quarters, Unit A (8PB16437) is Masonry Vernacular in style and located at the north side of Coast Guard Way near the north bank of the Loxahatchee River (Figure 27). It should be noted that this unit, in addition to USCG Family Housing Quarters, Unit B (8PB16438), were developed for the primary lighthouse station, and are not related to the previously discussed LORAN-C Station housing. USCG Family Quarters, Unit A is one-story and rectangular in form with a hip roof system covered in composition shingles. The concrete block building rests on a concrete slab foundation. Exterior walls are clad in a stucco treatment. A concrete block stucco clad interior chimney is set north of the roof ridge line. The main entrance is slightly recessed at the north façade and includes a replacement single-acting panel door. The deep overhang of the roof creates a sheltered entrance porch. Windows of the structure are replacement aluminum one-over-one single-hung sash. There is no observed architectural embellishment. It remains in good condition.

The circa-1961 USCG Family Quarters, Unit B (8PB16438) is Masonry Vernacular in style and located just north of the eastern terminus of Coast Guard Way (Figure 28). This building is one-story and L-shaped in form with a hip roof system covered in composition shingles. The concrete block building rests on a concrete slab foundation. Exterior walls are clad in a stucco treatment. A concrete block stucco clad interior chimney is set north of the roof ridge line. The main entrance is set at the north façade beneath the roof overhang, but features of the entrance could not be observed due to lack of accessibility. Window configurations are obscured by the presence of hurricane shutters. There is no observed architectural embellishment and the building remains in good condition.



Figure 27: The USCG Family Quarters, Unit A (8PB16437), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Southeast



Figure 28: The USCG Family Quarters, Unit B (8PB16438), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), photograph from the top of the Jupiter Inlet Lighthouse, facing Southeast

The Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439) is Frame Vernacular in style and located at the north side of Coast Guard Way to the southeast of the Jupiter Inlet Lighthouse (Figure 29). According to Jupiter Inlet Lighthouse and Museum information, the building was constructed in 1929 (Jupiter Inlet Lighthouse and Museum 2016). It is one-story and of wood frame construction resting on a concrete block pier system. The exterior of the building is clad in clapboard. It is capped with a hip roof covered in what appears to be drop-point slating. At the south façade are three historic wood panel doors accessed by concrete steps. Windows are wood six-over-six double-hung sash. Exterior ornamentation includes exposed rafter tails, wood window and door surrounds, and cornerboards. The building is in good condition and serves as a permanent exhibit of the Jupiter Inlet Lighthouse and Museum.

The Jupiter Inlet Lighthouse Keeper's Workshop was constructed to replace an earlier pump house/storage building that was damaged in the 1928 hurricane (Jupiter Inlet Lighthouse and Museum 2016). While it was originally divided into three rooms, it had been modified into a one-room structure that contains interpretive materials on the Lighthouse Station. The west room was historically the well room. Within the area of the former well room is an 1850s "bucket drawn" well, a 1920s jack pump foundation, and a cast iron "stand pipe" used to draw water (Jupiter Inlet Lighthouse and Museum 2016). Additionally, the building also once contained paint supplies for the lighthouse and a work bench for the lighthouse keepers (Jupiter Inlet Lighthouse and Museum 2016).



Figure 29: The Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Northeast

The Masonry Vernacular style Jupiter Inlet Light Station Radio Beacon Building (8PB16440) is located to the north of Coast Guard Way to the northeast of the workshop building (Figure 30). It was constructed in 1928 when the lighthouse was electrified (Liller 2016) and is visible in a January 16, 1941 photograph of the Jupiter Inlet Light Station (Figure 31). The building was used for sending Morse Code and held clocks and transmitters (Liller 2016). It is one-story and rectangular in form with a low-pitched side gable roof covered in what appears to be built-up material. The concrete constructed building rests on a continuous concrete block foundation. Exterior walls are clad in a stucco treatment. A simple single-acting metal entrance door is set within the south wall beneath a shed roof extension supported by brackets. Windows are replacement aluminum one-over-one sash. The building is unadorned and in good condition.



Figure 30: The Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Southeast

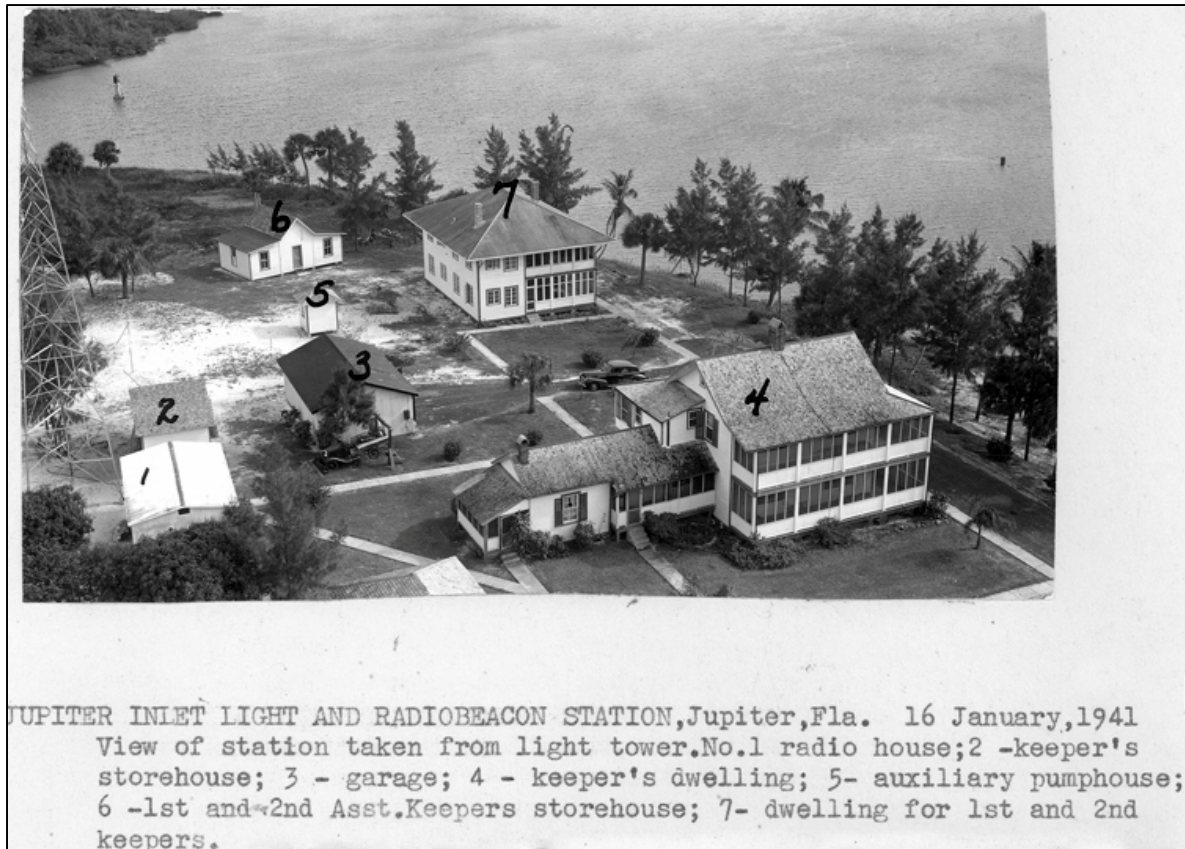


Figure 31: A 1941 Photograph of the Jupiter Inlet Light Station (*courtesy of lighthousefriends.com*)

The Frame Vernacular style Jupiter Inlet Light Station Garage (8PB16441) is located to the north of Coast Guard Way and to the southeast of the Jupiter Inlet Light Station Radio Beacon Building (Figure 32). It was built circa-1929 for lighthouse keepers after the boat house was destroyed by the 1928 hurricane, and they preferred the construction of a garage over a new boat house (Liller 2016). The garage appears in the January 16, 1941 photograph of the Jupiter Inlet Light Station (Figure 31). During the current survey, the garage was mostly inaccessible and obscured by vegetation, as well as by a west-adjacent non-historic storage building. The garage is one-story and constructed of wood frame resting on a concrete slab foundation. Exterior walls are clad in vertical wood siding. The roof is side gabled and clad in composition shingles. It is a three-bay garage which historically featured side-opening double-doors (Liller 2016). The side-opening doors are visible in an aerial photograph from 1966 (Figure 33). Modern garage doors have replaced these in recent years (Liller 2016). The structure appears to be in good condition.



Figure 32: The Jupiter Inlet Light Station Garage (8PB16441), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Southeast



Figure 33: A 1966 Aerial Photograph of the Jupiter Inlet Light Station (*courtesy of lighthousefriends.com*)

The Masonry Vernacular style Jupiter Inlet Light Station Auxiliary Pump House (8PB16444) is located to the north of Coast Guard Way and to the southeast of the Jupiter Inlet Light Station Garage (Figure 34). It appears in the January 16, 1941 photograph of the Jupiter Inlet Light Station (see Figure 31) and was constructed between 1929 and 1960 to supply water to lighthouse keeper housing (Liller 2016). During the survey, the pump house was mostly inaccessible and could only be viewed from the perspective of the top of the Jupiter Inlet Lighthouse. This building is one-story and constructed of concrete resting on a concrete slab foundation. Exterior walls are clad in stucco. The roof system is flat and comprised of built-up materials. The entrance into the pump house could not be observed but appears to be located at the south elevation of the building. There is no exterior ornamentation and the building appears to be in good condition.



Figure 34: The Jupiter Inlet Light Station Auxiliary Pump House (8PB16444), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), photograph from top of the Jupiter Inlet Lighthouse, facing Southeast



Figure 35: The Jupiter Inlet Light Station Staircase (8PB16445), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing North

This historic straight-run Jupiter Light Station Staircase (8PB16445) is set in a hillside located to the immediate south of the Jupiter Inlet Lighthouse and Jupiter Inlet Lighthouse Oil House (Figure 35). Steps are concrete and three landings are included. The hand railings of the stairs are zig-zagged and plastered over. These steps appear to be the second to access the lighthouse and oil house. A historic photograph taken prior to 1883 shows the original set of wooden stairs (see Figure 23). A photograph taken prior to 1929 shows the current staircase included wood railings (see Figure 24). The wood handrails were removed and concrete walls of the staircase were raised two feet and plastered over in 1929 (Kenneth Smith Architects, Inc. and Bender & Associates, P.A. Associates Architects 2002; Liller 2016). A benchmark at the top of the stairs bears the year 1929 (Liller 2016). This resource remains in good condition and is utilized for tours of the Jupiter Inlet Lighthouse.

The Head/Assistant Light-Keeper's House Foundation (8PB16068) is located south of the Jupiter Inlet Lighthouse and consists mainly of the foundation and cistern associated with the first Jupiter Light-Keeper's house (Figure 36). The site was identified by the Archeological and Historical Conservancy (AHC) in 2010 (Carr et al. 2014). The structure was built in circa-

1860 and burned down in 1926. The structure was initially occupied by the Head Light-Keeper but was occupied by the Assistant after the construction of a new house for the Head Keeper in circa-1883. Archaeological remains identified during the excavation of consisted of a brick foundation, piers, and cistern and brick rubble from the demolition of the house. Artifacts recovered from the excavations included brick, tabby, iron and copper nails, wooden planks, copper mesh screen, a mortise lock, a ceramic door knob, musket balls, .22 and .38 caliber cartridges, shotgun shells, possible engineer's ruler fragment, U.S. Lighthouse Engineers service button, clay pipe fragments, iron tools, domestic ceramics, glass fragments, utensils, personal items, coins, and toys including marbles and doll fragments. Although the site is described in the 2014 AHC report as National Register-eligible, as of December 2016, the FMSF form for the site has not been submitted to the FDHR.



Figure 36: The Head/Assistant Light-Keeper's House Foundation (8PB16068), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing South

Historical Development of the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)

The development of the Jupiter Lighthouse Reservation is entwined with the February 21, 1855 reestablishment of Fort Jupiter. The original Fort Jupiter was established at present-day Pennock Point during the Second Seminole War (1835-1842) and “New Fort Jupiter” was located to the southeast of this on the southern shore of the Loxahatchee Estuary, east of the confluence of the South Fork of the Loxahatchee and just to the south of the tip of present-day Pennock Point, in the current Jupiter Plantation development. “New Fort Jupiter” was utilized from February to November of 1855, until it was abandoned due to the constant illness suffered by almost all those stationed there (Janus Research 2013a). The Jupiter Military Reservation was established on 9,000 plus total acres of land (Janus Research 2013a). Within the Jupiter Military Reservation, land was expressly set aside for the construction of a lighthouse by executive order of President Franklin Pierce on October 22, 1854 (Hughes 1992). Construction of a lighthouse here was necessary due to the large number of shipwrecks caused by the strong northbound current that brought ships in towards the inlet (Lasseter-Drake and White 2003:7). The property reserved for the lighthouse supposedly encompassed 61 ½ acres; however, a 1922 resurvey of the property indicated that the total acreage appropriated was 113.22 acres (Weed et al 1981:48). A June 12, 1925 executive order increased the property size to 121.95 acres (DuBois 1960:14).

Army Lieutenant George Gordon Meade, a topographical engineer, was charged the task of designing the Jupiter Inlet Lighthouse and the supervision of its construction (Kenneth Smith Architects, Inc. and Bender & Associates, P.A. Associate Architects 2002). This lighthouse was to be of the First Order, meaning that it would be one of the tallest and most powerful lighthouses in the country, and included a costly lens designed by Augustin Jean Fresnel ground in the glassworks of France (DuBois 1960:7). In September of 1856, a work party was organized to work on the lighthouse, but the unsettled state of Native American affairs in southern Florida prevented initiation of the project (Pepe 2000:22). After the Seminole Wars, a new work party was organized for the construction of the lighthouse, and they were ordered to Jupiter at the very end of 1858. The lighthouse and adjacent oil house were eventually completed under Captain Edward York in 1859, following a series of numerous additional delays, and the lighthouse was lit for the first time on July 10, 1860 (Bender & Associates 1996). Thomas Twiner served as the first lighthouse keeper (Hughes 1992). During this time period, the first lighthouse keeper’s residence was constructed south of the base of the lighthouse (see Figure 23).

In 1861, during the Civil War, the lighting apparatus of the lighthouse was removed by Confederate sympathizers, so as not to aid U.S. Naval patrols off the eastern coast of Florida (Fryman 1973). This act is related to the fact that much activity in Florida during the War centered on the question of naval control of access by water to Florida (Fryman 1973). The lighthouse remained darkened for the duration of the War. At the conclusion of the Civil War, the illuminating apparatus was found with the help of Captain James A. Armour, head lighthouse keeper at the time, and on June 28, 1866, the lighthouse was relit (DuBois 1960:8-9). General repairs were consistently made to the lighthouse in the following years, while the station around it steadily developed. A telegraph station was established at the lighthouse in

1870. The new Jupiter Wireless Telegraph Station was only the second such facility in the United States. In 1879, a weather observation post was established at the lighthouse. It was determined in the early 1880s that the 1860 constructed lighthouse keeper's house was far too small for the head keeper, two assistant keepers, and their families to live in, so in 1883, work began on a new two-story dwelling for lighthouse personnel (Lasseter-Drake and White 2003:9). The original dwelling was also repaired at this time. Over the course of the years, both keeper's dwellings were substantially modified, incorporating two-tiered wraparound porches and multiple additions. In 1889, the weather observation post was upgraded to a Weather Bureau Station (Loxahatchee River Historical Society n.d.).

In 1890, the lighthouse was transferred from the Seventh Lighthouse District to the Sixth Lighthouse District. It would remain as part of the Sixth District until 1920, when control of it was transferred back to the Seventh District (Weed et al 1981:40). The U.S. Navy established a wireless telegraph (radio) station at the site of the lighthouse in 1905. This was the second of its type in existence, with the first located in Arlington Virginia (Jupiter History Web Committee 2012). This station encompassed 5.4 acres of the lighthouse facility and was chosen for its 1000-mile distance from the station at Arlington, a distance which was realistic and useful for experimentation with the new technology (Weed et al 1981:45; Jupiter History Committee 2012). Wooden towers were first used by the Navy, but these were replaced with a 125-foot galvanized metal tower. During the World War I period, ships passing the Navy wireless station were required to maintain radio silence, but would stop to tell a signalman at the open platform of the weather bureau house the ship's name and destination (DuBois 1960:14).

The 1920s ushered in many changes at the Jupiter station. In 1927, the original light keeper's house of 1860 burned down, necessitating the construction of temporary housing facilities for the assistant keepers (Weed et al 1981:45). The following year, in 1928, the lighthouse was converted to electricity, although a diesel motor was installed as a back-up power source. The great 1928 hurricane ripped through southeast Florida soon after the lighthouse was electrified, downing the power. The diesel motor failed to start-up and keeper Captain Charles Seabrook was forced to reinstall the old mineral oil lamps (DuBois 1960:15). The lighthouse swayed an estimated 17 inches during the hurricane as Captain Seabrook tirelessly operated the light by hand (DuBois 1960:15). Over the course of the next two nights, the Seabrook family and lighthouse personnel took turns manually operating the light (DuBois 1960:15). The structure itself suffered minimal damage from the hurricane. Also in 1928, the U.S. Navy requested transfer of properties within the lighthouse station to their jurisdiction (Weed et al 1981:48). The transfer was complete in 1929, giving the Navy jurisdiction over 8.37 acres of land in the reservation, centered around the area of the National Register-eligible World War II U.S. Navy Married Men's Housing Quarters (8PB15991) (Janus Research 2013a).

The Great Depression affected the Jupiter area much as it did the rest of the country. To ameliorate the tough economic times, Franklin D. Roosevelt initiated several national relief programs, such as the Works Progress Administration (WPA). Although not a WPA project, a banyan tree was planted at the site of the first keeper's house in honor of the keepers who had served at the station. WPA Project 50-4-1-212 involved construction of a new roadway within the Jupiter Lighthouse Reservation, one that was shorter and less expensive to maintain than

the original roadway that would also connect to US-1 (Weed et al 1981:Appendix 1). The driveway was 1,266 feet in length, extending east from US-1 to the front of the lighthouse keeper's house (Weed et al. 1981:Appendix 1). Beautification of the reservation was built into the WPA project, inclusive of tree and shrubbery plantings along the access road. Additionally, the front of the 1883 lighthouse keeper's dwelling was graded, planted with grass, and beautified (Weed et al. 1981:Appendix 1). The 1938 roadway constructed by the WPA is illustrated in Figure 37, a 1953 aerial. In 1939, all lighthouses in the United States were placed under the jurisdiction of the USCG and lighthouse keepers became part of this branch of service (Snyder 2006; DuBois 1960:15).



Figure 37: A 1953 Aerial of the Jupiter Lighthouse Reservation Which Illustrates the Location of the Roadway Constructed by WPA Project 50-4-1-212

During World War II, the Jupiter Inlet Light Station became a major center of activity. From the lighthouse, Coast Guard personnel watched for signs of submarine activity. The Navy maintained their presence at the lighthouse and established an intelligence listening post. By April of 1940, the Jupiter post was acknowledged as an intercept and Direction Finding (D/F) station. The Communications Radio Intelligence Unit and Radio D/F Station at Jupiter was known as “Station J” and monitored the very low frequencies needed to locate German U-boats. “Station J” intercepted German U-boat radio activity, warned Allied ships, and then forwarded intercepted material to Washington for code breaking and translation. Merchant ships carrying fuel to troops in Europe traveled near the east coast of Florida and German submarines waited with torpedoes to destroy these ships. In February of 1942, two ships, the SS Republic and SS W.D. Anderson, were sunk by German submarines off the Jupiter Inlet, killing at least 40 men. After the Japanese bombing of Pearl Harbor in 1941, the station began an intensive monitoring of enemy radio traffic. Thirty German U-boats were destroyed off the Florida coast in May of 1943 due to “Station J.” Increased importance of the U.S. Navy during World War II necessitated an additional 3.5-acre land transference. As part of the final build-out of the Navy campus, 26 buildings were constructed of typical World War II quality, meant to last five years. The construction of the current World War II U.S. Navy Married Men’s Housing Quarters (8PB15991) was part of the final built-out. “Station J” was decommissioned on July 15, 1945 (Historical Society of Palm Beach County 2009; Loxahatchee Historical Society n.d.; Janus Research 2013a).

Following the War, in 1950, approximately 30 acres of land in the Jupiter Inlet Lighthouse Reservation was leased to the U.S. Air Force under the jurisdiction of Patrick Air Force Base, Cocoa Beach, Florida (Weed et al. 1981:49). On this land, the Jupiter Atlantic Missile Range Tracking Station was established, visible to the north of SR 707/Beach Road on the 1953 aerial (Figure 33). This station was constructed in support of missile and rocket launches from Cape Canaveral. Original emphasis was placed on missile defense, but after 1962, the emphasis was redirected to space flight (Miller 2015). The original Atlantic Missile Range consisted of nine primary tracking sites over a distance of 1,000 miles: Cape Canaveral, Florida; Jupiter, Florida; and the islands of Grand Bahama, Eleuthera, San Salvador, Mayaguana, Grand Turk, Dominican Republic, and Puerto Rico (McCormick 2016:57). The nine stations were built to follow and receive telemetry signals from in-flight vehicles (McCormick 2016:57). The Air Force personnel associated with the Jupiter Atlantic Missile Range Tracking Station lived in the Jupiter Inlet Light Station housing (Liller 2016). As the U.S. developed increasingly complex missiles, the effort required better coordination of a range of technologies, products, and the supplying vendors (Miller 2015). To accommodate this, oversight of the operation was turned over to Pan American Airways through a division of the airline known as the Guided Missiles Range Division (Miller 2015).

In 1956, the Navy requested that the USCG install an experimental LORAN-C Station along the east coast (A.C. Richmond 1960). The hyperbolic radio navigational system known as LORAN-C was developed by the USCG in the 1940s and 1950s. A temporary installation was placed in Jonathon Dickinson Park, approximately three miles from the Jupiter Inlet, on leased State of Florida land (A.C. Richmond 1960). The USCG planned to establish a permanent LORAN-C Station at the Jupiter Inlet Light Station. The site was preferred for both economic and engineering reasons (A.C. Richmond 1960). However, it was recognized that

transmissions of the LORAN-C Station would aggravate an existing problem in the Atlantic Missile Range communication cable (A.C. Richmond 1961); therefore, an alternative site was chosen in Hobe Sound within Jonathon Dickinson Park. Although located in Hobe Sound, the LORAN-C Station was officially referred to as the Jupiter LORAN-C Station. A housing complex for families of U.S. Coast Guardsman manning the LORAN-C Station (8PB16191) was planned for the Jupiter Inlet Light Station. The site was recommended as the property was already owned by the USCG, and ideal for family living with nearby shopping, schools, and recreation (Knudsen 1961). The LORAN-C housing was constructed prior to 1962 to coincide with the January 1, 1962 on-air operation date for the Jupiter LORAN-C Station (Knudsen 1961).

Between 1958 and 1961, most of the buildings associated with the USCG portion of the Jupiter Lighthouse Reservation were destroyed because of a plan for a massive renovation of the site (Weed et al 1981:49), which included the development of the LORAN-C housing complex. The only remaining buildings included the oil house (8PB16435), a frame dwelling constructed for the 1st and 2nd lighthouse keepers (located at the site of the former Weather Bureau Station building), Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Jupiter Inlet Light Station Garage (8PB16441), and the Jupiter Inlet Light Station Auxiliary Pump House (8PB16444). Masonry Vernacular housing units were constructed in the immediate vicinity of the 1883 head lighthouse keeper's house and the 1st and 2nd keeper's storehouse. Figure 38, a 1964 aerial, shows the composition of the Jupiter Lighthouse Reservation after the late 1950s, early 1960s overhaul. The 1st and 2nd lighthouse keeper's dwelling was demolished at some point between 1968 and 1995.

In the mid-1960s, the Navy had relinquished all its properties in the Jupiter Lighthouse Reservation and in 1969, 22.2 acres of the southwestern portion of the Reservation, which had belonged to the Navy, were transferred to the Town of Jupiter (Weed et al 1981:49). Part of this transference included the World War II U.S. Navy Married Men's Housing Quarters (8PB15991). Between the time the Navy relinquished the land to the year 1972, many more World War II structures were demolished (Weed et al. 1981:49). The Jupiter Inlet Lighthouse and oil house also underwent renovations at this time. On October 15, 1973, the lighthouse was nominated to the National Register for its significance in naval commerce and transportation. Also in 1973, the Loxahatchee River Historical Society opened the oil house as a museum and offered tours of the lighthouse to the public for the first time. In 2000, the lighthouse was fully restored via a grant in excess of \$858,000 administered by the Loxahatchee River Historical Society (Loxahatchee River Historical Society n.d.). The Jupiter Inlet Lighthouse and Museum, associated with the Loxahatchee River Historical Society, relocated to the World War II U.S. Navy Married Men's Housing Quarters in 2006. In 2007, the fully restored Tindall House, the oldest remaining home from Jupiter's pioneering days, was relocated to the museum to serve as a permanent exhibit. In 2008, the Jupiter Lighthouse Reservation was designated by congress as an ONA.



Figure 38: A 1964 Aerial Photograph of the Jupiter Lighthouse Reservation after the 1950s/1960s Alterations

Evaluation of National Register Significance for the Potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)

As detailed within the historical context, the Jupiter Lighthouse Reservation is associated with the early development of Jupiter and Palm Beach County from the point the Jupiter Inlet Lighthouse was first constructed in 1859 to the post-World War II period. In fact, the construction and lighting of the lighthouse served as the impetus for the pioneer settlement of the area that would become the Town of Jupiter (Lasseter-Drake and White 2003:7). The historical evolution of the area can be traced in this one single site, evident by the existence of remaining and intact historic structures, exhibiting a broad spectrum of construction dates. The

alteration of the site over the years, such as through the demolition of buildings in the 1950s/1960s, is part of the evolution of the site to remain relevant, and the area retains its ability to convey its significance. The basic layout of the area has been maintained.

The Reservation is significantly linked to several branches of the U.S. military, having been a site of operations for the U.S. Air Force, USCG, and U.S. Navy. Events related to the Civil War, World War II, and the Cold War, are associated with the Jupiter Lighthouse Reservation. In terms of military significance, the World War II period is paramount, as the interception of intelligence through “Station J” effectively stopped the advancement of German U-boats off the east coast of Florida.

Furthermore, the combined services of the lighthouse facilities were essential to mariners (White 1992) and for well over 100 years, the lighthouse and its related facilities protected both naval commerce and transportation of the area. For the Jupiter Lighthouse Reservation’s demonstrated significance in the areas of Community Planning and Development, Maritime History, Military History, Commerce, and Transportation, it is considered eligible for listing in the National Register under Criterion A. The district is also considered National Register–eligible under Criterion C in the area of Architecture, for the distinguishable collection of structures the site possesses that are associated with the history of the Jupiter Lighthouse Reservation.

7.2.3 Resource Determined Ineligible for listing in the National Register



Figure 39: The Old US-1 Loxahatchee Bridge (8PB14572), Determined National Register–ineligible, facing Northeast

8PB14572**Old US-1 Loxahatchee Bridge**

The remaining portion of the Old US-1 Loxahatchee Bridge is located at the south bank of the Loxahatchee River, directly west of the Jupiter Bridge in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 PR 1983) USGS quadrangle map, in the Town of Jupiter, Palm Beach County, Florida (Figure 39). The bridge was initially constructed in 1926 as an example of a concrete bascule bridge (Panamerican Consultants, Inc. 2009b). It was constructed to carry two lanes of north-south traffic on US-1 over the Loxahatchee River, and was approximately 780 feet when it was fully extant. The bridge included simple concrete rails, concrete substructure, concrete and sand abutments, with concrete approach spans. The bascule, bridge tender house, and a large central portion of the bridge were demolished in 1956, including the approach and roadway in anticipation of the construction of the current Jupiter Bridge (Panamerican Consultants, Inc. 2009b). According to aerial photographs, the northern portion of the remaining bridge was demolished in 2011. Since the 2013 documentation associated with the original CRAS, the bridge remnant has been further modified through a reduction in size and the replacement of the bridge deck and railings. Modern metal hand railings replaced the heavy concrete ones from the 1920s; however, two of the 1920s hand rails have been placed as a memorial to the old bridge. It has since been reopened for us as a fishing pier.

In 2009, Panamerican Consultants, Inc. found the Old US-1 Loxahatchee Bridge to be ineligible for listing in the National Register as part of the *CRAS of the Jupiter Inlet Fishing Piers in Jupiter, Palm Beach County, Florida* (FMSF manuscript no. 16886). This historic resource was considered ineligible for listing in the National Register due to the fact that it no longer functioned as a bridge and was extensively altered (Panamerican Consultants, Inc. 2009a). The SHPO concurred with the findings of the 2009 report in a letter dated July 14, 2009. The SHPO again determined the bridge remnant was ineligible for listing in the National Register in 2013 as a result of the *CRAS of Jupiter US-1/Intracoastal Waterway Bridge from Ocean Boulevard (Mile Post 10.567) to Beach Road (Mile Post 11.127), Palm Beach County, Florida* (FMSF manuscript no. 20293; Janus Research 2013a).

Despite recent modifications, FMSF documentation was not updated for the resource during the current study because a determination of National Register ineligibility has already been made.

8.0 CONCLUSIONS

As part of this addendum, a small portion of one previously recorded archaeological site, Jupiter Midden #2 (8PB35) was identified. Although this site is quite large, only a small portion of the site is present within the newly expanded archaeological APE. It is expressed within the APE as a lense of black dirt and oyster shell midden which is currently eroding out of the northern shore of the Loxahatchee River, just to the east of the Jupiter Bridge. Jupiter Midden #2 was determined by the SHPO as eligible for the National Register in 2011.

The historic resources survey for the addendum resulted in the identification of 18 total resources. Seven of the identified resources are previously recorded (8PB65, 8PB6186, 8PB14572, 8PB14878, 8PB15991, 8PB16182, and 8PB16191) and 11 are newly recorded (8PB16434-8PB16441, 8PB16443, and 8PB16445). The Jupiter Inlet Lighthouse (8PB65) is listed in the National Register. The Tindall House (8PB6186) is considered individually National Register-eligible as part of the current study. Both the Jupiter Bridge (8PB14878) and World War II U.S. Navy Married Men's Housing Quarters (8PB15991) have been determined National Register-eligible by the SHPO. The Old US-1 Loxahatchee Bridge (8PB14572) was determined National Register-ineligible by the SHPO

The remaining newly recorded historic resources are considered National Register-eligible as contributing resources to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). A district which contains both archaeological and historic sites. The historic resources include: Jupiter Lighthouse Cemetery (8PB16434), Jupiter Inlet Lighthouse Oil House (8PB16435), Jupiter Inlet Light Station Wharf (8PB16436), USCG Family Quarters, Unit A (8PB16437), USCG Family Quarters, Unit B (8PB16438), Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Jupiter Inlet Light Station Garage (8PB16441), Jupiter Inlet Light Station Auxiliary Pump House (8PB16444), and Jupiter Inlet Lighthouse Staircase (8PB16445). The National Register-listed Jupiter Inlet Lighthouse (8PB65) and determined National Register-eligible World War II U.S. Navy Married Men's Housing Quarters (8PB15991) are also considered contributing resources to the potential district. Although the USCG Family Housing For LORAN-C Station Jupiter Resource Group (8PB16191) and LORAN-C Station Jupiter Family Housing, Unit A (8PB16182) were determined individually National Register-ineligible by the SHPO, they are considered National Register-eligible as contributing resources to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443).

Although not a part of the archaeological APE, one additional previously recorded archaeological site, 8PB16068 was identified as a potentially contributing resource to the newly recorded Jupiter Lighthouse Reservation Mixed Resource District (8PB16443).

8.1 Unanticipated Finds

Should construction activities uncover any archaeological remains, it is recommended that activity in the immediate area of the remains be stopped while a professional archaeologist evaluates the remains. In the event that human remains are found during construction or maintenance activities, Chapter 872.05 of the Florida Statutes will apply and FDOT's *Standard*

Specifications for Road and Bridge Construction require that all construction cease. Chapter 872.05 states that, when human remains are encountered, all activity that might disturb the remains shall cease and may not resume until authorized by the District Medical Examiner or the State Archaeologist. The District Medical Examiner has jurisdiction if the remains are less than 75 years old or if the remains are involved in a criminal investigation. The State Archaeologist has jurisdiction if the remains are 75 years of age or more.

8.2 Curation

Original site file forms (Appendix E), photographs, and a survey log (Appendix G) are curated at the FMSF in Tallahassee, along with a copy of this report. Field notes and other pertinent project records are temporarily stored at Janus Research until their transfer to the FDOT storage facilities.

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Appendix A:

SHPO Concurrence for the Jupiter Bridge (8PB14878)



Florida Department of Transportation

RICK SCOTT
GOVERNOR

3400 W. Commercial Blvd.
Fort Lauderdale, FL 33309

ANANTH PRASAD, P.E.
SECRETARY

May 9, 2013

Ms. Linda Anderson
U.S. Department of Transportation
Federal Highway Administration
Florida Division Office
545 John Knox Road, Suite 200
Tallahassee, Florida 32303

Subject: Jupiter US 1/SR 5 Intracoastal Waterway Bascule Bridge (8PD14878)
Determination of National Register Eligibility
Rehabilitation of the Jupiter US-1/SR 5 Intracoastal Waterway Bridge
(FDOT Bridge # 930005) From Ocean Boulevard to Beach Road
Palm Beach County, Florida
Financial Project ID: FM No. 428400-1-52-01

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BUREAU OF
HISTORIC PRESERVATION
2013 JUN 21 P 4:49

Dear Ms. Anderson:

The Florida Department of Transportation, District 4 is conducting a project to rehabilitate the Jupiter US-1/SR 5 Intracoastal Waterway Bridge (FDOT Bridge # 930005) and construct sidewalks within the limits of Ocean Boulevard to Beach Road in the Town of Jupiter, Palm Beach County, Florida. A Cultural Resources Assessment Survey (CRAS) is being prepared as part of the study to comply with federal and state regulations.

The CRAS fieldwork has been started but since the Jupiter US-1/SR 5 Intracoastal Waterway Bridge has not previously been recorded in the Florida Master Site File (FMSF) or evaluated for listing in the National Register of Historic Places (National Register), FDOT is requesting input from your office and the State Historic Preservation Officer (SHPO) early on concerning its eligibility for listing on the National Register. For this reason, two copies of the Florida Master Site File (FMSF) form are enclosed for preliminary review. After FHWA and SHPO make their eligibility determinations for the bridge, the CRAS will be completed and submitted for review.

This FMSF form was prepared for the FDOT as part of the current draft of the *Historic Highway Bridges of Florida* publication. This document is currently in a draft form. However, Mr. Roy Jackson, FDOT's State Cultural and Recreational Resources Coordinator, has overseen the production of the latest bridge document and reviewed the numerous bridges that have been evaluated and documented as part of this effort.

*Florida Master Site File Form
FDOT Bridge # 93005 (8PB14878)
Palm Beach County, Florida*

Completed in 1958, the Jupiter US-1/SR 5 Intracoastal Waterway Bridge is considered eligible for individual listing in the National Register under Criterion C in the category of Engineering, as a rare example of its bridge type. The Jupiter US-1/Intracoastal Waterway Bridge is the only historic four-leaf, double-bascule bridge remaining in the State of Florida that retains its historic physical integrity.

Provided you agree that the bridge is National Register eligible, please submit the enclosed FMSF to the SHPO for review and concurrence. If you have any questions, or if I may be of further assistance, please contact me at (954) 777-4325.

Sincerely,

A handwritten signature in black ink that reads "Ann Broadwell". The signature is fluid and cursive, with the first name "Ann" and last name "Broadwell" clearly distinguishable.

Ann Broadwell
Environmental Administrator
FDOT District 4

Enclosures

cc:

The FHWA finds the attached FMSF form complete and sufficient and ✓
approves / does not approve the above recommendations and findings.

The FHWA requests the SHPO's opinion on the FMSF form and the SHPO's
opinion on the findings contained in this cover letter and in the comment block
below.

FHWA Comments:

PLEASE ADDRESS COMMENTS / OPINION TO: LINDA ANDERSON, FHWA. E= linda.anderson@ dot.gov. P= 850-553-2226. PLEASE CC: LINDA KELLEY, FDOT BY: MARK CLASGEN, FHWA, AND BOY JACKSON, FDOT CEMO.

/s/ Linda C. Hawk

David C. Hawk
Acting Division Administrator
Puerto Rico and Florida Division
Federal Highway Administration

6-18-13

Date

The Florida State Historic Preservation Officer finds the attached FMSF complete
and sufficient and concurs with the recommendations and findings provided in this
cover letter for SHPO/DHR Project File Number 2013-2508.

Robert F. Bendus

Robert F. Bendus
State Historic Preservation Officer
Florida Division of Historical Resources

6/24/13

Date

Appendix B:

**SHPO Concurrence for the CRAS of Jupiter US-1/Intracoastal Waterway Bridge from
Ocean Boulevard (Mile Post 10.567) to Beach Road (Mile Post 11.127), Palm Beach
County, Florida**



Florida Department of Transportation

RICK SCOTT
GOVERNOR

3400 W. Commercial Blvd.
Fort Lauderdale, FL 33309

ANANTH PRASAD, P.E.
SECRETARY

August 30, 2013

Mr. Robert Bendus, Director and
State Historic Preservation Officer
Office of Cultural and Historical Programs
Division of Historical Resources
500 South Bronough Street
Tallahassee, Florida 32301

RECEIVED
BUREAU OF
HISTORIC PRESERVATION
2013 SEP -6 A 11:58

Subject: **Request for Review**
Cultural Resource Assessment Survey
Jupiter US-1/Intracoastal Waterway Bridge Rehabilitation Project
FM 428400.1
Palm Beach County, Florida

Attention: Ginny Jones

Dear Ms. Jones;

Enclosed please find one unbound copy of the final report and the supporting documentation from the cultural resource assessment survey of the Jupiter US-1/Intracoastal Waterway Bridge (Jupiter Bridge) from Ocean Boulevard (Mile Post 10.567) to Beach Road (Mile Post 11.127), Palm Beach County, Florida. The project scope consists of repairs and improvements to SR 5/US 1 (Federal Highway) and rehabilitation of Jupiter Bridge (Bridge No. 930005) over the Loxahatchee River. The scope also consists of roadway and sidewalk improvements including the addition of a five foot sidewalk on both sides to the roadway and bridge throughout project limits; new bicycle friendly roadway surface on the bascule bridge span; and upgrades to guardrail, signals, signing and pavement markings, drainage and lighting associated with the rehabilitation and sidewalk widening. There are currently no Federal funds programmed for this project.

No newly or previously recorded archaeological sites were identified within the project APE. Nine shovel tests were excavated within the archaeological APE at the northern end of the project area to the east of US 1. No cultural material was identified within any of the tests. Subsurface testing was not feasible in portions of the archaeological APE due to the presence of existing roadway, berm, pavement, sidewalk, and buried utilities.

Three historic resources were identified including one bridge, one bridge remnant, and one historic building: the Jupiter Bridge (8PB14878), Old US-1 Loxahatchee Bridge (8PB14572), and the World War II Barracks Building (8PB15991). The Jupiter Bridge (8PB14878) was constructed in 1958 and was

documented as individually National Register-eligible in 2010 by Archaeological Consultants, Inc. (ACI), as the only historic four-leaf, double-bascule bridge in the State of Florida that retains its integrity (ACI 2010). The Federal Highway Administration (FHWA) and SHPO concurred that the Jupiter Bridge was eligible for individual listing in the National Register on June 24, 2013.

The World War II Barracks Building (8PB15991) was identified within the historic APE directly to the east of the Jupiter Bridge at the north shore of the Loxahatchee River. This historic resource is newly recorded. The building possesses a high degree of historic integrity and is significant for its association with World War II in Florida and the development of the Town of Jupiter. This building is considered eligible for individual listing in the National Register. The Old US-1 Loxahatchee Bridge (8PB14572) was also identified within the historic APE and is the only previously recorded historic resource. This former bascule bridge was the original span over the Loxahatchee River and was constructed circa 1926. The bridge was turned into a fishing pier with the circa 1958 construction of the Jupiter Bridge. Consequently, the bridge has been completely altered through the removal of portions of the structure and does not possess historic integrity. Therefore, the Old US-1 Loxahatchee Bridge is considered ineligible for listing in the National Register individually or as part of a historic district.

FDOT requests concurrence regarding the determinations of eligibility documented in this report. If there are any questions, please feel free to contact me at (954) 777-4324 or Lynn Kelley at (954) 777-4334.

Sincerely,

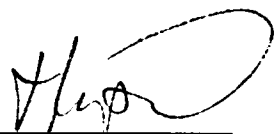


Ann Broadwell
Environmental Administrator
FDOT - District 4

Enclosures
cc. file

The Florida State Historic Preservation Officer finds the attached Cultural Resources Assessment Report complete and sufficient and concurs with the recommendations and findings provided in this cover letter for SHPO/DHR Project File Number 2013-3921.

SHPO Comments:



Robert F. Bendus
State Historic Preservation Officer
Florida Division of Historical Resources

9/17/13
Date

Appendix C:

Correspondence Associated with the Development of the CRAS Addendum APE, 2016

From: Kelley, Lynn [<mailto:Lynn.Kelley@dot.state.fl.us>]
Sent: Tuesday, June 28, 2016 5:39 PM
To: Jones, Ginny L. <Ginny.Jones@DOS.MyFlorida.com>; Paul.Cherry@kimley-horn.com;
Lisa.Stone@kimley-horn.com; Amy Streelman <amy_streelman@janus-research.com>; Ken Hardin
<ken_hardin@janus-research.com>
Cc: Jackson, Roy <Roy.Jackson@dot.state.fl.us>
Subject: FW: Jupiter Bridge graphic

Good afternoon Ginny,

Based on the CRC meeting that we had for the Jupiter Bridge Replacement PD&E Study, the APE for the CRAS has been expanded to include the lighthouse. Please let me know if it is OK to proceed based on this figure. Thank you,

Lynn Kelley

Senior Environmental Specialist
FDOT District 4 Planning & Environmental Management
(954) 777-4334
lynn.kelley@dot.state.fl.us

From: Jones, Ginny L. [<mailto:Ginny.Jones@DOS.MyFlorida.com>]
Sent: Wednesday, June 29, 2016 8:59 AM
To: Kelley, Lynn; Paul.Cherry@kimley-horn.com; Lisa.Stone@kimley-horn.com; Amy Streelman; Ken Hardin
Cc: Jackson, Roy
Subject: RE: Jupiter Bridge graphic

Thanks Lynn. With this bridge possibly being raised 13' (looking back at the notes from our May 18 meeting) – how will this impact the bridge approaches (current versus new)?

And I'm assuming that the APE will also include the other areas south and east (adjacent) of the bridge.

Thanks!
Ginny

From: Kelley, Lynn [<mailto:Lynn.Kelley@dot.state.fl.us>]
Sent: Thursday, July 28, 2016 1:15 PM
To: Jones, Ginny L. <Ginny.Jones@DOS.MyFlorida.com>; Paul.Cherry@kimley-horn.com;
Lisa.Stone@kimley-horn.com; Amy Streelman <amy_streelman@janus-research.com>; Ken Hardin
<ken_hardin@janus-research.com>
Cc: Jackson, Roy <Roy.Jackson@dot.state.fl.us>
Subject: RE: Jupiter Bridge graphic

Good afternoon Ginny!

The graphic has been revised based on the expanded APE. Regarding your question about the approaches, new construction will not go outside of the FDOT right-of-way and will not touch the museum property or the museum. The bridge will be about 35 feet wider and higher and the new roadway approaches will use retaining walls to avoid encroachment. Currently, we are working on the horizontal and vertical layout to determine the best way to design this area to avoid encroaching onto the property.

The areas south and east will be covered for the northern approach as shown in purple on the graphic, but the APE will not extend across the river to the south side or east of the bridge.

Please let me know if you have any questions,

Lynn Kelley

Senior Environmental Specialist
FDOT District 4 Planning & Environmental Management
(954) 777-4334
lynn.kelley@dot.state.fl.us

From: Jones, Ginny L. [<mailto:Ginny.Jones@DOS.MyFlorida.com>]
Sent: Tuesday, August 2, 2016 2:21 PM
To: Kelley, Lynn <Lynn.Kelley@dot.state.fl.us>; Paul.Cherry@kimley-horn.com; Lisa.Stone@kimley-horn.com; Amy Streelman <amy_streelman@janus-research.com>; Ken Hardin <ken_hardin@janus-research.com>
Cc: Jackson, Roy <Roy.Jackson@dot.state.fl.us>
Subject: RE: Jupiter Bridge graphic

Hi Lynn -
This proposed APE looks fine to me. Thank you!

Ginny Jones

Architectural Historian | Compliance and Review Section | Bureau of Historic Preservation |
Division of Historical Resources | Florida Department of State | 500 South Bronough
Street | Tallahassee, Florida
32399 | [850.245.6432](tel:850.245.6432) | [1.800.847.7278](tel:1.800.847.7278) | Fax: [850.245.6439](tel:850.245.6439) | dos.myflorida.com/historical | Ginny.Jones@dos.myflorida.com



Appendix D:

**Confirmation of the National Register Ineligibility of USCG Family Housing for
LORAN-C Station Jupiter (8PB16191) from FDHR, 2016**

From: Amy Streelman
Sent: Tuesday, September 6, 2016 4:11 PM
To: Aldridge, Jason H. <Jason.Aldridge@dos.myflorida.com>
Cc: scott.edwards@dos.myflorida.com
Subject: Questions regarding MT1570 and PB16191

Hi Jason and Scott, I am trying to work through the eligibility related to the resources at the LORAN C sites in Jupiter and Hobe Sound, but the determinations are not exactly clear to me. Does anyone have time to discuss with me? Perhaps tomorrow after 10 am? Thank you, Amy

Amy Streelman
Janus Research
1107 N. Ward Street
Tampa, Florida 33607
Phone: 813 636 8200
Cell: 727 560 9963
Fax: 813 636 8212

From: Amy Streelman [mailto:amy_streelman@janus-research.com]
Sent: Wednesday, September 07, 2016 4:15 PM
To: Aldridge, Jason H.
Cc: Edwards, Scott
Subject: RE: Questions regarding MT1570 and PB16191

Hi just following back on this, perhaps we can discuss tomorrow? I am open most of tomorrow

Amy Streelman
Janus Research
1107 N. Ward Street
Tampa, Florida 33607
Phone: 813 636 8200
Cell: 727 560 9963
Fax: 813 636 8212

From: Aldridge, Jason H. [<mailto:Jason.Aldridge@dos.myflorida.com>]
Sent: Wednesday, September 7, 2016 4:19 PM
To: Amy Streelman <amy_streelman@janus-research.com>
Cc: Edwards, Scott <Scott.Edwards@DOS.MyFlorida.com>
Subject: RE: Questions regarding MT1570 and PB16191

Hi Amy,

Sorry for missing you email yesterday. I'm available tomorrow afternoon if you can give me a call.

Sincerely,

Jason Aldridge

Compliance Review Supervisor | Deputy State Historic Preservation Officer | Bureau of Historic

Preservation | Division of Historical Resources | Florida Department of State | 500 South Bronough Street | Tallahassee, Florida 32399 | 850.245.6344 | 1.800.847.7278 | Fax: 850.245.6439
| Jason.Aldridge@DOS.MyFlorida.Com | dos.myflorida.com/historical



From: Amy Streelman [mailto:amy_streelman@janus-research.com]
Sent: Wednesday, September 07, 2016 4:22 PM
To: Aldridge, Jason H.
Cc: Edwards, Scott
Subject: RE: Questions regarding MT1570 and PB16191

Ok I will try and call you after 1 pm, and if you all can provide clarification on these two stations and their eligibility that would be most helpful—thank you – Amy

Amy Streelman
Janus Research
1107 N. Ward Street
Tampa, Florida 33607
Phone: 813 636 8200
Cell: 727 560 9963
Fax: 813 636 8212

From: Aldridge, Jason H. [<mailto:Jason.Aldridge@dos.myflorida.com>]
Sent: Friday, September 9, 2016 10:09 AM
To: Amy Streelman <amy_streelman@janus-research.com>
Subject: RE: Questions regarding MT1570 and PB16191

Good Morning Amy,

Our records indicate that PB16191-USCG Housing LORSTA Jupiter is not eligible. PB65-Jupiter Inlet Lighthouse is listed on the National Register and is within the boundaries of the PB16191 resource group.

MT1570-USCG Loran-C Station Jupiter is considered eligible. The resource group includes MT1571-USCG Loran-C Station Jupiter Ops Bldg and MT1572 USCG Loran-C Jupiter Tower as contributing resources.

Even though there was an MOA in 2014 for LORSTA, it doesn't appear the housing district was documented or evaluated until 2015. At which time we concurred that the district wasn't eligible.

I've attached our FMSF record for each resource. I hope this is helpful. Please let me know if you need anything else.

Sincerely,

Jason Aldridge

Compliance Review Supervisor | Deputy State Historic Preservation Officer | Bureau of Historic Preservation | Division of Historical Resources | Florida Department of State | 500 South Bronough Street | Tallahassee, Florida 32399 | 850.245.6344 | 1.800.847.7278 | Fax: 850.245.6439
|Jason.Aldridge@DOS.MyFlorida.Com | dos.myflorida.com/historical



Appendix E:
Florida Master Site File Forms

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB00065**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 13

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Inlet Lighthouse Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) 380 ft NE Coast Guard Way/Jupiter Lighthouse Park
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591122 Northing 2981075
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1859 ☐ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Lighthouse From (year): 1859 To (year): _____
 Current Use Lighthouse From (year): _____ To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1973, 2000 Nature Restoration work
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Lt. George Gordon Meade Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Not applicable Exterior Plan _____ Number of Stories _____
 Exterior Fabric(s) 1. Brick 2. _____ 3. _____
 Roof Type(s) 1. Dome 2. _____ 3. _____
 Roof Material(s) 1. _____ 2. _____ 3. metal
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) six-over-six single-hung sash; three port holes; triangular fixed glazing at lantern
 Distinguishing Architectural Features (exterior or interior ornaments) Brick voussoir; brackets; metal framework lantern
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Brick 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Concrete, Generic 2. _____
 Main Entrance (stylistic details) South metal door

Porch Descriptions (types, locations, roof types, etc.) Exterior metal gallery

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource The Jupiter Lighthouse is approximately 380 feet in height and constructed of brick. A winding metal staircase ascends the tower to the watch room and lens room. The lens room includes a metal frame work and dome. There is an exterior metal gallery.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☒ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☐ historic photos ☒ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☒ yes ☐ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The Jupiter Lighthouse was listed in the National Register in 1973. It is newly considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Architecture 5. Military
 2. Community planning & development 4. Maritime history 6. Transportation

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

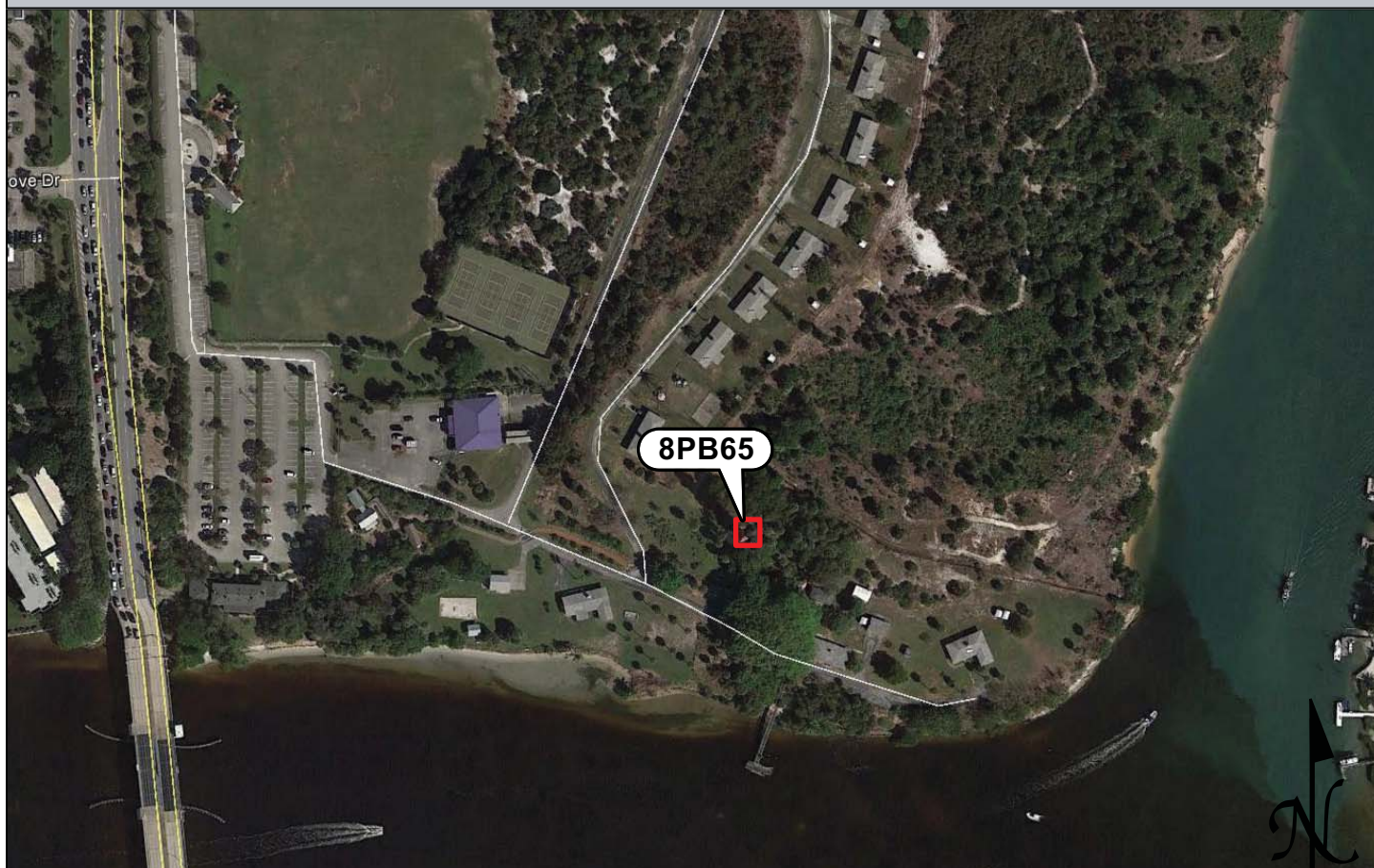
③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



Location of 8PB65

USGS Quadrangle: Jupiter (1948 PR 1983)



0 0.25 0.5 Miles

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB06186**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 3

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Tindall House Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 500 Direction _____ Street Name Captain Armour's Street Type Way Suffix Direction _____
 Address: 500 Captain Armour's Way
 Cross Streets (nearest / between) B/w Jupiter Lighthouse Park & US-1
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 590935 Northing 2981080
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1892 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): 1892 To (year): c1930
 Current Use Art gallery/Museum/Planetarium From (year): 2007 To (year): 2016
 Other Use Abandoned/Vacant From (year): c1930 To (year): 1997
 Moves: ☒ yes ☐ no ☐ unknown Date: 1923;1997 Original address 10 Palm Point Drive, Jupiter
 Alterations: ☒ yes ☐ no ☐ unknown Date: c. 2007 Nature Restored
 Additions: ☒ yes ☐ no ☐ unknown Date: c. 2007 Nature Porch; breezeway; kitchen ell
 Architect (last name first): n/a Builder (last name first): George W. Tindall
 Ownership History (especially original owner, dates, profession, etc.) See continuation sheet

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 1
 Exterior Fabric(s) 1. Drop siding 2. Weatherboard 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Sheet metal:standing seam 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Wood one-over-one double-hung sash
 Distinguishing Architectural Features (exterior or interior ornaments) Operable wood shutters; cornerboards; exposed rafter tails

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Replica hen-house and fern shed

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
<input type="checkbox"/> Owner Objection	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)				

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. Yellow pine; cypress
 Foundation Type(s): 1. Piers 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) Set beneath reconstructed NW porch; two historic wood doors

Porch Descriptions (types, locations, roof types, etc.) Shed extension reconstructed porch at NW: wood supports; rails clad in clapboard

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource See continuation sheet

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☒library research ☐building permits ☐Sanborn maps
☐FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS) ☒historic photos ☒interior inspection ☐HABS/HAER record search
☒other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) See continuation sheet

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☒yes ☐no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) See continuation sheet

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Architecture 3. Exploration/settlement 5. _____
 2. Local 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

SITE NAME: Tindall House

A. NARRATIVE DESCRIPTION OF SITE

The Tindall House was relocated from its original site to the Jupiter Inlet Lighthouse and Museum grounds at 500 Captain Armour's Way, in the Town of Jupiter, Palm Beach County, Florida (Figure 1). It is further located in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 Photorevised [PR] 1983) United States Geological Survey (USGS) quadrangle map. The Tindall House, representative of a Frame Vernacular Florida Cracker house, was constructed in 1892 by Jupiter area pioneer George W. Tindall. Currently, it is owned/operated by the Loxahatchee River Historical Society and has been repurposed as an interpretive exhibit, intended to give visitors a glimpse into early pioneering life along the Loxahatchee River (Jupiter Inlet Lighthouse and Museum 2016). The one-story double-pen residence is constructed of yellow pine and cypress, and rests on a concrete block pier system. Exterior walls of the historic main building block are clad in wood drop siding, some of which appears original. The steeply pitched side gable roof is capped in crimped metal sheeting and features wide over-hanging eaves. Windows of the Tindall House are wood one-over-one double-hung sash and are encased with wood surrounds. At attic level, two windows set within the gable ends serve to vent the space. Historic operable wood shutters are present at all window openings. Two historic wood panel doors access the residence from within the shed roof extension porch, which is a reconstruction of the original porch. The reconstructed porch includes wood supports and wood clapboard covered railings. Modern concrete steps with wooden handrails access the house. Additional features of the Tindall House include exposed rafter tails and cornerboards.

As part of 2007 restoration measures, a breezeway and kitchen were reconstructed at the rear façade of the residence (Figure 2). The breezeway appends the main house to the kitchen and can be accessed by either the backdoor of the house or via an Americans with Disabilities Act (ADA) compliant wooden ramp that connects with the breezeway at the northeast. The wood frame kitchen features a steeply pitched front gable roof covered in sheet metal, and like the main house, this portion rests on a concrete block pier system. Portions of the kitchen are clad in wood drop siding and clapboard. Architectural elements of the historic house have been carried over to the reconstructed kitchen such as window configurations, shutters, surrounds, cornerboards, and exposed rafter tails. The restored building remains in good condition.

SITE NAME: Tindall House



Figure 1: The Considered Individually National Register–eligible Tindall House (8PB6186), facing Northwest

The relocation site is adjacent to a meandering south pathway. A reconstructed Seminole Indian Chickee is in proximity to the Tindall House to the southeast across this pathway. The exhibit has been enhanced with the construction of a non-historic hen-house (Figure 3) and fern shed. Views of the expansive museum parking lot and complex from the Tindall House have been blocked by traditional fruit tree plantings (Jupiter Inlet Lighthouse and Museum 2016).

SITE NAME: Tindall House



Figure 2: The Tindall House Reconstructed Breezeway, Reconstructed Kitchen, and ADA Compliant Access Ramp, facing West



Figure 3: The Non-Historic Reproduction Hen-House, facing Northwest

SITE NAME: Tindall House

As previously stated, the Tindall House is an example of a double-pen type residence that is best characterized as a Frame Vernacular style Florida Cracker house. Double-pen houses are typically one room deep, incorporating two square pens, and are easily recognizable by the presence of two doors at the façade (Georgia Historic Preservation Division n.d.). Houses of this typology were most often one-story in height, with an attached porch, and a steeply pitched roof (Old House Web 2016). Cracker Frame Vernacular refers to the common wood frame construction technique employed by lay or self-taught builders. Before the Civil War, house construction was local in nature and dependent upon the building materials at hand. Builders adapted to the materials and developed individual methods and designs. The Industrial Revolution permitted standardization of building materials and exerted a significant change in vernacular house design. Popular magazines helped to make architectural trends universal throughout the country. The railroad provided cheap and efficient transportation for manufactured building materials. Ultimately, individual builders had access to a myriad of finished architectural products from which to create their own designs. The earliest Cracker houses in the mid-nineteenth century were commonly single pen structures with dirt floors. Over time, these Cracker houses became double-pens, saddlebag, and dog-trot houses. Such as with the Tindall House, Cracker houses often featured a kitchen attached to the rear of the building to isolate hearth and fire hazard from the main massing of the house.

Despite the post-Industrial Revolution construction date of the Tindall House, the structure doesn't display any particular mainstream design trends of the time period, and is simple and rustic in nature, built strictly for functionality. Of particular significance is the adaptation of the house to suit the rainy humid Florida climate by the incorporation of wide overhanging eaves, operable shutters, and a steep gabled roof that could easily shed water. Cross-ventilation techniques were also taken into consideration, as observed by the fenestration patterns.

Native Floridian George W. Tindall was born in Columbia County, Florida on March 11, 1850 to Alexander Dowling Tindall and Benety Alligood. Alexander Tindall was an itinerant preacher, moving back and forth between Georgia and Florida. His son, George W. Tindall evidently moved from Florida to Georgia at some point, and in 1872, he married Georgian Mary Victoria Pilcher. At the time, George W. Tindall supported his growing family as a hunter, trapper, cattleman, and farmer. His health began to fade in 1886, during a period of time in which he was engaged in farming, prompting him to make the decision to move his family to the warm healthy climate of Florida. It took the Tindall family four months to reach Florida by covered wagon. Upon reaching Florida, they first settled in the area of Kissimmee, and stayed there for a number of years. From Kissimmee, they ventured to the area of Jupiter, initially living in a palmetto shack; however, they were forced to leave the shack after a year when it was brought to their attention that they were squatting on a homestead belonging to another settler. Tindall then moved his family approximately 300 yards to the site of the homestead he had originally filed for and built a second palmetto shack (Jupiter Inlet Lighthouse and Museum n.d., Palm Beach County n.d.; Procyk 2012).

SITE NAME: Tindall House

In 1892, Tindall constructed the current dwelling from yellow pine and cypress that he had ordered, which was carried to the area by boat. The house was constructed in two sections, the first being the main living quarters, to which an entrance porch was appended, and the second being the kitchen connected by a breezeway (Figure 4). The main entrance of the house faced the Loxahatchee River. Tindall's house was originally capped with a palmetto thatch roof, but a Cracker style tin roof eventually replaced the thatch roof when it was blown away during the devastating hurricane that hit Florida in 1928. The interior of the house contained a total of five rooms, with two bedrooms at its east side, a central living room, and an additional bedroom at the southwest corner of the home, located adjacent to a utility room. A staircase ascended to the attic from one of the east bedrooms. A fire place was not included into the construction of the home. Tindall fashioned crude interim furniture from beach wood for use until the family could acquire proper furnishings. In 1896 Dade County directories, Tindall is listed as a vegetable and fruit farmer. During the time period, Palm Beach County was part of Dade County (Jupiter Inlet Lighthouse and Museum n.d.; Procyk 2012; Palm Beach County n.d.).

Tindall sold portions of his land to fellow settlers Frank J. Laird and Lloyd V. Minear during the early part of the 20th century. In 1923, the Tindall House was relocated further south on the lot, away from the Loxahatchee River, near the northern terminus of current day Palm Point Drive. Where the Tindall House was originally located, Minear constructed two dwellings. At some point during the 1920s, Lloyd Minear apparently purchased Tindall's home. The daughter of Minear, Anna Minear, donated the Tindall House to the Loxahatchee River Historical Society in 1997. That same year, the building was moved from its original lot to then Burt Reynolds Park, the former home of the Loxahatchee River Historical Society. Here, the building was faithfully restored based on photographic documentation under the supervision of a restoration architect. The restoration process took over a decade to complete. The goal was to resurrect the Tindall House as a permanent living history exhibit. In 2007, the Tindall House was again secured onto the bed of a moving truck and traveled across the Loxahatchee River on US-1 to the Jupiter Inlet Lighthouse and Museum/500 Captain Armour's Way (Palm Beach County n.d; Procyk 2012).

SITE NAME: Tindall House



Figure 4: A Historic Photograph of the Tindall House, date unknown (*courtesy of the Jupiter Inlet Lighthouse and Museum*)

B. DISCUSSION OF SIGNIFICANCE

National Register Criteria Consideration B states that a property that has been moved from its original or historic location may be eligible for listing in the National Register if primary significance is based upon architectural value, or is the surviving property most importantly associated with a historic person or event (National Park Service [NPS] 2002:29). The significance of the Tindall House is intrinsic to the structure itself and does not depend on a historic site. This building is the earliest known surviving house in Jupiter (Jupiter Inlet Lighthouse and Museum 2016; Procyk 2012; Palm Beach County n.d.) and with a construction date of 1892, it in fact pre-dates the United States Senate opening the lands of the Jupiter Military Reservation for homesteading by two years. This event effectively allowed for the first real development boom in and around the Jupiter area. As the only known remaining house in Jupiter from this time, the Tindall House serves as the single most important structure that attests to the earliest settlement of the Jupiter area. Oftentimes, small residences such as the Tindall House were an interim solution to housing. After the turn-of-the-century, a societal shift occurred towards the construction of larger and more permanent housing. Consequently, turn-of-the-century Cracker houses are a rare resource type (Janus Research 2013). Furthermore, the Tindall House is an exemplary representation of a turn-of-the-century wood frame Florida Cracker house. The methods of construction, materials utilized, design, and massing of the house embody the vernacular traditions employed by those first settlers in the remote Florida frontier.

For a property that has been moved to qualify for listing in the National Register under Criterion C, it must retain sufficient integrity, that is, it must retain enough historic features

SITE NAME: Tindall House

to convey its architectural value through integrity of design, materials, workmanship, feeling, and association (NPS 2002:29). Repurposing of the Tindall House as an interpretive exhibit is a compatible use, and required minimal change to the defining characteristics of the building. The house has maintained its historic design, including its double-pen configuration and historic fenestration patterns. Importantly, the dual entrances associated with the double-pen type house are intact. It appears that much of the original wood drop siding has been retained, and new areas of cladding are compatible and differentiated from the old. Historic windows and doors also have been retained, as well as historic elements such as the operable wood shutters, exposed rafter tails, and cornerboards. Figure 5 is a photograph of the Tindall House when it was first documented within the FMSF in 1990 (Johnson 1990). Comparison of this to the current photograph (see Figure 1) illustrates sufficient historic integrity.

As previously discussed, the Tindall House went through a long restoration process that included the reconstruction of the entrance porch, breezeway, and the kitchen (see Figures 1 and 2). These components were necessary to the repurposing of the structure as a piece of living history, and were done with sensitivity that seems to adhere fairly close with the Secretary of the Interior's Standards for Rehabilitation, codified as 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program. However, please note that the Tindall House is not a "certified historic structure" through the NPS, and thus did not participate in the tax incentive program to receive funding. The financing of the restoration project was solely appropriated through Palm Beach County.



Figure 5: A Photograph of the Tindall House Taken from Original FMSF Documentation.

SITE NAME: Tindall House

According to the Secretary of the Interior's Standards, new additions or construction should not destroy historic materials that characterize the property and furthermore, new work must be differentiated, yet compatible, with the historic massing, size, scale, and architectural features to protect historic integrity (Morton III et al. 1992). Overall, restoration work is appropriate and based on recognition of the old in a compatible manner. As previously discussed, non-existent features of the Tindall House were reconstructed through photographic evidence (Procyk 2012). Cladding of the south reconstructed porch is clapboard, a highly compatible material, in opposition to the drop siding of the historic main living quarters. The use of clapboard is extended through to the breezeway and portions of the reconstructed kitchen, although this portion also includes areas of drop siding that is slightly wider than observed on the main historic massing. Other new architectural elements, such as wood supports, shutters, and windows are also compatible with original construction.

The breezeway and kitchen are appended at the rear elevation of the original house, and appear to be constructed at a slightly lower profile. The low profile appears to be historically accurate according to the historic photograph of the building (see Figure 4), and in replicating the orientation of these elements, any potential visual impact from the main façade of the historic main massing is minimized (Figure 6). The ADA compliant access ramp is sensitively positioned approximately 12 feet northeast of the historic house. From the south pathway, the ramp extends northwest and cuts southwest in an L-shape, where it attaches centrally to the replica breezeway. The unobtrusive nature of the access ramp is evident in Figure 6. The Secretary of the Interior's Standards for Rehabilitation also dictate that new additions and adjacent or related construction should be undertaken so that if removed at a point in the future, the essential form and integrity of the historic property will not be impaired (Morton III et al. 1992). Neither the breezeway, porch, or kitchen would harm the integrity of the historic structure were it to be removed.

The significance of the Tindall House is not dependent upon its relationship to its surroundings; however, Criteria Consideration B still requires moved properties to have a similar orientation, setting, and general environment comparable to the historic location and compatible with the property's significance (NPS 2002:30). The current site of the Tindall House within the grounds of the Jupiter Inlet Lighthouse and Museum sufficiently evokes the basic qualities of the historic environment and setting. Upon its relocation, traditional crops and trees were planted to in an effort to recall the original environment/setting of the house. The orientation of the building is centered in a clearing of trees, much as it historically was (see Figure 4).

SITE NAME: Tindall House



Figure 6: An Overview of the Tindall House from the Perspective of the Top of the Jupiter Inlet Lighthouse, facing Northwest

The Tindall House meets National Register Criteria Consideration B for moved properties because of its architectural value as a rare and intact turn-of-the-century Florida Cracker house. Of paramount importance is the fact that the Tindall House appears to be the last of its kind and is the only property that can be related to the early settlement of Jupiter. Accordingly, the Tindall House is considered eligible for listing in the National Register under Criterion A in the area of Local Exploration/Settlement, and under Criterion C in the area of Architecture.

Because the Tindall House was relocated to its current site and is not associated with the Jupiter Lighthouse Reservation, it is considered a non-contributing resource to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443).

C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

Georgia Historic Preservation Division

- n.d. Georgia's Living Places: Historic Houses in Their Landscaped Settings. Accessed online at <http://www.georgiashpo.org/sites/uploads/hpd/pdf/GLP%20landscape.pdf> on November 10, 2016.

SITE NAME: Tindall House

Janus Research

2013 Historic Properties Survey of Rural Orange County, Florida. On file, Florida Department of State, Division of Historical Resources, Tallahassee, Florida.

Johnson, John P.

1990 Site file for the Tindall House (8PB6186). On file, Florida Department of State, Division of Historic Resources, Tallahassee, Florida.

Jupiter Inlet Lighthouse and Museum

2016 Our Exhibits. Accessed online at <http://www.jupiterlighthouse.org/explore/our-exhibits/> on November 7, 2016.

n.d. Tindall Pioneer Homestead Brochure. Accessed online at <https://www.yumpu.com/en/document/view/42007459/tindall-pioneer-homestead-jupiter-inlet-lighthouse-and-museum> on November 11, 2016.

Morton III, W. Brown, Gary L. Hume., H. Ward Jandl, and Kay D. Weeks

1992 The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Applying the Standards. Accessed online at <https://www.nps.gov/tps/standards/rehabilitation/rehabilitation-guidelines.pdf> on November 11, 2016.

National Park Service (NPS)

2002 National Register Bulletin Number 15. On file at Janus Research.

Old House Web

2016 Cracker Farm Houses, 1840-1920. Accessed online at <http://www.oldhouseweb.com/architecture-and-design/cracker-farmhouses-1840-1920.shtml> on November 7, 2016.

Palm Beach County

n.d. Designation and Report of the Historic Resources Review Board of Palm Beach County to the Palm Beach County Board of Commissioners regarding Proposed Designation of the Tindall House, Palm Beach County, Florida.

Procyk, Richard

2012 The Historic Tindall House. Accessed online at <https://www.jupiter.fl.us/DocumentCenter/View/324> on November 11, 2016.

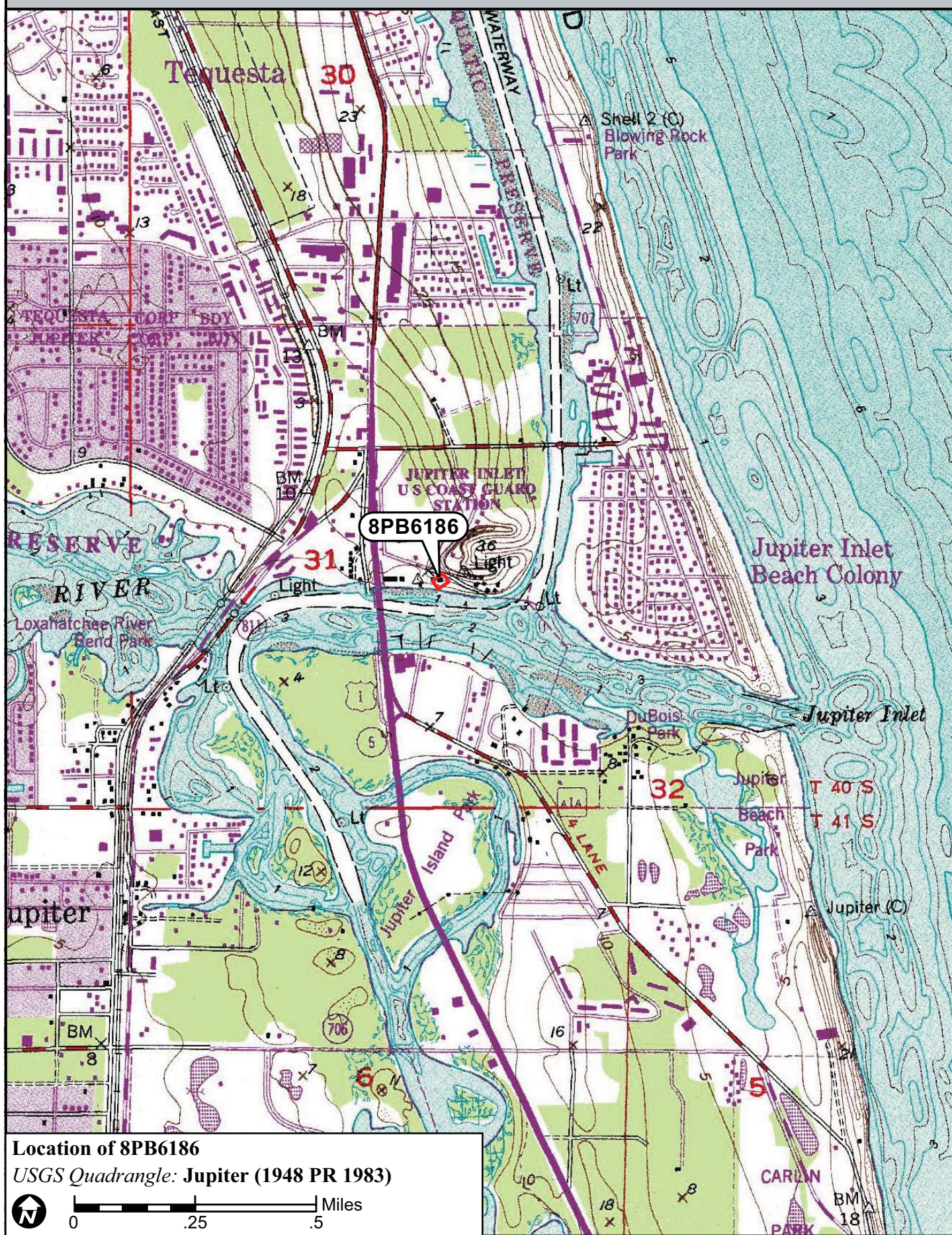
PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



DESCRIPTION (continued)**SUPERSTRUCTURE**

Spans: Number _____ Total Length(ft) _____
Main Span(s): Number _____ Length(ft) _____ Width(ft) _____ Roadway width(ft) _____
Main Span Type(s): (Designs*/Materials*) _____
Approach Span(s): Number _____ Length(ft) _____ Width(ft) _____ Roadway width(ft) _____
Approach Span Type(s): (Designs*/Materials*) formerly a concrete and asphalt paved road
Deck Materials* concrete

SUBSTRUCTURE

Abutments (Materials*/Description) concrete and sand
Piers (Materials*/Description) concrete

RESEARCH METHODS (check all that apply)

<input checked="" type="checkbox"/> FDOT database search	<input checked="" type="checkbox"/> Fla. Archives / photo collection	<input type="checkbox"/> newspaper files	<input type="checkbox"/> informal archaeological inspection
<input type="checkbox"/> HABS/HAER record search	<input type="checkbox"/> property appraiser / tax records	<input type="checkbox"/> city directory	<input type="checkbox"/> formal archaeological survey
<input checked="" type="checkbox"/> FMSF record search (sites/surveys)	<input checked="" type="checkbox"/> library research	<input checked="" type="checkbox"/> Public Lands Survey (DEP)	<input checked="" type="checkbox"/> cultural resource survey
<input type="checkbox"/> Other methods (specify) _____			

Bibliographic References (give FMSF manuscript # if relevant, use separate sheet if needed)) Wallace, Jelane M. July 2009. A Cultural Resource Assessment Survey of Jupiter Inlet Fishing Piers in Jupiter, Palm Beach County, Florida

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☐ yes ☒ no ☐ insufficient information
Potentially eligible as contributor to a National Register district? ☐ yes ☒ no ☐ insufficient information
Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This bridge was constructed in 1926. However, it has been extensively altered, whole portions removed and no longer functions as a bridge and has lost its historic integrity. Therefore it does not meet the minimum criteria for listing on the NRHP.

Area(s) of historical significance (See *National Register Bulletin* 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.) _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field & analysis notes, photos, plans, other important documents that are permanently accessible: For each separately maintained collection, describe (1) document type(s),* (2) maintaining organization,* (3) file or accession nos., and (4) descriptive information. _____
Field notes, maps and photos on file at Panamerican Consultants, Inc. 5910 Benjamin Center Drive, Suite 120, Tampa, FL 33634

*Consult *Guide to the Historical Bridge Form* for preferred descriptions (coded fields).

RECORDER INFORMATION

Recorder Name Jelane Wallace
Recorder Contact Information (Address / Phone / Fax / Email) 5910 Benjamin Center Drive, Suite 120; Tampa, FL 33634 / 813.884.6351 / jwallace@panamconsultants.com
Recorder Affiliation Panamerican Consultants, Inc.

☐ Original
☒ Update



HISTORICAL BRIDGE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Consult Guide to the Historical Bridge Form for detailed instructions

Site #8 PB14572
 Field Date 2-10-2013
 Form Date 5-29-2013
 Recorder # 2
 FDOT Bridge # _____

Bridge Name(s) Old US 1 Loxahatchee Bridge Multiple Listing (DHR only) _____
 Project Name Jupiter Bridge CRAS from Ocean Blvd to Beach Rd Survey # (DHR only) 20293
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☒ unknown

LOCATION & MAPPING

Route(s) Carried/Feature(s) Crossed Previously carried US 1 over Loxahatchee River
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City/Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Township _____ Range _____ Section _____ 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE
 Landgrant _____ Tax Parcel # _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 590829 Northing 2980825
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Year Built 1926 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Still in use? ☐ yes ☒ no ☐ restricted use (describe) _____
 Prior Fords, Ferries, or Bridges at this Location A ferry crossed the Loxahatchee in the vicinity of the bridge.

Bridge Use: original and current with dates (standard descriptions: auto, railway, pedestrian, fishing pier, abandoned) See continuation sheet

Ownership history State of Florida

Designers/Engineers Unknown

Builders/Contractors Unknown

Text of Plaque or Inscription None

Narrative History (How did bridge come to be built? How was it financed?, etc.) See continuation sheet

DESCRIPTION

GENERAL

Overall Bridge Design 1. Movable--Bascule 2. _____
 Overall Condition ☐ excellent ☐ good ☐ fair ☒ deteriorated ☐ ruinous
 Style and Decorative Details See continuation sheet

Tender Station Description A tender station is apparent in historic photographs but was destroyed in 1956.

Alterations: Dates and Descriptions In 1956, the bascule, tender station, and a central portion of the bridge were destroyed including the approach and road. Circa 2011, the north remains of the bridge were destroyed.

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____

SHPO - Appears to meet criteria for NR listing: ☐ yes ☒ no ☐ insufficient info

Date 9/17/2013 Init. GLJ

KEEPER - Determined eligible: ☐ yes ☐ no

Date _____

☐ Owner Objection

NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see National Register Bulletin 15, p. 2)

DESCRIPTION (continued)**SUPERSTRUCTURE**

Spans: Number _____ Total Length(ft) _____

Main Spans: Number _____ Length(ft) _____ Width(ft) _____ Roadway width(ft) _____

Main Span Design _____

Main Span Materials 1. _____ 2. _____

Approach Spans: Number _____ Length(ft) _____ Width(ft) _____ Roadway width(ft) _____

Approach Span Design _____

Approach Span Materials 1. _____ 2. _____

Deck Materials 1. Concrete _____ 2. _____

SUBSTRUCTURE

Abutment Materials 1. Concrete _____ 2. Other _____

Abutment Description _____

Pier Materials 1. Concrete _____ 2. _____

Pier Description There are 12 concrete piers _____

RESEARCH METHODS (check all that apply)

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> FDOT database search | <input type="checkbox"/> Fla. Archives / photo collection | <input type="checkbox"/> newspaper files | <input type="checkbox"/> informal archaeological inspection |
| <input type="checkbox"/> HABS/HAER record search | <input type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> city directory | <input type="checkbox"/> formal archaeological survey |
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> Public Lands Survey (DEP) | <input checked="" type="checkbox"/> cultural resource survey |
| <input checked="" type="checkbox"/> Other methods (specify) Historic aerial and aerial photographs | | | |

Bibliographic References (give FMSF manuscript # if relevant, use separate sheet if needed) CRAS for the Jupiter Inlet Fishing Piers, FMSF manuscript No. 16886

OPINION OF RESOURCE SIGNIFICANCEPotentially eligible individually for National Register of Historic Places? ☐ yes ☒ no ☐ insufficient informationPotentially eligible as contributor to a National Register district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, use separate sheet if needed) See continuation sheet

Area(s) of historical significance (See *National Register Bulletin* 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____	3. _____	5. _____
2. _____	4. _____	6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field & analysis notes, photos, plans, other important documents

- | | |
|------------------------------|---|
| 1) Document type Field notes | Maintaining organization Janus Research |
| Document description _____ | File or accession #'s 2013-03 |
| 2) Document type Field maps | Maintaining organization Janus Research |
| Document description _____ | File or accession #'s 2013-03 |

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

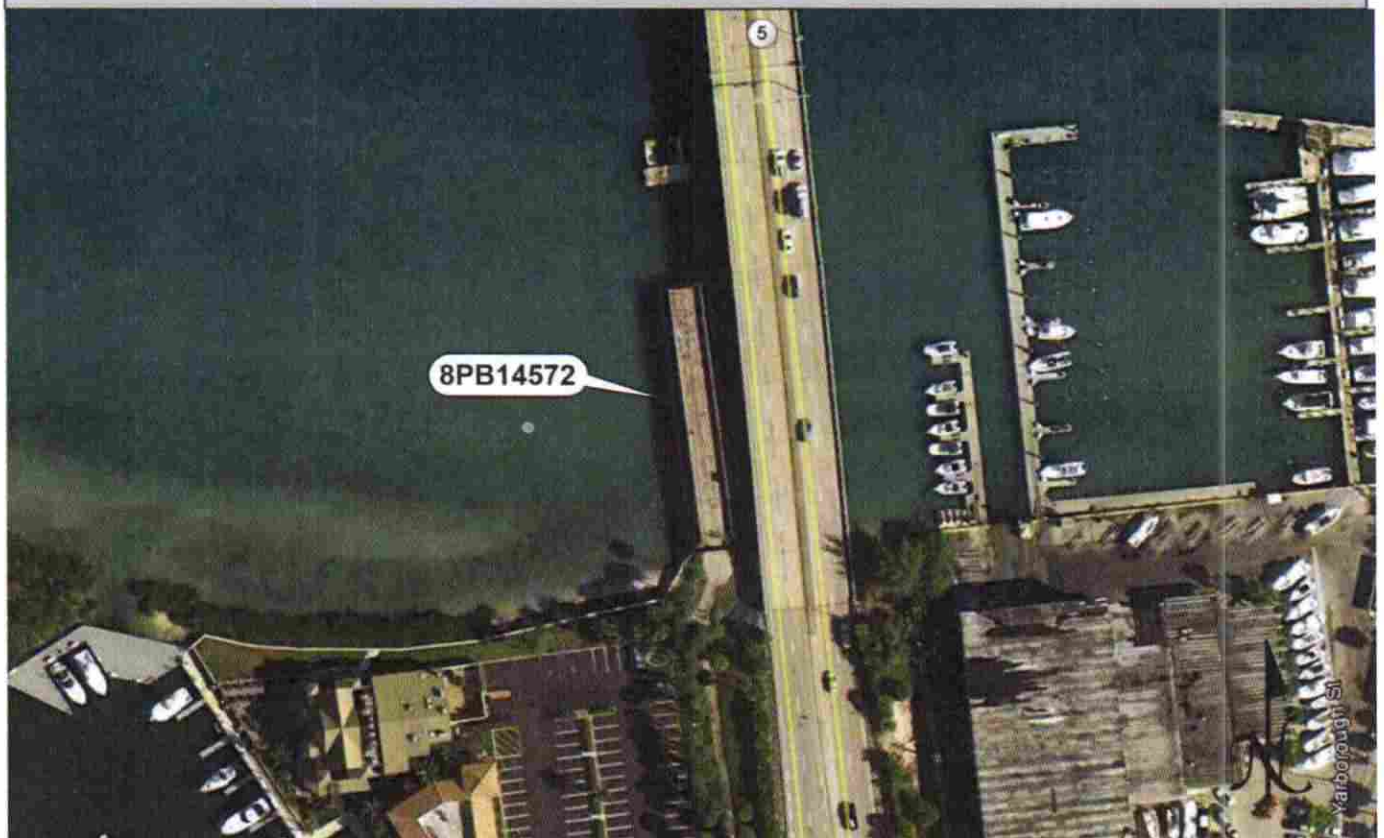
Required Attachments**① USGS 7.5' TOPO MAP WITH BRIDGE LOCATION MARKED****② PHOTO OF BRIDGE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE**

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

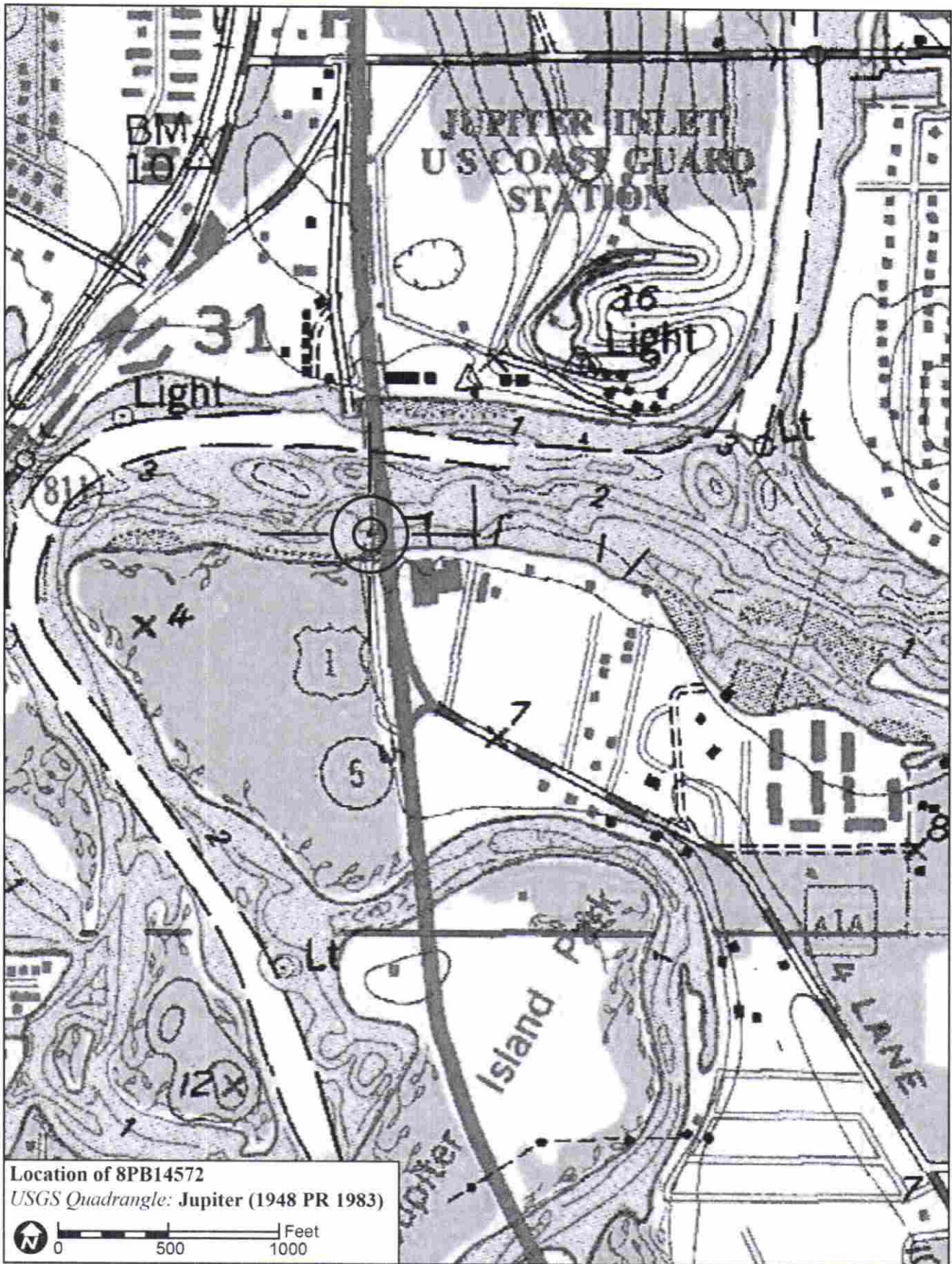
PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



SITE NAME: Old US-1 Loxahatchee Bridge

A. NARRATIVE DESCRIPTION OF SITE

The remnants of the Old US-1 Loxahatchee Bridge are located at the south bank of the Loxahatchee River directly west of the Jupiter Bridge in Township 40 South, Range 43 East, Section 31 of the Jupiter (1983) USGS quadrangle map in Jupiter, Palm Beach County, Florida. The bridge was initially constructed in 1926 as an example of a concrete bascule bridge (Panamerican Consultants, Inc. 2009b). The bridge was constructed to carry traffic north/south on US-1 over the Loxahatchee River. This concrete bridge spanned the Loxahatchee at an approximate distance of 780 feet. The bridge once carried two lanes of traffic and featured a two-leaf, double-bascule bridge. Sidewalks were not featured on the bridge. The bridge superstructure and substructure included simple concrete rails, concrete piers, and abutments of the bridge consisted of sand and concrete. The bridge approach spans consisted of concrete and asphalt paved road.

Currently, only a portion of the bridge remains at the south bank to the east of the current Jupiter Bridge and was formally used as a fishing pier. This bridge remnant is approximately 182 feet in length and approximately 22 feet in width. Access to the Old US-1 Loxahatchee River Bridge remnant has been blocked by a metal barricade to prevent public use. The bridge remnant includes historic features of the former bridge including concrete piers, a concrete deck, sand and concrete abutments, and simple concrete rail.

B. DISCUSSION OF SIGNIFICANCE

The Old US-1 Loxahatchee Bridge was constructed by the State Road Department as part of a national movement to organize, improve, and maintain the roadways as automobile travel became increasingly popular (Panamerican Consultants, Inc. 2009b). The bridge was part of the Boom Time improvements that took place in the Jupiter area and the construction of this bridge allowed motorists to drive on US-1 from Juno Beach to Hobe Sound (Panamerican Consultants, Inc. 2009b). The bascule, bridge tender house and large central portion of the bridge was demolished in 1956 including the approach and roadway with the construction of the current Jupiter Bridge (Panamerican Consultants, Inc. 2009b). US-1 was then diverted to the area of the current Jupiter Bridge. According to aerial photographs, the northern portion of the remaining bridge was demolished in 2011.

The Old US-1 Loxahatchee Bridge has been substantially altered as whole portions of it have been removed, including the two-leaf, double-bascule. In 2009, Panamerican Consultants, Inc. found the Old US-1 Loxahatchee Bridge to be ineligible for listing in the National Register as part of the *CRAS of the Jupiter Inlet Fishing Piers in Jupiter, Palm Beach County, Florida (FMSF survey no. 16886)*. This historic resource was considered to be ineligible for listing in the National Register due to the fact that it no longer functions as bridge and has also been extensively altered (Panamerican Consultants, Inc. 2009a). The current study agrees with this finding and considers the bridge to be ineligible for listing in the National Register individually or as part of a

SITE NAME: Old US-1 Loxahatchee Bridge

historic district. SHPO has not evaluated the Old US-1 Loxahatchee Bridge (8PB14572) for National Register-eligibility.

C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

Panamerican Consultants, Inc.

2009a *A Cultural Resource Assessment Survey of the Jupiter Inlet Fishing Piers in Jupiter, Palm Beach County, Florida.* On file, Florida Department of State, Division of Historical Resources, Tallahassee, Florida.

2009b Site file for the Old US 1 Loxahatchee Bridge (8MPB14572) Palm Beach County, Florida. Copies available from the Florida Department of State, Division of Historical Resources, Tallahassee.

☒ Original
☐ Update



HISTORICAL BRIDGE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Consult *Guide to the Historical Bridge Form* for detailed instructions

Site #8 **PB14878**
 Field Date 8-3-2010
 Form Date 8-4-2010
 Recorder # D4/8.3-46
 FDOT Bridge # 930005

Bridge Name(s) Jupiter US-1/SR-5 Bascule Bridge Multiple Listing (DHR only) _____
 Project Name 2010 Historic Highway Bridges of Florida Survey # (DHR only) _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☒ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Route(s) Carried/Feature(s) Crossed US-1/SR-5 over Intracoastal Waterway
 USGS 7.5 Map Name JUPITER USGS Date _____ Plat or Other Map _____
 City/Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☒ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 Landgrant _____ Tax Parcel # _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 590834 Northing 2980952
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Year Built 1958 ☐ approximately ☐ year listed or earlier ☐ year listed or later
 Still in use? ☒ yes ☐ no ☐ restricted use (describe) _____
 Prior Fords, Ferries, or Bridges at this Location W: Remnants of prior US-1 bridge located adjacent to bridge is used as a fishing pier

Bridge Use: original and current with dates (standard descriptions: auto, railway, pedestrian, fishing pier, abandoned) Auto & pedestrian - original/current

Ownership history State of Florida

Designers/Engineers unknown

Builders/Contractors unknown

Text of Plaque or Inscription _____

Narrative History (How did bridge come to be built? How was it financed?, etc.) Constructed under Project No. 9304-204 - HS-20-16-44 structural live load, trunnion style bascule

DESCRIPTION

GENERAL

Overall Bridge Design 1. Movable--Bascule 2. 4-leaf, Trunnion

Overall Condition ☒ excellent ☐ good ☐ fair ☐ deteriorated ☐ ruinous

Style and Decorative Details 4-lane. Prestressed AASHTO beams, steel beams/flanking spans w/ a cast-in-place reinforced concrete deck, bascule spans have open and filled grid decks

Tender Station Description NE: 3-levels, flat roof w/shallow overhang, "1958" embossed above HM door, 1/1 SHS windows, wall A/C units, surveillance equipment

Alterations: Dates and Descriptions 1977/8: painted, fender system repair, pile jackets; 1992: Hopkins frame replaced; new electrical, machinery, paint system etc. (Tom Quinn Company - contractor); 2005: fender repairs, paint system

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)		

DESCRIPTION (continued)

SUPERSTRUCTURESpans: Number 18 Total Length(ft) 843Main Spans: Number 1 Length(ft) 117 Width(ft) 65 Roadway width(ft) 58Main Span Design Movable--BasculeMain Span Materials 1. Steel 2. 4-leaf, open/filled grid deckApproach Spans: Number 17 Length(ft) 725 Width(ft) 65 Roadway width(ft) _____Approach Span Design Beam & GirderApproach Span Materials 1. Concrete 2. Type II, prestressed beamsDeck Materials 1. Concrete 2. cast-in-place, reinforced**SUBSTRUCTURE**Abutment Materials 1. Concrete 2. _____Abutment Description Solid reinforced breast walls rest on reinforced concrete footersPier Materials 1. Concrete 2. _____

Pier Description _____

RESEARCH METHODS (check all that apply)

- | | | | |
|--|---|--|---|
| <input checked="" type="checkbox"/> FDOT database search | <input type="checkbox"/> Fla. Archives / photo collection | <input type="checkbox"/> newspaper files | <input type="checkbox"/> informal archaeological inspection |
| <input type="checkbox"/> HABS/HAER record search | <input type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> city directory | <input type="checkbox"/> formal archaeological survey |
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> Public Lands Survey (DEP) | <input type="checkbox"/> cultural resource survey |
| <input checked="" type="checkbox"/> Other methods (specify) <u>Field survey; FDOT bridge files</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use separate sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☒ yes ☐ no ☐ insufficient informationPotentially eligible as contributor to a National Register district? ☐ yes ☒ no ☐ insufficient informationExplanation of Evaluation (required, use separate sheet if needed) This bridge is considered eligible for its distinguishing four-leaf, double bascule design, the only historic one in the State.Area(s) of historical significance (See *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. Engineering 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field & analysis notes, photos, plans, other important documents

- | | |
|---|--|
| 1) Document type <u>All materials at one location</u> | Maintaining organization <u>Archaeological Consultants Inc</u> |
| Document description <u>Photos, maps, notes, research</u> | File or accession #'s <u>P8057-D</u> |
| 2) Document type _____ | Maintaining organization _____ |
| Document description _____ | File or accession #'s _____ |

RECORDER INFORMATION

Recorder Name Kisa Hooks Affiliation Archaeological Consultants IncRecorder Contact Information 8110 Blaikie Ct., Ste. A / 1-941-379-6206 / 1-941-379-6216 / aciflorida@comcast.net
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' TOPO MAP WITH BRIDGE LOCATION MARKED****② PHOTO OF BRIDGE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE**

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

CONTINUATION SHEET

FDOT GENERAL BRIDGE DESCRIPTION:

This 18 span, four (4) lane, 843' long trunnion-style (former Hopkins frame) bascule bridge Carries US-1 over the Intracoastal Waterway in Jupiter, Florida. The bridge was built in 1958 under Project No. 9304-204. The structure has a live load rating of H20-S16-44. This structure is owned and maintained by the State of Florida.

The overall width of 66' includes left and right 2' sidewalks. Handrails include concrete posts and beams. The handrail for the bascule span includes steel channels and angles. The 9" deck consists of 7" of reinforced cast-in-place concrete with a 2" asphalt overlay. The deck for the bascule span is compromised of 5" open grid and 3" filled-grid decking.

The entire bridge consists of 18 spans. Spans 1-11 and 15-18 have eight prestressed concrete AASHTO Type C beams; flanking spans 12-14 have 10 of the same type. Span 13 is the double bascule span constructed of (2) built-up girders per leaf. Bents 5, 9 and 16 have fourteen prestressed 20" square piles; the remaining intermediate bents have eight. The two reinforced concrete bascule piers are supported by 18" square piles. Both abutments are solid reinforced concrete breast walls that rest on reinforced concrete footers supported by 12 piles.

The three-story concrete tender station is mounted to the northeast corner of the north pier and features a flat, built-up roof. The fenestration includes one-over-one single-hung sash metal windows. The "1958" construction date stamp is stamped above the single-pane hollow-metal door. Other exterior ornamentation includes concrete surrounds, various surveillance and electrical sounding equipment throughout, wall air-conditioning unit and a gas tank.

There are two on-coming and two off-going aluminum warning gates. The (4) Vickers hydraulic power motors on the bridge replaced the Hopkins frame, reducer box and open gearing system in 1992. Vertical clearance at low tide is 16'. The horizontal clearance is 90' and the water depth at the channel is approximately 18'.

The maintenance bridge history includes

Year	Project No.	Contractor	Work Description
1977	93040-3515/6	unknown	Bridge painted/Fender system repaired
1978	90340-3518	unknown	pile jacket repairs
1998	E4985	unknown	pile jacket repairs
1992	93040-3530	Tom Quinn Co.	Major bridge rehabilitation, new electrical, machinery, paint system
2005	FN H11217-1-52-01	unknown	paint structural steel, fender repairs

The US-1 Bridge in Jupiter is considered eligible for listing in the *NRHP* under Criterion C, in the area of Engineering, as the only historic four-leaf, double bascule bridge in the State of Florida that retains its integrity.

PHOTOGRAPHS



PHOTOGRAPHS



PHOTOGRAPHS



PHOTOGRAPHS



PHOTOGRAPHS

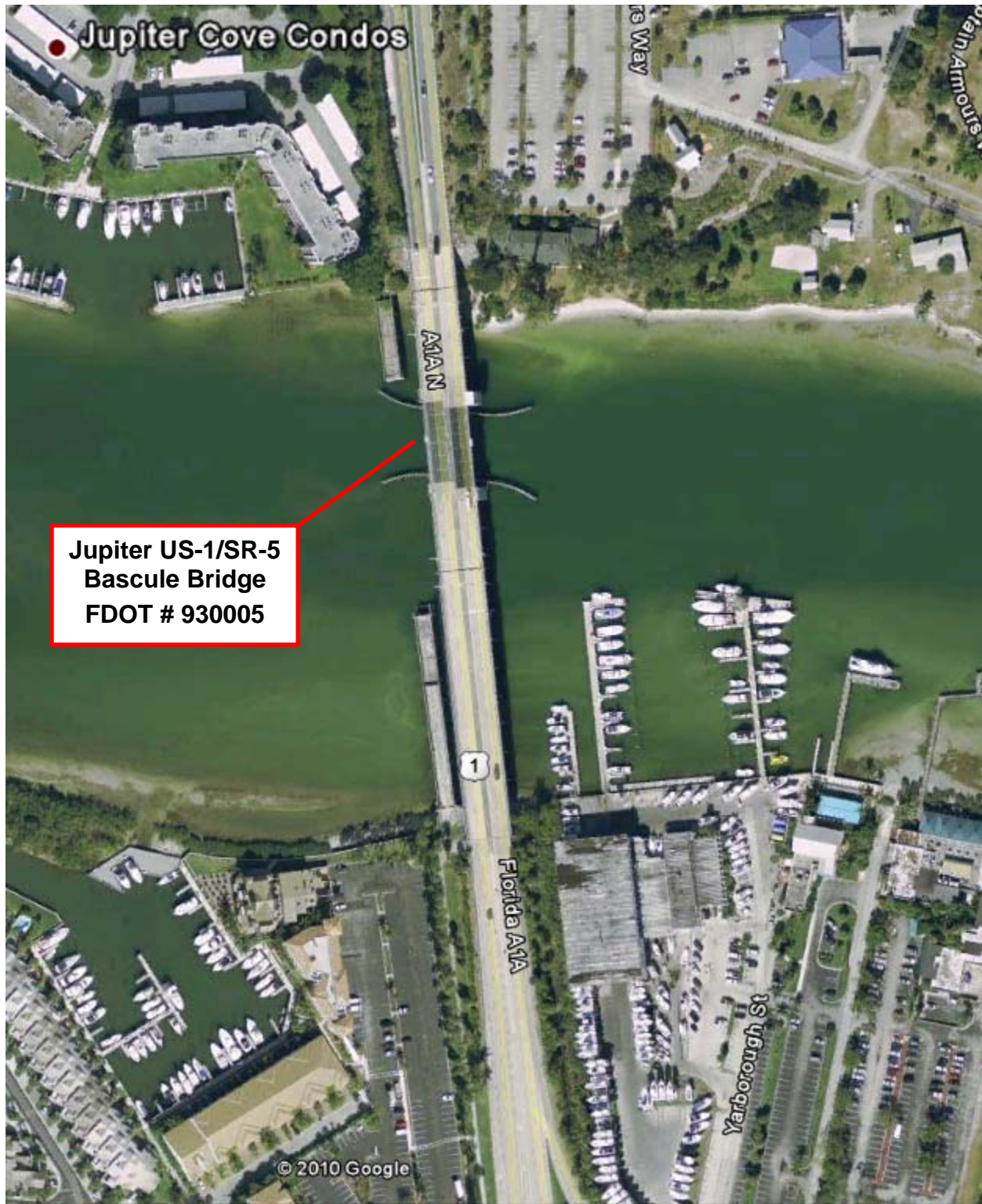


PHOTOGRAPHS



GOOGLE EARTH 2008

Jupiter, Florida





USGS

Township 40 South, Range 43 East, Section 31
1984 Jupiter, Florida LABINS mrg2401.tif



☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB15991**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 14

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) WWII Navy Married Men's Housing Quarters Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☒ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 500 Direction _____ Street Name Captain Armour's Street Type Way Suffix Direction _____
 Address: 500 Captain Armour's Way
 Cross Streets (nearest/between) S side, b/w US 1 and Loxahatchee River
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110200 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 590875 Northing 2981038
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1942 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Air Force/Army/Navy/Military base From (year): c1942 To (year): c1970
 Current Use Art gallery/Museum/Planetarium From (year): c2007 To (year): 2016
 Other Use Community center From (year): c1970 To (year): c2007
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: c. 2006 Nature Restoration
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Number of Stories 2
 Exterior Fabric(s) 1. Weatherboard 2. _____ 3. _____
 Roof Type(s) 1. Hip 2. Shed 3. _____
 Roof Material(s) 1. Composition shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Wood two-over-two double-hung sash: some windows are replaced
 Distinguishing Architectural Features (exterior or interior ornaments) Wood surrounds; wood supports; wide overhanging eaves
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multi

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____	
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)	

DESCRIPTION (continued)

Chimney: No. 2 Chimney Material(s): 1. Brick 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Piers 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) Panel door in south facade porch with sidelights

Porch Descriptions (types, locations, roof types, etc.) South first floor porch runs full length of house; south second floor shed screened porch

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource This FV style former U.S. Navy housing includes three hipped roof portions, a south 1st and 2nd story porch, and currently houses the the museum of the the Jupiter Inlet Lighthouse and Museum.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☒ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☒ yes ☐ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This resource was determined National Register-eligible in 2013. It is newly considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Architecture 5. Military
 2. Community planning & development 4. Maritime history 6. Transportation

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

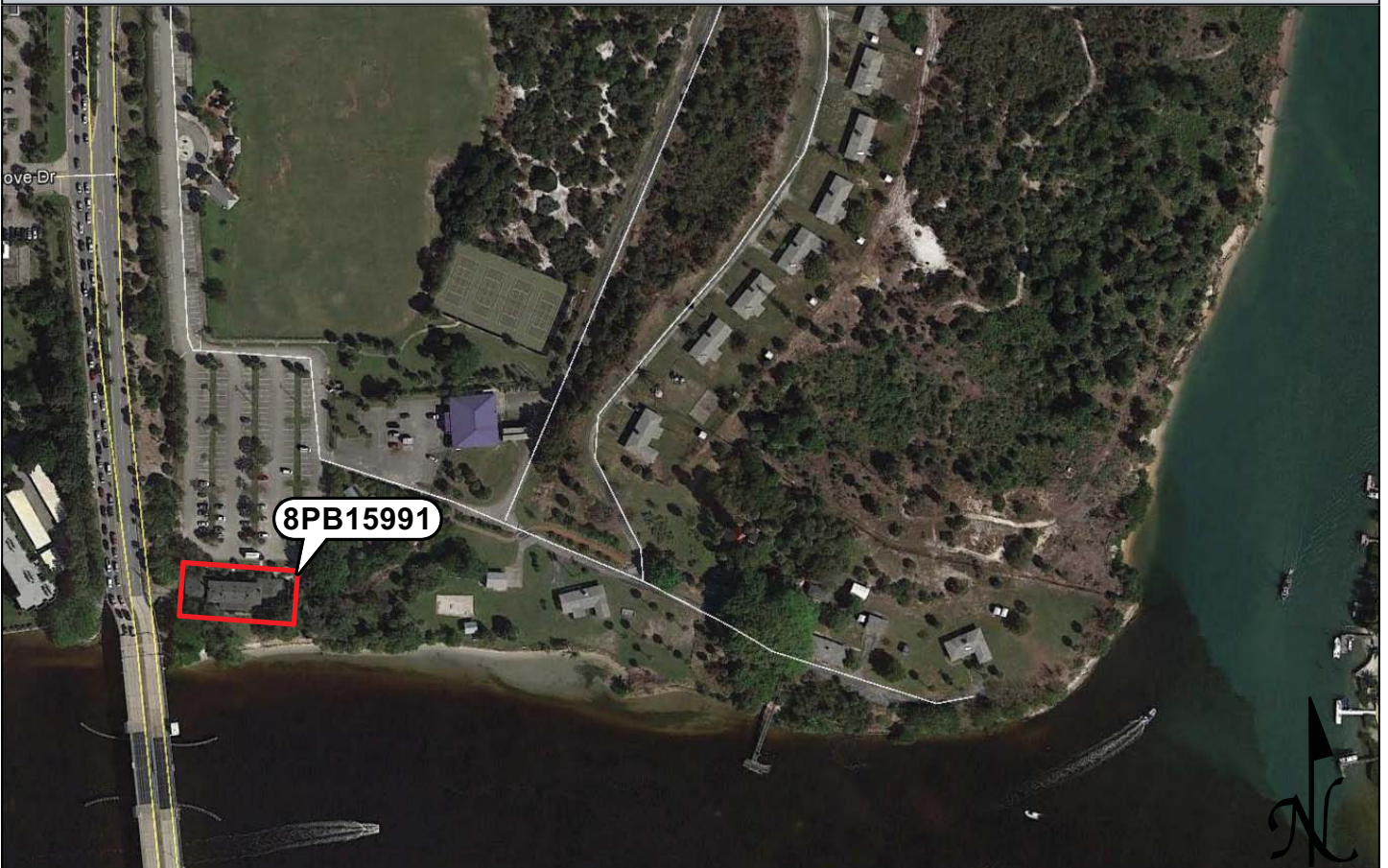
③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16182**
 Field Date 8-9-2016
 Form Date 12-8-2016
 Recorder # 15

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) LORAN-C Jupiter Family Housing, Unit A Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 600 Direction _____ Street Name State Road 707 Street Type _____ Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) South of Jupiter Lighthouse Park
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110000 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591040 Northing 2981040
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1961 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): c1961 To (year): 2013
 Current Use Abandoned/Vacant From (year): 2013 To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: c. 1990s Nature Windows and door replaced
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Composition shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Replacement aluminum one-over-one single-hung sash
 Distinguishing Architectural Features (exterior or interior ornaments) Stucco scored to resemble brick veneer; integral planter; concrete cut-out wall at carport
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Eight other similar residences in complex associated with resource group 8PB16191.

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)	

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Concrete block 2. Stucco
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) Replacement single-acting panel door at the north with stucco surround scored to resemble brick veneer
 Porch Descriptions (types, locations, roof types, etc.) South shed extension screened-in porch

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource This MV style residence is irregular in form with a side gabled roof, south cross-gable and shed porch, and integral one-bay garage. This and the other residences of the complex were utilized by Coast Guardsman stations at LORAN-C Station in Hobe Sound.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photogrpahs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) Although the building was determined individually National Register-ineligible in 2015, it is considered a contributing resource to the Potential Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Architecture 3. Architecture 5. Military
 2. Community planning & development 4. Maritime history 6. Transportation

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☒ Original
☐ Update



RESOURCE GROUP FORM
FLORIDA MASTER SITE FILE
 Version 4.0 1/07

Site #8 PB16191
 Field Date 11-3-2014
 Form Date 1-6-2015
 Recorder# _____

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions (MPSS).** National Register MPSS are treated as Site File manuscripts and are associated to the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☒ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☐ **Linear resource** (NR category usually "structure"): Linear resources are a special type of rural historic landscape and can include canals, railways, roads, etc.

Resource Group Name USCG Family Housing for LORSTA JUPITER Multiple Listing [DHR only] _____
 Project Name HABS for USCG LORAN-C STATION (LORSTA) JUPITER FMSF Survey # _____
 National Register Category (please check one): ☒ building(s) ☐ structure ☐ district ☐ site ☐ object
 Linear Resource Type (if applicable): ☐ canal ☐ railway ☐ road ☐ other (describe): _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 500 Direction _____ Street Name Capt. Armour's Street Type Way Suffix Direction _____
 Address: 500 City/Town (within 3 miles) Jupiter In Current City Limits? ☐ yes ☐ no ☒ unknown
 County or Counties (do not abbreviate) Palm Beach
 Name of Public Tract (e.g., park) Jupiter Inlet Lighthouse and Museum
 1) Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 2) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 3) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 4) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 USGS 7.5' Map(s) 1) Name JUPITER USGS Date 1948
 2) Name _____ USGS Date _____
 Plat, Aerial, or Other Map (map's name, originating office with location) _____
 Landgrant _____
 Verbal Description of Boundaries (description does not replace required map) USCG family housing is located on Coast Guard Way. within the Jupiter Inlet Lighthouse and Museum Complex; Bordered by Beach Road to the North, Capt. Armour's Way to the West, the Loxahatchee River to the South and Indian River to the East.

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input checked="" type="checkbox"/> no <input type="checkbox"/> insufficient info	Date <u>9/23/2015</u>	Init. <u>JHA</u>		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

HISTORY & DESCRIPTION

Construction Year: 1962 ☒ approximately ☐ year listed or earlier ☐ year listed or laterArchitect/Designer (last name first): 2015 Builder (last name first): 2019Total number of individual resources included in this Resource Group: # of contributing 9 # of non-contributing 0

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

1. Modern (Post 1950)

3.

2. 1962-2010

4.

Narrative Description (National Register Bulletin 16A pp. 33-34; fit a summary into 3 lines or attach supplementary sheets if needed) Nine (9) 1-story, single family dwellings constructed of concrete block situated on top of a sandy dune system with late successional plant life. Buildings in good condition, close proximity to each other creating a linear neighborhood.

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☐ property appraiser / tax records☒ newspaper files☒ neighbor interview☐ Public Lands Survey (DEP)☐ cultural resource survey☒ historic photos☐ interior inspection☒ HABS/HAER record search☒ other methods (specify) Site Assessment

Bibliographic References (give FMSF Manuscript # if relevant)

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places?

☐ yes☒ no☐ insufficient information

Potentially eligible as contributor to a National Register district?

☐ yes☒ no☐ insufficient informationExplanation of Evaluation (required, see National Register Bulletin 16A p. 48-49. Attach longer statement, if needed, on separate sheet.) Resource group is common among housing for military families. Does not meet specific Criteria for listing.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1.

3.

5.

2.

4.

6.

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type

Maintaining organization

Document description

File or accession #'s

2) Document type

Maintaining organization

Document description

File or accession #'s

RECORDER INFORMATION

Recorder Name Patricia DavenportAffiliation Environmental Services, Inc.Recorder Contact Information 7220 Financial Way, Ste. 100, Jacksonville, FL 32256/pdavenport@esinc.cc
(address / phone / fax / e-mail)

Required Attachments

- ① PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED
- ③ TABULATION OF ALL INCLUDED RESOURCES (name, FMSF #, contributing? Y/N, resource category, street address or township-range-section if no address)
- ④ PHOTOS OF GENERAL STREETScape OR VIEWS (Optional: aerial photos, views of typical resources)
Photos may be archival B&W prints OR digital image files. If submitting digital image files, they must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



FLORIDA DEPARTMENT of STATE

RICK SCOTT
Governor

KEN DETZNER
Secretary of State

Patricia Davenport
Environmental Services, Inc.
7220 Financial Way, Suite 100
Jacksonville, FL 32256

September 23, 2015

RE: DHR Project File No.: 2015-4328, Received by DHR: September 1, 2015
Project: *Florida Master Site File Documentation for United States Coast Guard Housing Units located at the former Jupiter Inlet Light Station, Historical Structure Forms PB16182-PB16190 and Resource Group Form PB16191*
County: Palm Beach

Dear Ms. Davenport:

The Florida State Historic Preservation Officer received and reviewed the referenced documentation in accordance with the *2014 Memorandum of Agreement Between the United States Coast Guard and the Bureau of Land Management and the Florida Division of Recreation and Parks and the State Historic Preservation Officer Regarding the Interim and Final Disposition of the LORAN-C Station (LORSTA), Jupiter.*

Thank you for providing Historical Structure Forms for PB16182 – PB16190 and Historical Resource Group Form PB16191 for the USCG housing units located at the former Jupiter Inlet Light Station. This documentation will be forwarded to the Florida Master Site File for inclusion in their records. Based on the information provided, our office concurs with your determination that PB16182 – PB16190 and PB16191 are not eligible for listing on the *National Register of Historic Places*.

If you have any questions, please contact Jason Aldridge, Historic Sites Specialist, by email at Jason.Aldridge@dos.myflorida.com, or by telephone at 850.245.6333 or 800.847.7278.

Sincerely

Robert F. Bendus, Director
Division of Historical Resources
& State Historic Preservation Officer



Division of Historical Resources
R.A. Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399
850.245.6300 • 850.245.6436 (Fax) flheritage.com
Promoting Florida's History and Culture VivaFlorida.org



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7220 Financial Way, Suite 100
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Phone 904-470-2200 * Fax 904-470-2112

www.environmentalservicesinc.com

106
2015-4328

25 August 2015

Division of Historical Resources
Florida Master Site Files
R. A. Gray Building
500 South Bronough Street
Tallahassee, Florida 32399-0250

RE: PB16182-PB16191
Palm Beach County, Florida

Dear Mr. Parsons:

Enclosed please find a copy of Historical Structure Forms for PB16182-PB16190 as well as Resource Group Form for PB16191 for buildings associated with the United States Coast Guard housing units located at the former Jupiter Inlet Light Station. This project was conducted on behalf of Martin Environmental and the United States Coast Guard (USCG). It was carried out as part of an MOA between USCG, Bureau of Land Management, Florida Division of Recreation and Parks and the State Historic Preservation Officer, regarding the interim and final disposition of the LORAN-C STATION (LORSTA), JUPITER as part of the Section 106 Process.

During the HABS Level III documentation of LORSTA Jupiter it was determined that the housing units located at the former Jupiter Inlet Light Station should not be part of that documentation. However those buildings were recorded with Florida Master Site File Forms and evaluated for their significance.

As a result of the survey, it is the architectural historian's opinion that the associated buildings are not significant under National Register Criteria set by the United States Department of the Interior, National Park Service. However, we do believe that the information collected is useful for future research and respectfully submit the forms for inclusion in the FMSF.

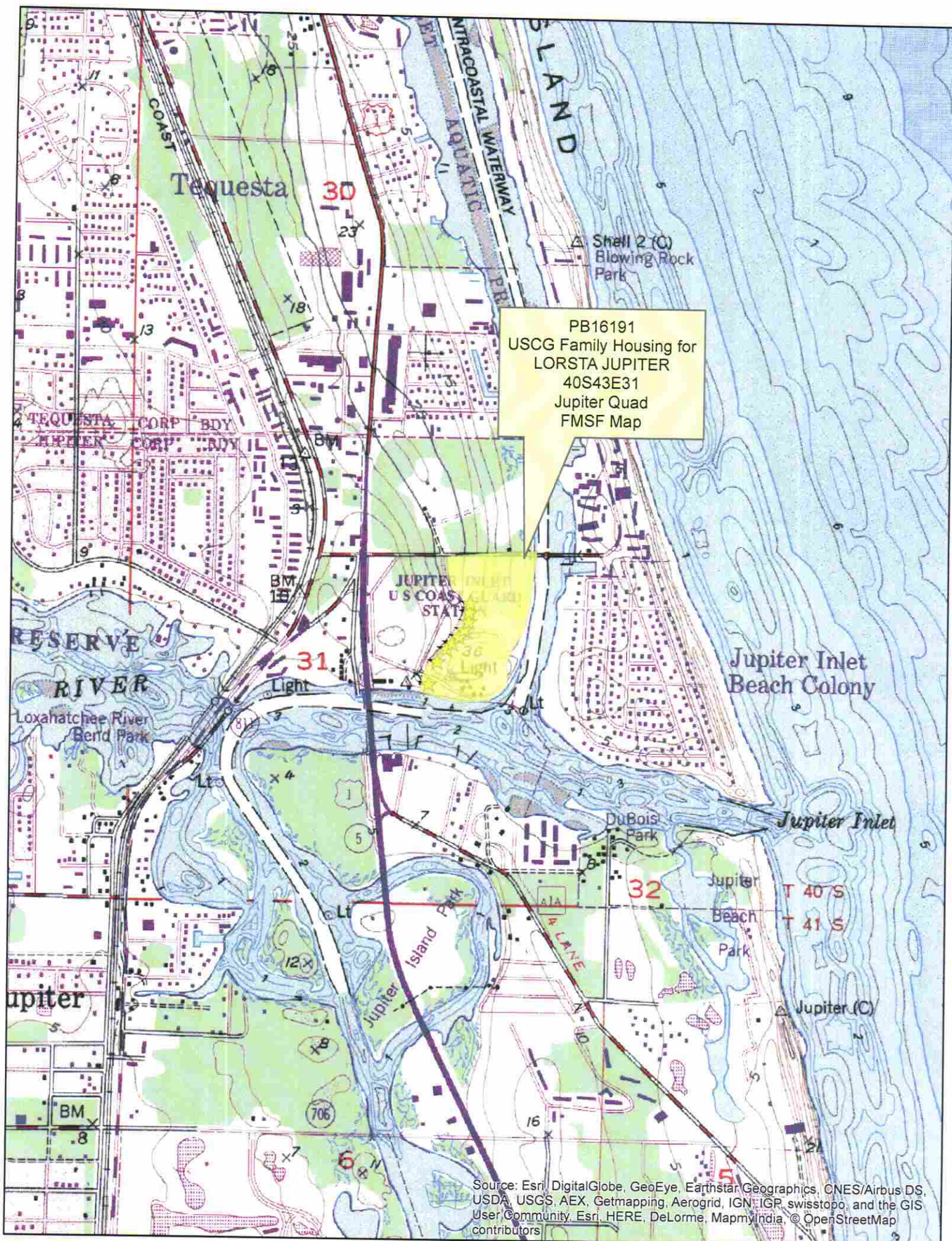
If you have any questions, please contact me.

Sincerely yours,

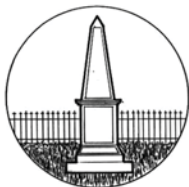
ENVIRONMENTAL SERVICES, INC.

Patricia Davenport
Patricia Davenport
Historic Research Specialist

Enclosures



☒ Original
☐ Update



HISTORICAL CEMETERY FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16434**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 1

Consult the *Guide to Historical Cemetery Form* for detailed instructions.

Cemetery Name Jupiter Lighthouse Cemetery Multiple Listing (DHR only) _____
 Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☒ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City/Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section ☐ NW ☐ SW ☐ SE ☐ NE Irregular Sect. Name _____
 Township _____ Range _____ Section _____ ¼ section ☐ NW ☐ SW ☐ SE ☐ NE
 Landgrant _____ Tax Parcel # _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591064 Northing 2981034
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Address / Vicinity / Route to South side of Coast Guard Way to the east of the Jupiter Inlet Lighthouse and Museum building at 500 Captain Armour's Way
 Public Tract Containing Cemetery (e.g. park name) _____

HISTORY

Year Cemetery Established 1905 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Ownership History (especially original owners) Seventh Lighthouse District, Sixth Lighthouse District, United States Coast Guard
 Year Burials Ceased, if applicable _____ Reason(s) Burials Ceased c. 1905: small cemetery specifically for deceased children of keepers of the Jupiter Inlet Lighthouse
 Range of Death Dates: Earliest Year 1905 Most Recent Year 1906
 Acreage Expansions/Dates n/a
 List People Important in Local, State, or National History Buried in Cemetery n/a

Describe Previous Repair, Cleaning or Restoration Efforts See continuation sheet

DESCRIPTION

Type (check all that apply) ☐ community ☐ company town ☐ epidemic ☒ family ☐ fraternal order
☐ memorial park ☐ military(not national) ☐ municipal ☐ national ☐ potter's field
☐ prison ☐ religious ☐ Rural Movement ☐ other(describe): _____
 Ethnic Group(s) Interred (check all that apply) ☒ White non-Hispanic ☐ Hispanic ☐ Asian ☐ Caribbean ☐ African American
☐ American Indian-tribe: _____ ☐ other(describe): _____
 Current Status: ☐ still used for burials ☒ no longer used for burials, but maintained ☐ abandoned
 Condition: ☒ well maintained ☐ some areas maintained ☐ poorly maintained ☐ not maintained, but easily identifiable
☐ not maintained, hard to identify ☐ not identifiable but known to exist (explain): _____
 Total # of Graves: 3 Does Total # Include Unmarked Graves?: ☐ yes ☒ no
 Describe Evidence of Unmarked Graves (include count) Possible unmarked graves but not physically evident
 Total Cemetery Size (give length by width or area, specify ft, m, ac, ha, etc.) Approx 20'x7'
 Describe Cemetery Boundary (e.g. "cast iron fence", stone or brick wall, hedge, etc.) Cemetery is enclosed with stone curbing and a modern wood picket fence
 Historical Vegetation (trees, shrubs, flowers) n/a
 Public Access: ☐ unlimited ☒ restricted: how? Only accessible during hours of Jupiter Lighthouse Museum operation
 Threats (check all that apply) ☐ abandonment ☐ agriculture ☐ mining/timbering ☐ public development ☐ private development
☐ desecration/vandalism ☐ other (explain): _____
 Associated Historical Properties/Archaeological Remains (non-cemetery) n/a

☐ Check if *Historical Structure Form* completed

☐ Check if *Archaeological Site Form* completed

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)	Date _____ Init. _____ Date _____

GRAVE MARKER DESCRIPTIONS

Grave Groupings (check all that apply) ☒ family ☐ fraternal order ☐ military ☐ religious ☐ ethnic heritage ☐ other (describe): _____Groupings Indicated By (check all that apply) ☒ curbing ☐ fence ☐ hedge ☐ wall ☐ other (describe): _____Describe Orientation of Graves (East/West, North/South, etc.) Graves oriented to the eastDescribe/List Methods of Marking Graves Used (i.e., headstones, mounds, depressions, objects or plants, etc.) Grave marker and tombstone

Marker Materials (check all that apply) ☒ marble ☐ concrete/cement ☐ fieldstone ☐ granite ☐ wrought iron
☐ cast iron ☐ white bronze/zinc ☐ sandstone ☐ slate ☐ wood
☒ other (describe): Stone; cannot access sufficiently to determine type

Describe Grave Articles Found in Cemetery n/aDescribe Marker Damage and Conditions (i.e., sunken, tilted, chipped, weathered but standing, broken in fragments, vandalized, etc.) See continuation sheetCharacterize Condition of Inscriptions (legible, illegible, none, etc.) LegibleDistinctive Grave Markers, Monuments, and/or Architectural Features See continuation sheetSignatures of Stone Carvers (specify name, town if available) None observed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey ☐ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (if unpublished give FMSF manuscript # or location where document available) See continuation sheet

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient informationExplanation of Evaluation (required, whether significant or not) See continuation sheetAreas of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", etc.)1. Community planning & development3. Architecture5. Transportation2. Commerce4. Military6. Maritime history

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

INFORMANT & RECORDER INFORMATION

Local Informant (name and contact information) _____

Recorder Information: Name Janus ResearchAffiliation Janus ResearchAddress / Phone / E-mail 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com

Required Attachments

① PHOTOCOPY OF USGS 7.5' MAP WITH BOUNDARIES MARKED IN RED

② PHOTOS, ARCHIVAL B&W PRINTS OR DIGITAL IMAGE FILES

Helpful photos may include the main gate or entrance, representative general views, unusual monuments or markers, and damage or neglect. If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

SITE NAME: Jupiter Lighthouse Cemetery

A. NARRATIVE DESCRIPTION OF SITE

The Jupiter Lighthouse Cemetery is located south of Coast Guard Way, immediately east-adjacent to previously recorded Unit A of the LORAN-C housing complex (8PB16182) in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 Photorevised [PR] 1983) United States Geological Survey (USGS) quadrangle map, in the Town of Jupiter, Palm Beach County, Florida. The cemetery is small with an approximate length of 20 feet and approximate width of seven feet. The plot appears to be outlined in stone, and is also enclosed with a non-historic wood picket fence. Contained within the cemetery are three known burials oriented to the east; however, according to Josh Liller, Historian and Collections Manager for the Jupiter Inlet Lighthouse and Museum, there are possibly other unmarked graves (Liller 2016). Two of the graves belong to the still born infants of Captain Joseph A. Wells and his wife Katherine Dickerson Armour Wells. Captain Wells served as the first assistant lighthouse keeper from 1894 to 1906 under his father-in-law, head lighthouse keeper James Armour (Lasseter-Drake and White 2003:24). Upon Armour's retirement in 1906, Wells was promoted to head lighthouse keeper, a position he held until he retired in 1919 (Lasseter-Drake and White 2003:24). The dates of the graves are between 1905 and 1906 (Liller 2016). A single stone marker inscribed with the words "Our Babies," flanked by two crosses, is present. Stone curbing signifies the location of the Wells burials.

The third burial is located immediately east of the Wells children and is marked by a marble tombstone inscribed with the words "Richard, Son of J&M Eriksson, Apr. 1904. Sept. 28 1906." Above this inscription is a dove and two olive branches. The dove is the most frequently observed animal symbol in cemeteries and most often an olive branch accompanied this symbol (Keister 2008:162). According to the Christian faith, the dove is a symbol of purity and peace because God had made peace with man (Keister 2008:162). A marble footstone inscribed with the child's initials is present. Richard Eriksson was the son of John Erwin Eriksson and Magnolia "Maggie" G. Eriksson. John Eriksson served as an assistant lighthouse keeper (Lasseter-Drake and White 2003:24). The cemetery can be observed on historic aerial photographs from 1964, appearing as it does currently.

B. DISCUSSION OF SIGNIFICANCE

The current Jupiter Lighthouse Cemetery is considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). The Jupiter Lighthouse Reservation is associated with the early development of Jupiter and Palm Beach County from the point the Jupiter Inlet Lighthouse was first constructed in 1859 to the post-World War II period. In fact, the construction and lighting of the lighthouse served as the impetus for the pioneer settlement of the area that would become the Town of Jupiter (Lasseter-Drake and White 2003:7). The historical evolution of the area can be traced in this one single site, evident by the existence of remaining and intact historic structures, exhibiting a broad spectrum of construction dates. The alteration of the site over the years, such as through the demolition of buildings in the 1950s/1960s, is part of the evolution of

SITE NAME: Jupiter Lighthouse Cemetery

the site to remain relevant, and the area retains its ability to convey its significance. The basic layout of the area has been maintained.

The Reservation is significantly linked to several branches of the U.S. military, having been a site of operations for the U.S. Air Force, USCG, and U.S. Navy. Events related to the Civil War, World War II, and the Cold War, are associated with the Jupiter Lighthouse Reservation. In terms of military significance, the World War II period is paramount, as the interception of intelligence through “Station J” effectively stopped the advancement of German U-boats off the east coast of Florida.

Furthermore, the combined services of the lighthouse facilities were essential to mariners (White 1992) and for well over 100 years, the lighthouse and its related facilities protected both naval commerce and transportation of the area. For the Jupiter Lighthouse Reservation’s demonstrated significance in the areas of Community Planning and Development, Maritime History, Military History, Commerce, and Transportation, it is considered eligible for listing in the National Register under Criterion A. The district is also considered National Register–eligible under Criterion C in the area of Architecture, for the distinguishable collection of structures the site possesses that are associated with the history of the Jupiter Lighthouse Reservation.

C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

Keister, Douglas

2008 *Forever Dixie: A Field Guide to Southern Cemeteries & Their Residents*, Gibbs Smith, Layton UT.

Lasseter-Drake, Lynn and William Carlin White

2003 *Images of America Jupiter*, Arcadia Publishing, Charleston, SC.

Liller, Josh

2016 Interview with James P. Pepe on November 11, 2016.

White, William Carlin

1992 *History of the Jupiter Wireless Telegraph Station*.

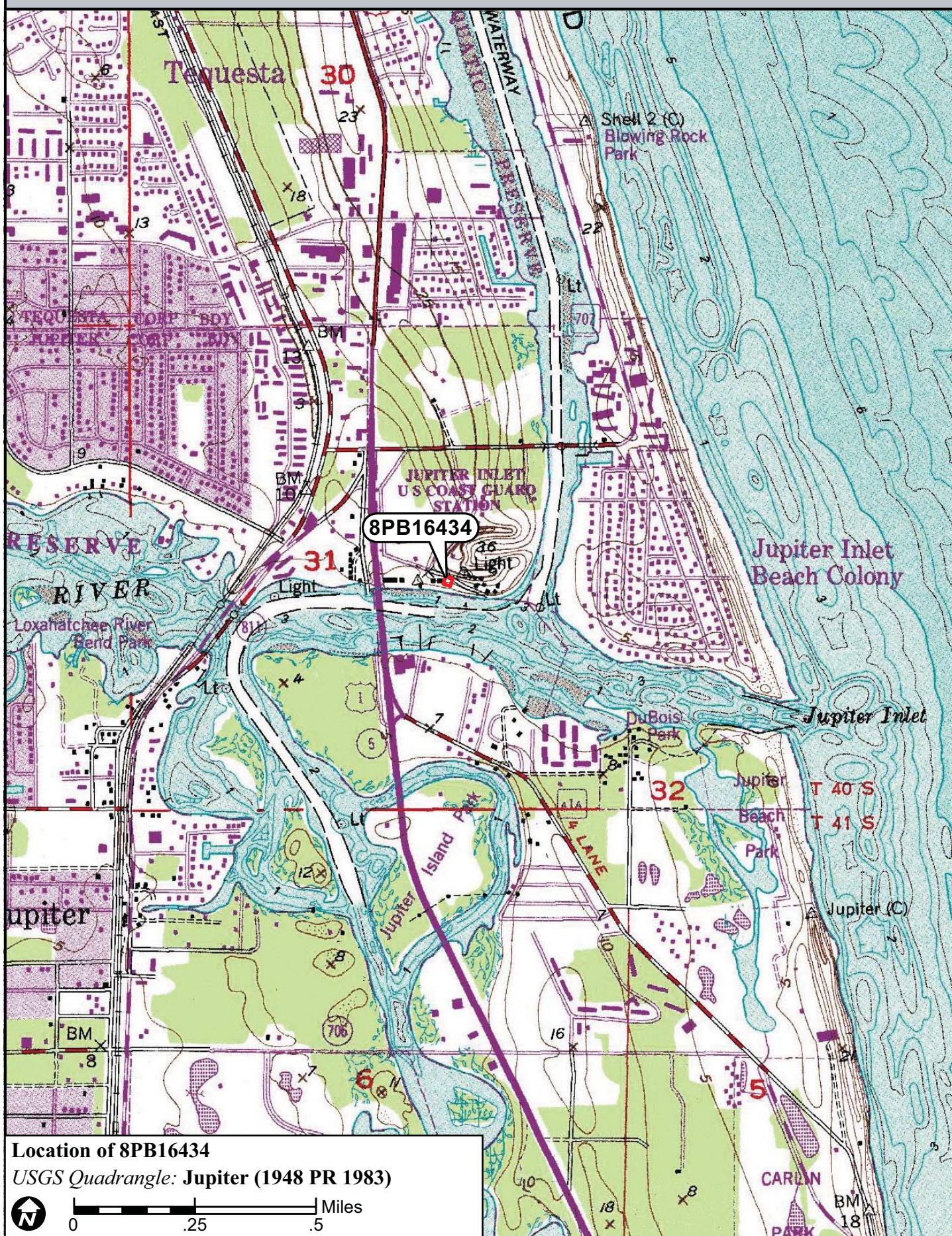
PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



0 .25 .5 Miles

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16435**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 2

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Inlet Lighthouse Oil House Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest / between) N. of Coast Guard Way & E. of lighthouse
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591128 Northing 2981071
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1859 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Other From (year): 1859 To (year): 1973
 Current Use Art gallery/Museum/Planetarium From (year): 1973 To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1905-1999 Nature Remodeled 1905; alt 1973; restored 1999
 Additions: ☒ yes ☐ no ☐ unknown Date: c. 1999 Nature N. and S. parapet
 Architect (last name first): Unknown Builder (last name first): Captain Edward Yorke
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Sheet metal: corrugated 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) n/a

Distinguishing Architectural Features (exterior or interior ornaments) Shaped parapet with posts; smooth stucco cladding; historic metal door; bronze dedication plaque

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) See continuation sheet

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	_____	Init.	_____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Brick 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Concrete, Generic 2. _____
 Main Entrance (stylistic details) Metal door at south facade

Porch Descriptions (types, locations, roof types, etc.) None

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource See continuation sheet

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☒ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) See continuation sheet

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Maritime history 5. Transportation
 2. Architecture 4. Military 6. Community planning & development

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

SITE NAME: Jupiter Inlet Lighthouse Oil House

A. NARRATIVE DESCRIPTION OF SITE

The Jupiter Inlet Oil House (8PB16435) is located immediately east of the Jupiter Inlet Lighthouse and was completed under General Edward Yorke in 1859. It is located in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 Photorevised [PR] 1983) United States Geological Survey (USGS) quadrangle map, in the Town of Jupiter, Palm Beach County, Florida. The one-story building is rectangular in form and constructed of brick clad in plaster. It is 11 feet wide by 20 feet long. The gabled roof is structured with steel trusses and purlins (Kenneth Smith Architects, Inc. and Bender & Associates, P.A. Associates Architects 2002) and covered with what appears to be corrugated sheet metal. A shaped parapet is located at both the north and south elevations. Incorporated into each parapet are three posts and coping. A single-acting metal door is slightly recessed into the south façade of the building. There are no window openings. According to an 1862 drawing of the Jupiter Inlet Lighthouse and oil house, the current structure was designed to include windows (Figure 1). These may have been enclosed during extensive renovations to the building, or else were never included in the final design and construction. A bronze dedication plaque is affixed to the west of the south entrance. The oil house remains in good condition and currently serves as a staging area for lighthouse tours.

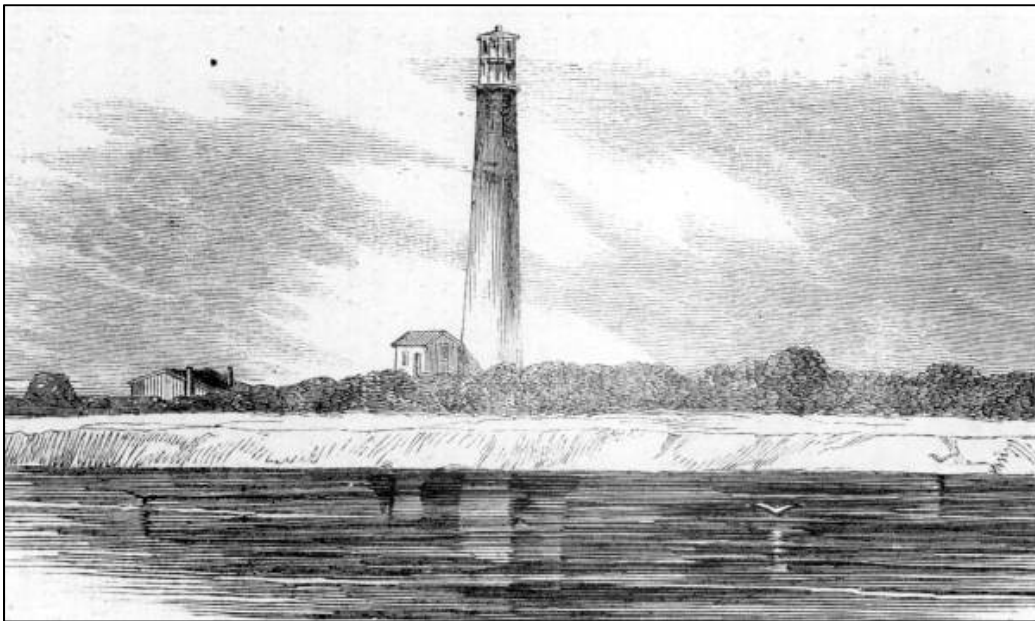


Figure 1: A 1862 Drawing of the Jupiter Inlet Lighthouse and Oil House (*courtesy of Florida Memory*)

This resource is an ancillary feature of the National Register-listed Jupiter Inlet Lighthouse (8PB65); however, the building was not recorded as part of the 1973 National Register nomination for the lighthouse. Once a year, the U.S. Buoy tender would anchor off the inlet to deliver a year's supply of oil, paint, and other necessities of the lighthouse (DuBois 1960:9). Wooden boxes delivered by the U.S. Buoy tender were placed at the foot of the

SITE NAME: Jupiter Inlet Lighthouse Oil House

staircase to the lighthouse and oil house, cracked open, and the five-gallon metal cans of oil or paint contained in the boxes were hooked into a yoke that was carried by a man up the stairs to the lighthouse keeper (DuBois 1960:9). Waiting at the door of the oil house, the lighthouse keeper would wipe the cans with a linseed saturated cloth to remove any trace of salt water prior to placing the cans on the shelves of the oil house (DuBois 1960:9). Lard oil was originally used to power the lighthouse. An early 1888 photograph depicting the original light keeper's house (Figure 2) shows the original brick exterior of the oil house. According to Bessie Wilson DuBois, the oil house had been "put in good as new condition" in 1883 (DuBois 1960:11). In 1905, the oil house was remodeled, the same year the fuel for the lighthouse was switched to kerosene (Liller 2016). During the renovation, shaped parapets were added at the north and south elevation, the brick was covered in plastering, and holes were drilled in the floor in case of a kerosene leak (Liller 2016). Figure 3 is a photograph taken prior to 1929 of the lighthouse and oil house, where the oil house shows its 1905 remodeled appearance. In 1928, the Jupiter Inlet Lighthouse was converted to electricity and no longer required oil. After this point, the oil house was used for storage.

In the early 1970s, the oil house was cleaned out, repainted, and air conditioning and display cases were installed (Liller 2016). In 1973, the oil house opened as the "Oil House Museum," headed up by the Loxahatchee River Historical Society (Loxahatchee River Historical Society 2011). This organization was founded in 1972 with the mission of preserving Town of Jupiter history. In conjunction with the museum, sporadic public tours were given by the historical society of the lighthouse with permission of the USCG (Loxahatchee River Historical Society 2011). Restoration of the oil house commenced in 1999 to restore the building back to its appearance in 1915 (Liller 2016).

SITE NAME: Jupiter Inlet Lighthouse Oil House

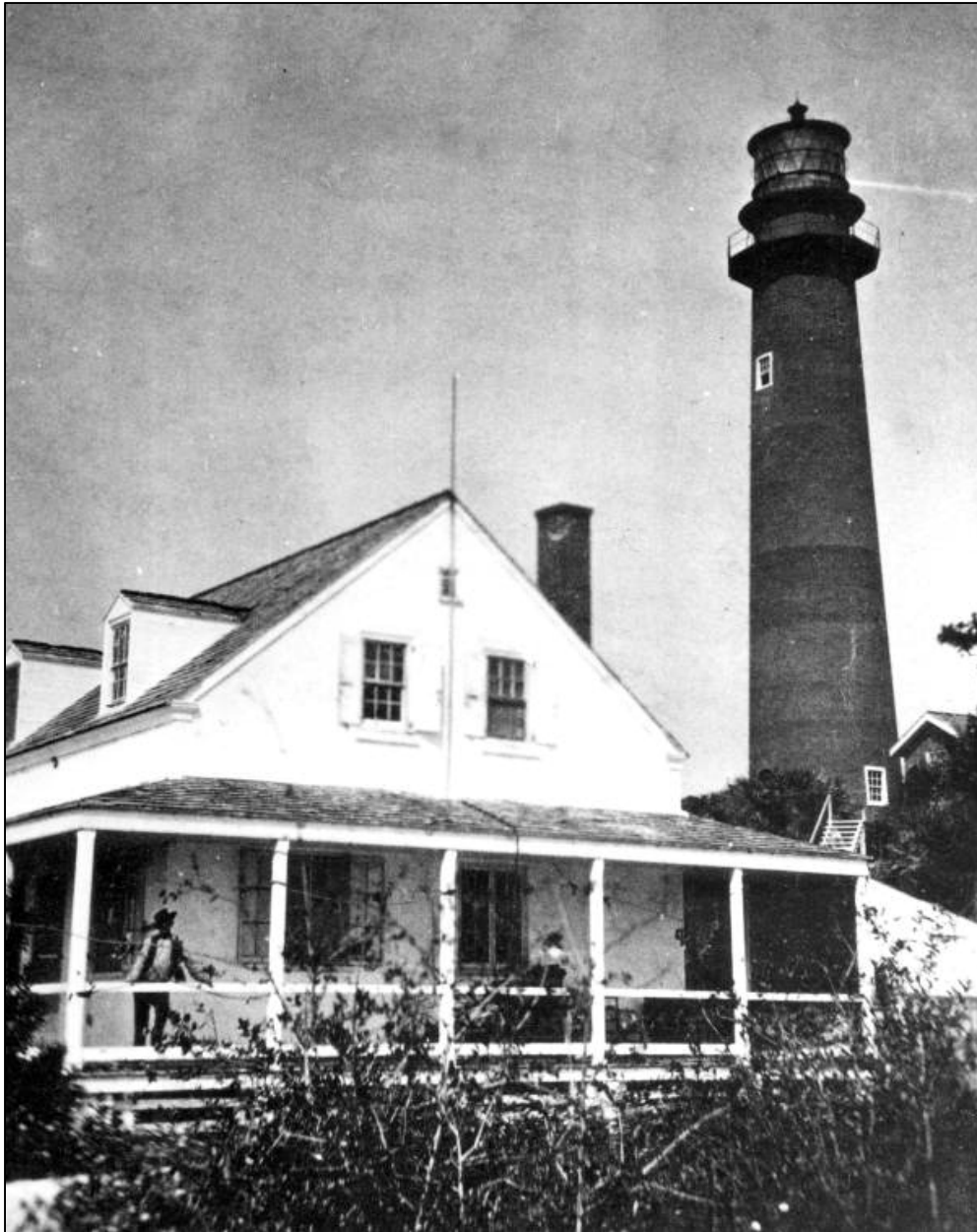


Figure 2: A Photograph Taken Prior to 1883 of the Original c. 1859 Constructed Lighthouse Keeper's House and Jupiter Inlet Lighthouse Which Depicts the Jupiter Inlet Lighthouse Oil House Prior to the 1905 Remodel (*courtesy of Florida Memory*)

SITE NAME: Jupiter Inlet Lighthouse Oil House

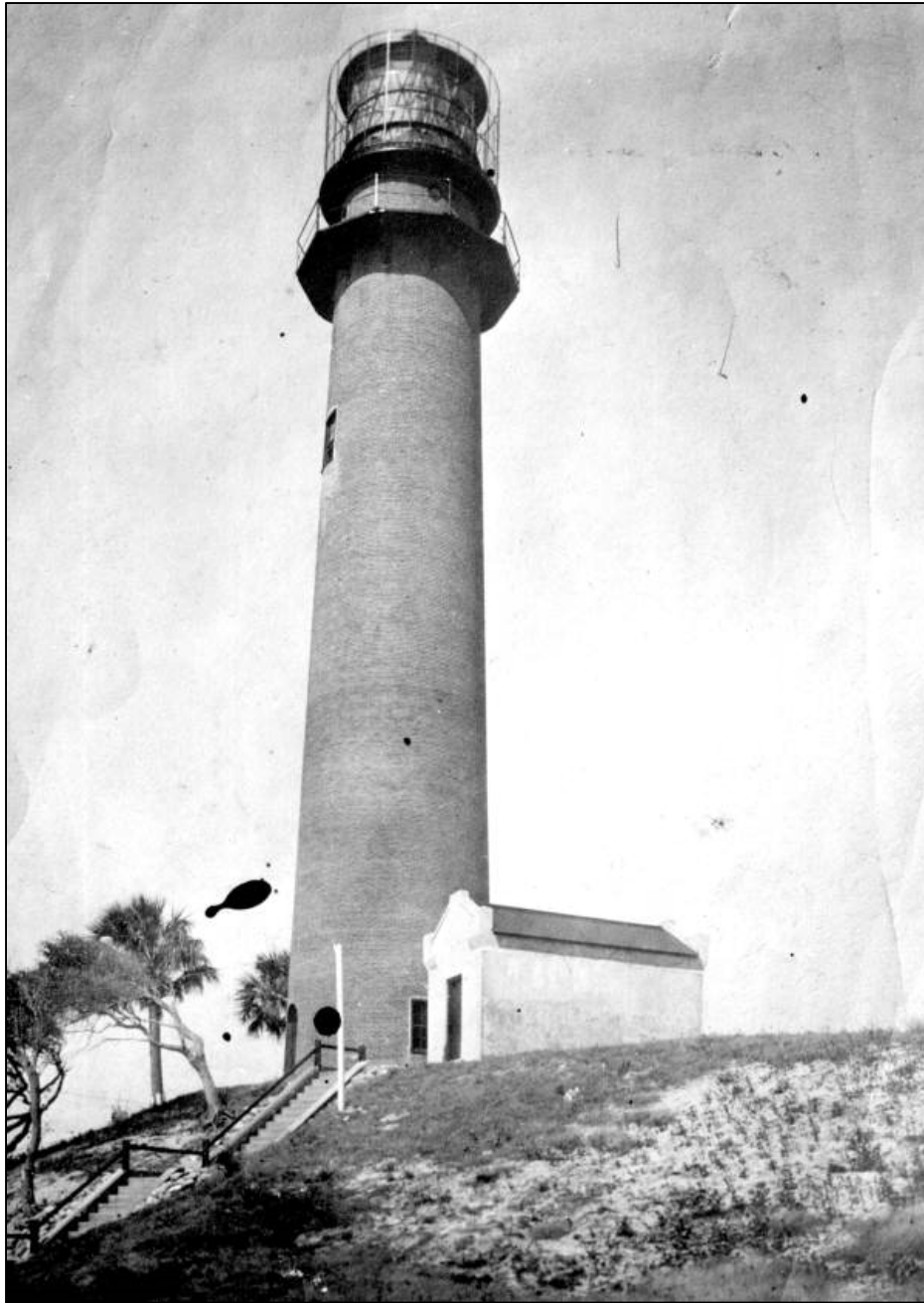


Figure 3: A Photograph of the Jupiter Inlet Lighthouse Oil House after the 1905 Remodel, photograph prior to 1929 (*courtesy of Florida Memory*)

SITE NAME: Jupiter Inlet Lighthouse Oil House

B. DISCUSSION OF SIGNIFICANCE

The Jupiter Inlet Lighthouse Oil House is considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). The Jupiter Lighthouse Reservation is associated with the early development of Jupiter and Palm Beach County from the point the Jupiter Inlet Lighthouse was first constructed in 1859 to the post-World War II period. In fact, the construction and lighting of the lighthouse served as the impetus for the pioneer settlement of the area that would become the Town of Jupiter (Lasseter-Drake and White 2003:7). The historical evolution of the area can be traced in this one single site, evident by the existence of remaining and intact historic structures, exhibiting a broad spectrum of construction dates. The alteration of the site over the years, such as through the demolition of buildings in the 1950s/1960s, is part of the evolution of the site to remain relevant, and the area retains its ability to convey its significance. The basic layout of the area has been maintained.

The Reservation is significantly linked to several branches of the U.S. military, having been a site of operations for the U.S. Air Force, USCG, and U.S. Navy. Events related to the Civil War, World War II, and the Cold War, are associated with the Jupiter Lighthouse Reservation. In terms of military significance, the World War II period is paramount, as the interception of intelligence through “Station J” effectively stopped the advancement of German U-boats off the east coast of Florida.

Furthermore, the combined services of the lighthouse facilities were essential to mariners (White 1992) and for well over 100 years, the lighthouse and its related facilities protected both naval commerce and transportation of the area. For the Jupiter Lighthouse Reservation’s demonstrated significance in the areas of Community Planning and Development, Maritime History, Military History, Commerce, and Transportation, it is considered eligible for listing in the National Register under Criterion A. The district is also considered National Register-eligible under Criterion C in the area of Architecture, for the distinguishable collection of structures the site possesses that are associated with the history of the Jupiter Lighthouse Reservation.

C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

Dubois, Bessie Wilson
1960 Jupiter Lighthouse. *Tequesta* 1(3):5-17.

Kenneth Smith Architects, Inc. and Bender & Associates, Architects, P.A. Associate
Architects
2002 Florida Lighthouse Study. On file, Florida Department of State, Division of
Historical Resources, Tallahassee, Florida.

SITE NAME: Jupiter Inlet Lighthouse Oil House

Lasseter-Drake, Lynn and William Carlin White

2003 *Images of America Jupiter*, Arcadia Publishing, Charleston, SC.

Liller, Josh

2016 Interview with James P. Pepe on November 11, 2016.

Loxahatchee River Historical Society

2011 Jupiter Inlet Lighthouse & Museum. Accessed online at <http://www.jupiterlighthouse.org/wp-content/uploads/2016/09/2011History.pdf> on November 11, 2016.

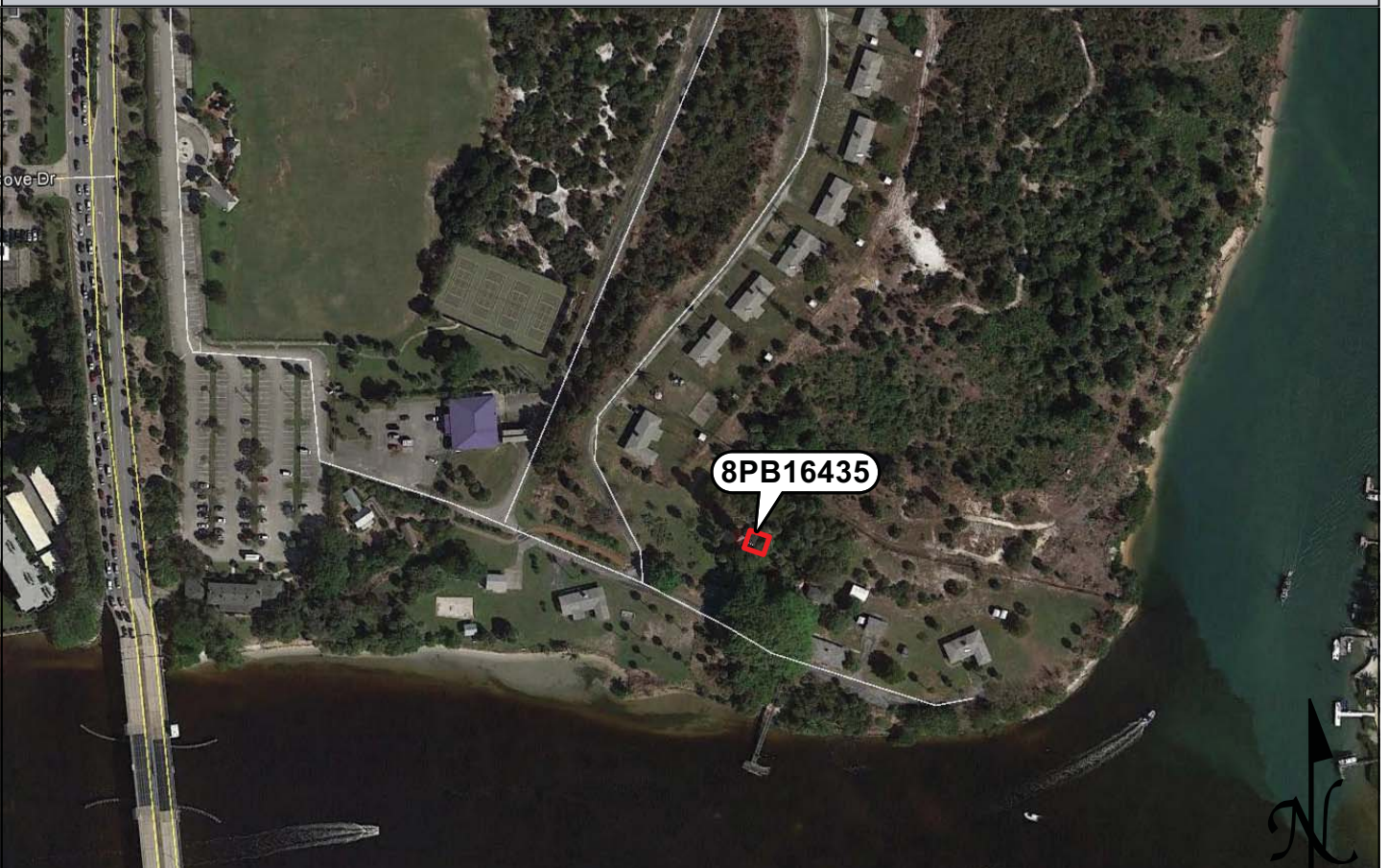
White, William Carlin

1992 *History of the Jupiter Wireless Telegraph Station*.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



Location of 8PB16435

USGS Quadrangle: Jupiter (1948 PR 1983)



0 .25 .5 Miles

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16436**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 3

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Inlet Light Station Wharf Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest / between) S. of Coast Guard Way at N. bank Loxahatchee River
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591129 Northing 2980970
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1931 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Dock/Pier/Wharf From (year): 1931 To (year): _____
 Current Use Dock/Pier/Wharf From (year): _____ To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: unknown Nature Cross-ties b/w pilings removed
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Not applicable Exterior Plan Not applicable Number of Stories _____
 Exterior Fabric(s) 1. Wood/Plywood 2. _____ 3. _____
 Roof Type(s) 1. Not applicable 2. _____ 3. _____
 Roof Material(s) 1. _____ 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Not applicable
 Distinguishing Architectural Features (exterior or interior ornaments) Simple wood hand railings; south wooden wharf head
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Located in Jupiter Inlet Light Station complex with numerous other structures

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date		SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____	
		KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____		
<input type="checkbox"/> Owner Objection		NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)			

DESCRIPTION (continued)

Chimney: No. ____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. _____ 2. _____
 Foundation Material(s): 1. _____ 2. _____
 Main Entrance (stylistic details) not applicable

Porch Descriptions (types, locations, roof types, etc.) not applicable

Condition (overall resource condition): ☐excellent ☐good ☒fair ☐deteriorated ☐ruinous

Narrative Description of Resource The wharf is approximately 170 feet in total length and is positioned at the north bank of the Loxahatchee River. It is wooden with a south wharf head. The current wharf replaced one damaged in the hurricane of 1928.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps
☒FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS) ☒historic photos ☐interior inspection ☐HABS/HAER record search
☒other methods (describe) Aerial photographs; wharf plans

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒yes ☐no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) The wharf is not sufficiently significance for individual listing but is considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Maritime history 5. Transportation
 2. Architecture 4. Military 6. Community planning & development

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

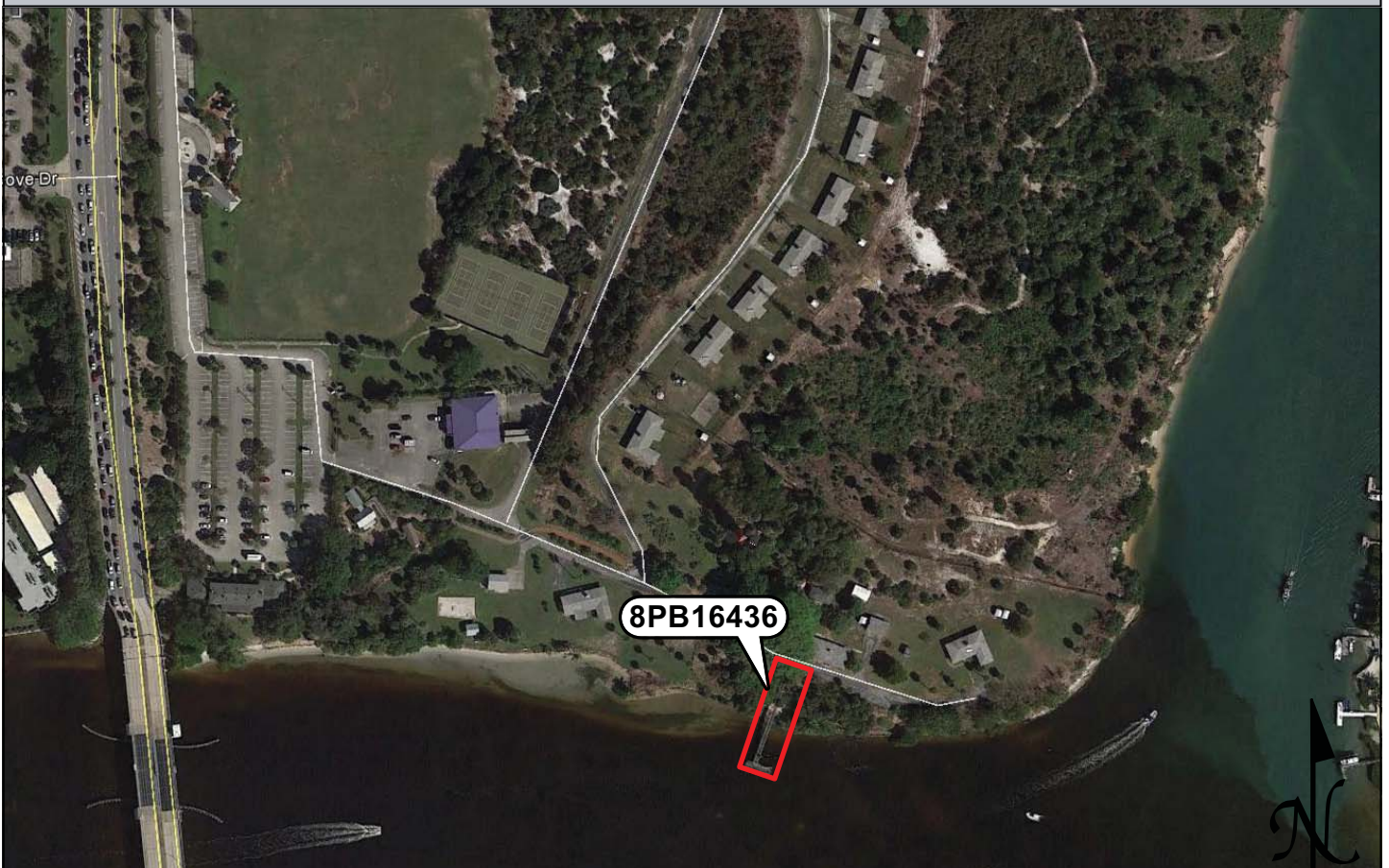
③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16437**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 4

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) USCG Family Quarters, Unit A Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) S. side Coast Guard Way; N. bank Loxahatchee River
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☒ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591164 Northing 2981016
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1961 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): c1961 To (year): _____
 Current Use Private Residence (House/Cottage/Cabin) From (year): _____ To (year): c2008
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: c. 1990s Nature Windows and door replaced
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Hip 2. _____ 3. _____
 Roof Material(s) 1. Composition shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Replacement aluminum one-over-one single-hung sash
 Distinguishing Architectural Features (exterior or interior ornaments) Wide overhanging eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Concrete block 2. Stucco
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) Replacement panel door set at north facade

Porch Descriptions (types, locations, roof types, etc.) Slight entrance porch created by roof overhang at north

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource This MV style residence is rectangular in form with a hip roof that includes wide overhanging eaves. The main entrance is oriented at the north. Windows/doors have been replaced. It is representative of a generic military housing.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This building is of common design/style for its location, era of construction, and type. However, it is a contributing resource to the potential Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Maritime history 5. Transportation
 2. Architecture 4. Military 6. Community planning & development

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16438**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 5

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) USCG Family Quarters, Unit B Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) N. of the eastern terminus of Coast Guard Way
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591229 Northing 2981020
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1961 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Cabin) From (year): c1961 To (year): c2008
 Current Use Abandoned/Vacant From (year): c2008 To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: c. 1990s Nature Windows and door replaced
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan L-shaped Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Hip 2. _____ 3. _____
 Roof Material(s) 1. Composition shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Replacement aluminum one-over-one single-hung sash
 Distinguishing Architectural Features (exterior or interior ornaments) Wide overhanging roof eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	

DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Concrete block 2. Stucco
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) Located at N. elevation but inaccessible and obscured by vegetation

Porch Descriptions (types, locations, roof types, etc.) None observed

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource This MV style residence is L-shaped in form with a cross-hipped roof system that includes wide overhanging eaves. The main entrance is oriented at the north. Windows/doors have been replaced. It is representative of a generic military housing.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This building is of common design/style for its location, era of construction, and type. However, it is a contributing resource to the potential Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Maritime history 5. Transportation
 2. Architecture 4. Military 6. Community planning & development

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

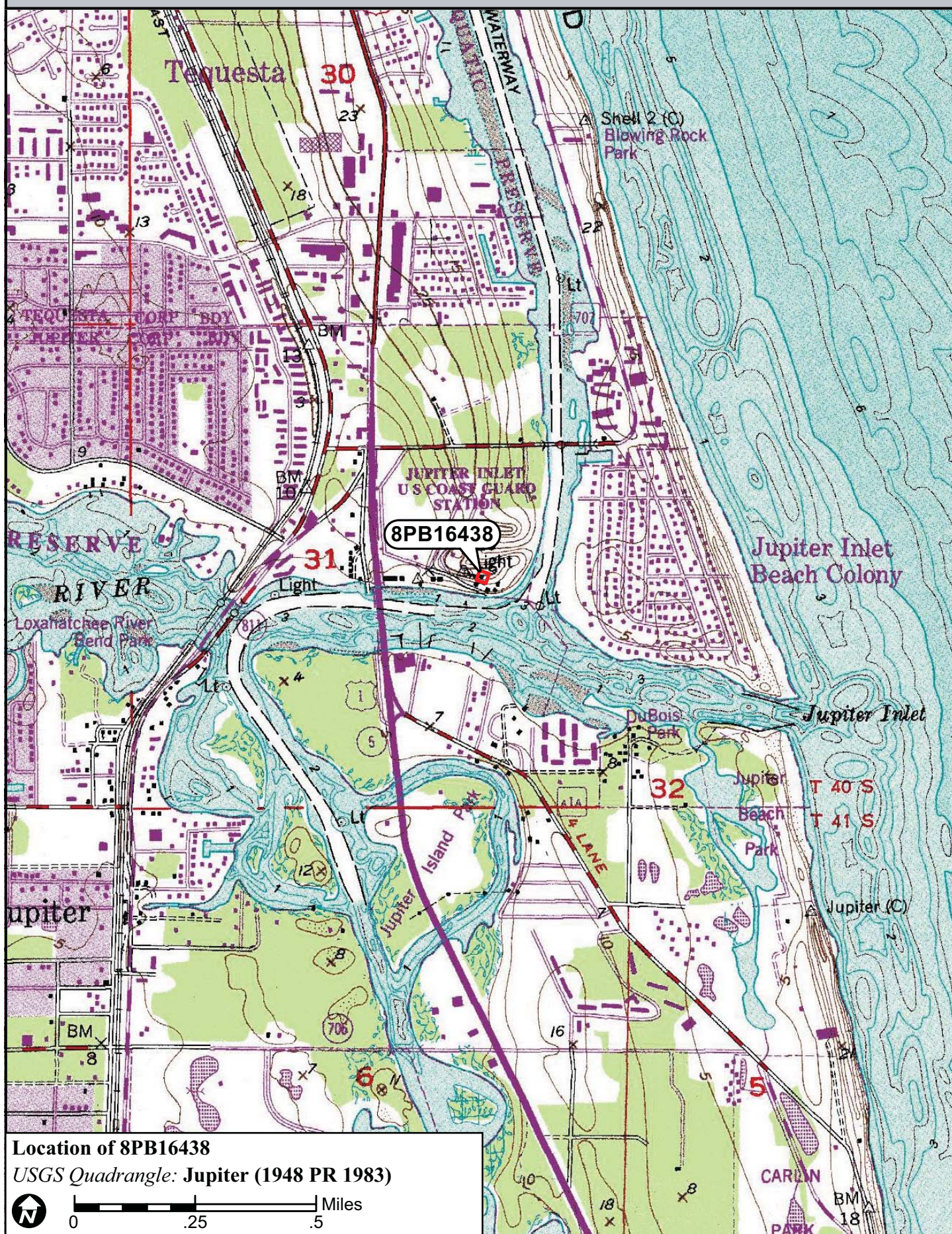
PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



Location of 8PB16438

USGS Quadrangle: Jupiter (1948 PR 1983)



0 .25 .5 Miles

☐ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16439**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 7

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Lighthouse Keeper's Workshop Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) N side Coast Guard Way; E. of Captain Armour's Way
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591159 Northing 2981042
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1929 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Outbuilding From (year): c1929 To (year): c2007
 Current Use Art gallery/Museum/Planetarium From (year): c2007 To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: c. 2007 Nature Restoration work likely
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Weatherboard 2. _____ 3. _____
 Roof Type(s) 1. Hip 2. _____ 3. _____
 Roof Material(s) 1. Slate shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Wood six-over-six double-hung sash
 Distinguishing Architectural Features (exterior or interior ornaments) Wide overhanging roof eaves; wood windows and door surrounds; cornerboards
 Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init.		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)				

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Piers 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____

Main Entrance (stylistic details) Three historic panel doors set at south facade: accessed by concrete stairs

Porch Descriptions (types, locations, roof types, etc.) None

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource See continuation sheet

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) See continuation sheet

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) See continuation sheet

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Maritime history 5. Transportation
 2. Architecture 4. Military 6. Community planning & development

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research

Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

SITE NAME: Jupiter

A. NARRATIVE DESCRIPTION OF SITE

The Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439) is Frame Vernacular in style and located at the north side of Coast Guard Way to the southeast of the Jupiter Inlet Lighthouse in Section 31 of Township 40 South, Range 43 East on the Jupiter (1948 Photorevised [PR] 1983) United States Geological Survey (USGS) quadrangle map. According to Jupiter Inlet Lighthouse and Museum information, the building was constructed in 1929 (Jupiter Inlet Lighthouse and Museum 2016). It is one-story and of wood frame construction resting on a concrete block pier system. The exterior of the building is clad in clapboard. It is capped with a hip roof covered in what appears to be drop-point slating. At the south façade are three historic wood panel doors accessed by concrete steps. Windows are wood six-over-six double-hung sash. Exterior ornamentation includes exposed rafter tails, wood window and door surrounds, and cornerboards. The building is in good condition and serves as a permanent exhibit of the Jupiter Inlet Lighthouse and Museum.

The Jupiter Inlet Lighthouse Keeper's Workshop was constructed to replace an earlier pump house/storage building that was damaged in the 1928 hurricane (Jupiter Inlet Lighthouse and Museum 2016). While it was originally divided into three rooms, it had been modified into a one-room structure that contains interpretive materials on the Lighthouse Station. The west room was historically the well room. Within the area of the former well room is an 1850s "bucket drawn" well, a 1920s jack pump foundation, and a cast iron "stand pipe" used to draw water (Jupiter Inlet Lighthouse and Museum 2016). Additionally, the building also once contained paint supplies for the lighthouse and a work bench for the lighthouse keepers (Jupiter Inlet Lighthouse and Museum 2016).

B. DISCUSSION OF SIGNIFICANCE

The Jupiter Inlet Lighthouse Keeper's Workshop is considered a contributing resource to the potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443). The Jupiter Lighthouse Reservation is associated with the early development of Jupiter and Palm Beach County from the point the Jupiter Inlet Lighthouse was first constructed in 1859 to the post-World War II period. In fact, the construction and lighting of the lighthouse served as the impetus for the pioneer settlement of the area that would become the Town of Jupiter (Lasseter-Drake and White 2003:7). The historical evolution of the area can be traced in this one single site, evident by the existence of remaining and intact historic structures, exhibiting a broad spectrum of construction dates. The alteration of the site over the years, such as through the demolition of buildings in the 1950s/1960s, is part of the evolution of the site to remain relevant, and the area retains its ability to convey its significance. The basic layout of the area has been maintained.

The Reservation is significantly linked to several branches of the U.S. military, having been a site of operations for the U.S. Air Force, USCG, and U.S. Navy. Events related to the Civil War, World War II, and the Cold War, are associated with the Jupiter Lighthouse

SITE NAME: Jupiter

Reservation. In terms of military significance, the World War II period is paramount, as the interception of intelligence through “Station J” effectively stopped the advancement of German U-boats off the east coast of Florida.

Furthermore, the combined services of the lighthouse facilities were essential to mariners (White 1992) and for well over 100 years, the lighthouse and its related facilities protected both naval commerce and transportation of the area. For the Jupiter Lighthouse Reservation’s demonstrated significance in the areas of Community Planning and Development, Maritime History, Military History, Commerce, and Transportation, it is considered eligible for listing in the National Register under Criterion A. The district is also considered National Register–eligible under Criterion C in the area of Architecture, for the distinguishable collection of structures the site possesses that are associated with the history of the Jupiter Lighthouse Reservation.

C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

Jupiter Inlet Lighthouse and Museum

2016 Our Exhibits. Accessed online at <http://www.jupiterlighthouse.org/explore/our-exhibits/> on November 7, 2016.

Lasseter-Drake, Lynn and William Carlin White

2003 *Images of America Jupiter*, Arcadia Publishing, Charleston, SC.

White, William Carlin

1992 *History of the Jupiter Wireless Telegraph Station*.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16440**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 8

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Station Radio Transmitter House Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) N side Coast Guard Way, E of Captain Armour's Way
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591177 Northing 2981044
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1941 ☐ approximately ☒ year listed or earlier ☐ year listed or later
 Original Use Outbuilding From (year): c1941 To (year): c2008
 Current Use Abandoned/Vacant From (year): c2008 To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: c. 1990s Nature Windows and door replaced
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Replacement aluminum one-over-one single-hung sash
 Distinguishing Architectural Features (exterior or interior ornaments) Wood brackets at shed roof extension entrance; low pitched side gable roof

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete block 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. _____
 Foundation Material(s): 1. Concrete Block 2. _____
 Main Entrance (stylistic details) South replacement metal door beneath shed roof extension

Porch Descriptions (types, locations, roof types, etc.) None

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource This MV style radio transmitter building is rectangular in form with a low pitched gable roof. It was constructed at some time prior to 1941 and utilized by the United States Coast Guard.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☐ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This building is of common design/style for its location, era of construction, and type and is not individually National Register eligible. However, it is a contributing resource to the Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Maritime history 5. Transportation
 2. Architecture 4. Military 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

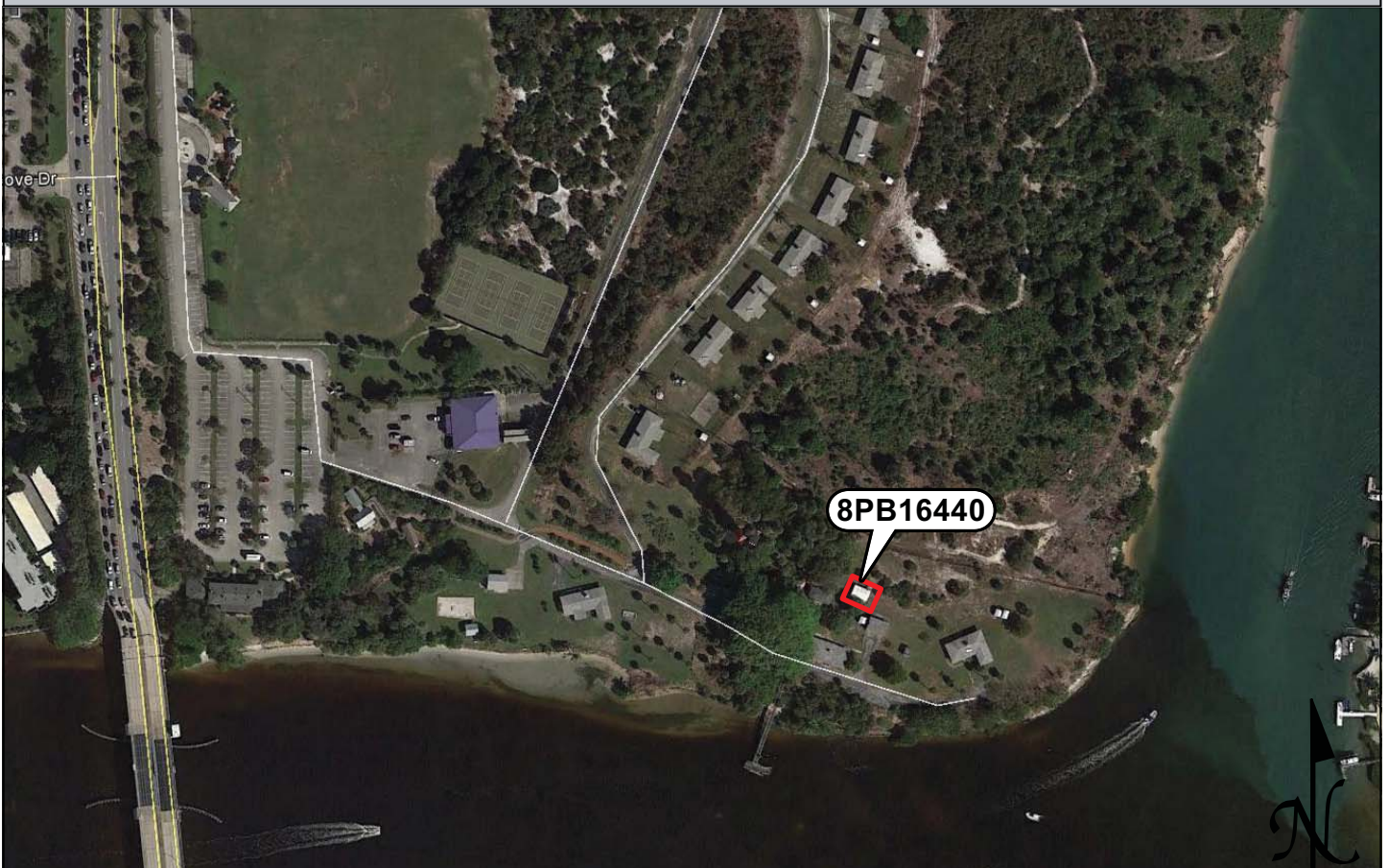
③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16441**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 10

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Inlet Light Station Garage Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) N side Coast Guard Way; E of Captain Armour's Way
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591186 Northing 2981030
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1941 ☐ approximately ☐ year listed or earlier ☒ year listed or later
 Original Use Garage From (year): c1941 To (year): c2008
 Current Use Abandoned/Vacant From (year): c2008 To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☐ no ☒ unknown Date: _____ Nature _____
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) United States Coast Guard

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Wood siding 2. _____ 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Composition shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) None

Distinguishing Architectural Features (exterior or interior ornaments) Vertical board; overhanging roof eaves

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	<input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)	Date _____	Init. _____	

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Wood frame 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) Set at south elevation but could not be observed during the survey

Porch Descriptions (types, locations, roof types, etc.) None

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource This FV style garage is rectangular in form with a side gabled roof. According to 1966 photographs, there are three garage bays at the south. The building is associated with the Jupiter Inlet Light Station and is United States Coast Guard owned.

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps
☒FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS) ☒historic photos ☐interior inspection ☐HABS/HAER record search
☒other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☒yes ☐no ☐insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This building is of common design/style for its location, era of construction, and type and is not individually National Register eligible. However, it is a contributing resource to the Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Military 5. Community planning & development
 2. Architecture 4. Transportation 6. Maritime history

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP





RESOURCE GROUP FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16443**
 Field Date 8-9-2016
 Form Date 11-2-2016
 Recorder# 9

☒ Original
☐ Update

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions (MPSs).** National Register MPSs are treated as Site File manuscripts and are associated to the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☒ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☐ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☐ **Linear resource** (NR category usually "structure"): Linear resources are a special type of rural historic landscape and can include canals, railways, roads, etc.

Resource Group Name Jupiter Lighthouse Reservation Multiple Listing [DHR only] _____
 Project Name CRAS Addendum Jupiter/US-1 Bridge FMSF Survey # _____
 National Register Category (please check one): ☐ building(s) ☐ structure ☒ district ☐ site ☐ object
 Linear Resource Type (if applicable): ☐ canal ☐ railway ☐ road ☐ other (describe): _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 City/Town (within 3 miles) Jupiter In Current City Limits? ☒ yes ☐ no ☐ unknown
 County or Counties (do not abbreviate) Palm Beach
 Name of Public Tract (e.g., park) _____
 1) Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 2) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 3) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 4) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 USGS 7.5' Map(s) 1) Name JUPITER USGS Date 1983
 2) Name _____ USGS Date _____
 Plat, Aerial, or Other Map (map's name, originating office with location) _____
 Landgrant _____
 Verbal Description of Boundaries (description does not replace required map) This mixed district is located north of a former access road south of Coconut Lane at the north between US 1 at the west, the west shore of the Intracoastal Waterway at the east, and the north shore of the Loxahatchee River at the south.

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date		Init.	
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

HISTORY & DESCRIPTION

Construction Year: 1859 ☐ approximately ☐ year listed or earlier ☒ year listed or later

Architect/Designer (last name first): _____ Builder (last name first): _____

Total number of individual resources included in this Resource Group: # of contributing 16 # of non-contributing 12

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

1. 1854-1962 3. _____

2. _____ 4. _____

Narrative Description (*National Register Bulletin 16A* pp. 33-34; fit a summary into 3 lines or attach supplementary sheets if needed) See continuation sheet

RESEARCH METHODS (check all that apply)

- | | | | |
|---|--|---|--|
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input checked="" type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey | <input checked="" type="checkbox"/> historic photos | <input checked="" type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (specify) <u>Aerial photographs</u> | | | |

Bibliographic References (give FMSF Manuscript # if relevant) See continuation sheet

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☒ yes ☐ no ☐ insufficient informationPotentially eligible as contributor to a National Register district? ☐ yes ☒ no ☐ insufficient informationExplanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.) See continuation sheet

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. Commerce 3. Maritime history 5. Transportation2. Architecture 4. Military 6. Community planning & development

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|-------------------------------------|--|
| 1) Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |
| 2) Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

- ❶ PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED
- ❷ LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED
- ❸ TABULATION OF ALL INCLUDED RESOURCES (name, FMSF #, contributing? Y/N, resource category, street address or township-range-section if no address)
- ❹ PHOTOS OF GENERAL STREETScape OR VIEWS (Optional: aerial photos, views of typical resources)
Photos may be archival B&W prints OR digital image files. If submitting digital image files, they must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

A. NARRATIVE DESCRIPTION OF SITE

The potential district is a mixed district that is comprised of both archaeological and historic sites. It is located at the confluence of the Loxahatchee River and the Indian River Lagoon (ICWW), in Section 31 of Township 40 South, Range 43 East, on the Jupiter (1948 Photorevised [PR] 1983) United States Geological Survey (USGS) quadrangle map, in the Town of Jupiter, Palm Beach County, Florida (Figures 1 and 2). Property ownership is divided between the Town of Jupiter and the U.S. Government. Three distinct areas comprise the potential district: United States Coast Guard (USCG) Family Housing for Long Range Aid to Navigation (LORAN)-C Station Jupiter, the Jupiter Inlet Lighthouse and Museum, and the Primary Jupiter Inlet Light Station. Only those cultural resources located within the district and the area of potential effect (APE) were considered during the study.

Although the area immediately north of State Road (SR) 707/Beach Road encompasses the former Jupiter Atlantic Missile Range Tracking Station, established on the Jupiter Lighthouse Reservation in the 1950s, evaluation of this area is beyond the scope of the current study, and therefore, this area was not included within the proposed district boundaries. This area may be incorporated into the potential Jupiter Lighthouse Reservation Mixed Resource District as part of a future survey.

Extending south of SR 707/Beach Road is Coast Guard Way. Approximately 400 feet from the juncture of SR 707/Beach Road and Coast Guard Way, the roadway splits and a paved unnamed access road meanders from this point to the south. At the east side of the access road are eight Masonry Vernacular style single-family residences. A ninth residence is located near the southern terminus of the access road. This housing complex was developed in the early 1960s for the families of U.S. Coast Guardsmen working at the LORAN-C Station in the census designated place (CDP) of Hobe Sound, Martin County. The previously recorded USCG dwelling near the southern terminus of the access road (8PB16182) is the only building located in the APE. The complex is recorded in the Florida Master Site File (FMSF) as resource group 8PB16191. The non-historic Coast Guard Exchange building, newly recorded Jupiter Lighthouse Cemetery (8PB16434), and several other non-historic buildings, both within and outside the APE, are included in this general area.

To the west of the LORAN-C Station housing are the facilities related to the Jupiter Inlet Lighthouse and Museum, owned by the Town of Jupiter. It should be noted that some museum exhibits in this area are located on USCG land, such as the previously recorded Tindall House (8PB6186), located in the APE. The museum operates out of the previously recorded World War II U.S. Navy Married Men's Housing Quarters (8PB15991), located at 500 Captain Armour's Way inside the APE. A large parking lot extends north of the naval quarters all the way to SR 707/Beach Road, most of which is in the APE. Adjacent to the parking lot is a non-historic park with restroom facilities; playground equipment; a pavilion; and a display of two cannons from a shipwreck along the Jupiter Coast, a ship

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anchor, and bronze plaque. A modern tennis court is also located near the park. A small portion of the park is contained in the APE.

To the east of the LORAN-C Station housing is the Primary Jupiter Inlet Light Station. This area contains the *National Register of Historic Places* (National Register)–listed Jupiter Inlet Lighthouse (8PB65), located in the APE, and several of the historic resources which were newly recorded as part of this study: Jupiter Inlet Lighthouse Oil House (8PB16435), Jupiter Inlet Light Station Wharf (8PB16436), USCG Family Quarters, Unit A (8PB16437), USCG Family Quarters, Unit B (8PB16438), Jupiter Inlet Lighthouse Keeper’s Workshop (8PB16439), Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Jupiter Inlet Light Station Garage (8PB16441), Jupiter Inlet Light Station Auxiliary Pump House (8PB16444), and the Jupiter Inlet Lighthouse Staircase (8PB16445). The archaeological site Head/Assistant Light-Keeper’s House (8PB16068) is also contained in this area, and consists of the foundation of the original Head Light-Keeper’s home and cistern. A non-historic wood deck which interprets the original location of the lighthouse keeper’s home and Florida Banyan tree, planted in 1935 in tribute to the lighthouse keepers that served the station (Jupiter Inlet Lighthouse and Museum 2016), are also features of this area.



Figure 1: An Overview Photograph of the Potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443) within the Current APE, photograph from the top of the Jupiter Inlet Lighthouse, facing Southwest

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Figure 2: An Overview Photograph of the Potential Jupiter Lighthouse Reservation Mixed Resource District (8PB16443) within the Current APE, photograph from the top of the Jupiter Inlet Lighthouse, facing Southeast

Table 1 is a listing of all 15 resources in the APE that contribute to the potential Jupiter Lighthouse Reservation Mixed Resource District and Figure 3 illustrates the locations of contributing resources on a modern aerial. Table 2 is a listing of the resources within the APE which are non-contributing to the potential Jupiter Lighthouse Reservation Mixed Resource District. While the majority of the non-contributing elements are non-historic, the 1892 Tindall House (8PB6186) is considered non-contributing because it was relocated in recent years to its present site and has little to do with the historical development of the Jupiter Lighthouse Reservation.

Following Figure 3 are brief narrative descriptions of the 15 contributing resources (Figures 4-24). A historical context for the Jupiter Lighthouse Reservation follows the narrative descriptions (Figures 25-26), and this is further followed by an evaluation of the potential district's significance.

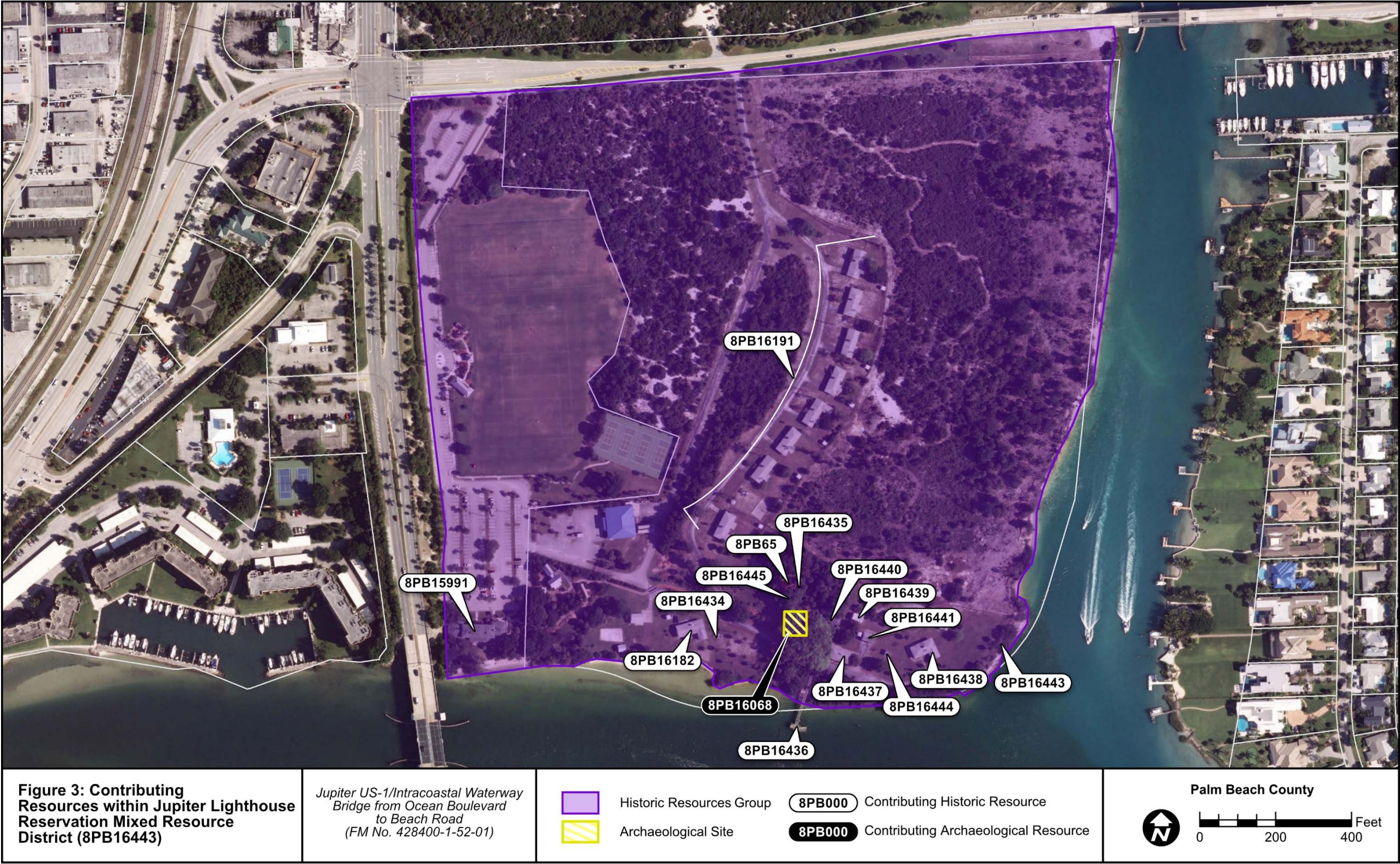
SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

TABLE 1: CONTRIBUTING RESOURCES TO THE JUPITER LIGHTHOUSE RESERVATION MIXED RESOURCE DISTRICT (8PB16443)		
FMSF#	Contributing Resource	Construction date
8PB65	Jupiter Inlet Lighthouse	1859
8PB15991	World War II U.S. Navy Married Men's Housing Quarters/500 Captain Armour's Way	c. 1942
8PB16068	Head/Assistant Light-Keeper's House Foundation	c. 1860
8PB16182	LORAN-C Station Jupiter Family Housing, Unit A	c. 1961
8PB16191	USCG Family Housing for LORAN-C Station Jupiter Resource Group	c. 1961
8PB16434	Jupiter Lighthouse Cemetery	c. 1905
8PB16435	Jupiter Inlet Lighthouse Oil House	1859
8PB16436	Jupiter Inlet Light Station Wharf	c. 1931
8PB16437	USCG Family Quarters, Unit A	c. 1961
8PB16438	USCG Family Quarters, Unit B	c. 1961
8PB16439	Jupiter Inlet Lighthouse Keeper's Workshop	c. 1929
8PB16440	Jupiter Inlet Light Station Radio Beacon Building	c. 1928
8PB16441	Jupiter Inlet Light Station Garage	c. 1929
8PB16444	Jupiter Inlet Light Station Auxiliary Pump House	Between 1929 and 1941
8PB16445	Jupiter Inlet Lighthouse Staircase	Before 1915

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TABLE 2: NON-CONTRIBUTING RESOURCES TO THE JUPITER LIGHTHOUSE RESERVATION MIXED RESOURCE DISTRICT (8PB16443)	
Non-contributing Resource	Construction Date
Tindall House (8PB6186)	1892
Tindall House Replicated Fern Shed	c. 2010
Tindall House Replicated Hen House	c. 2010
Replicated Seminole Indian Chickee	c. 2010
USCG Gabled Pavillion	Between 1968 and 1995
USCG Gabled Garage	Between 1968 and 1995
USCG Gabled Shed Adjacent to 8PB16441	c. 2000
USCG Gabled Shed 1 Northeast of 8PB16438	c. 2001
USCG Gabled Shed 2 Northeast of 8PB16438	c. 2007
Lighthouse Deck	2000s
Park and Associated Facilities	c. 1995
Parking Lot	c. 1995

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Narratives for Contributing Resources to the Potential Jupiter Lighthouse Mixed Resource District (8PB16443)



Figure 4: National Register-listed Jupiter Inlet Lighthouse (8PB65), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing North

Contained within the boundaries of the original Jupiter Lighthouse Reservation, the Jupiter Inlet Lighthouse is presently located on land belonging to the USCG (Figure 4). The lighthouse is approximately 380 feet from the northeast juncture of Jupiter Lighthouse Park and Coast Guard Way. The conical structure stands at an approximate total height 108 feet. Structural brick walls taper in thickness ranging from 31 ½ inches at the tower base to 18 inches at the base of the lamp housing. Exterior brick of the lighthouse tower is painted a bright red color. The entrance is located at the south side of the tower, and features an iron door set within a circular arch with a voussoir of brick. Windows of the tower are six-over-six sash in configuration. Cast iron stairs ascend the tower to the watch room, accessed through a hatch door. The watch room floor is wood over cast iron plates and walls are covered in wainscoting. Three portholes punctuate the watch room walls. Wooden stairs extend from the watch room to the lens room above. The original Fresnel Lens itself is supported by a cast iron base with bronze gears that rotate the lens. The lens room consists of a metal dome with metal framework holding triangular shaped glazing. An exterior gallery extends around the perimeter of the watch room and incorporates a cast iron floor and iron railing. The exterior gallery is supported by brackets (Fryman 1973; Kevin Smith Architecture, Inc. and Bender & Associates, P.A. Associated Architects 2002).

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On October 15, 1973, the lighthouse was nominated to the National Register for its demonstrated significance in naval commerce and transportation.



Figure 5: The Determined National Register–eligible World War II Married Quarters/500 Captain Armour’s Way (8PB15991), Determined Individually National Register–eligible and Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Northeast

The circa-1942 World War II U.S. Navy Married Men’s Housing Quarters is located east of the Jupiter Bridge and south of Captain Armour’s Way (Figure 5). The two-story building is Frame Vernacular in style featuring three hip roof portions and a south second-floor shed roof extension screened-in porch. It rests on a concrete pier system. The roof is covered in composition shingles and features wide overhanging eaves. Two exterior brick chimneys are at the east and west of the central hip roof portion. The building is clad in clapboard and at the south is a full-width porch which incorporates wood supports and simple wood railing. Americans with Disabilities (ADA) accessible ramps have been added at the north and east elevations. Windows appear to be replacement and feature two-over-two double-hung sash configurations. Wood surrounds encase window openings. The south façade main entrance is located in the south porch and includes a panel door with three-light sidelights. Concrete steps with wood rail access the main entrance. There are several north entry ways at the rear elevation of the building. Due to the significant association of the building with World War II, and its existence as an example of an intact Frame Vernacular style military building, it was determined National Register–eligible by

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the State Historic Preservation Officer (SHPO) as part of the original 2013 CRAS (FMSF manuscript no. 20293; Janus Research 2013a).



Figure 6: LORAN-C Station Jupiter Family Housing, Unit A (8PB16182), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing South

Previously recorded LORAN-C Station Jupiter Family Housing, Unit A (8PB16182) was constructed circa-1961 and is located to the southeast of the juncture of Coast Guard Way and Jupiter Lighthouse Park (Figure 6). The building is one-story in height and irregular in form with a main side gable roof. A cross-gable and shed roof screened porch portion extend to the south. The roof system is covered in composition shingles. The concrete block building rests on a continuous concrete block foundation and is clad in a stucco treatment. A concrete block chimney is set in the interior of the building to the north of the ridge line. Windows are replacement aluminum one-over-one single-hung sash. A replacement single-acting panel door, oriented at the north, is recessed within the main façade wall. Stucco scored to resemble brick veneer serves as a door surround. To the west of the main entrance is a concrete block integral planter, which is clad in stucco that has been scored to resemble brick veneer. A one-bay carport is located at the west end of the building, and features a stuccoed masonry support and concrete cut-out wall. The building remains in good condition. This residence is part of a nine-unit housing complex developed for USCG families associated with the LORAN-C Station in Hobe Sound, Martin County, recorded in the FMSF as 8PB16191 (Figure 19). The remaining eight units of the complex are not located in the APE. Aerials from 1964 show that the complex was completed by the time period. These units were part of a massive renovation of USCG facilities at the Jupiter

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Light House. Units contain between three and four bedrooms, where the four bedroom units are differentiated by the presence of a cross-gable. Non-historic storage sheds appeared on most properties in the complex between 1999 and 2002. A basketball court and playground equipment was added outside of the APE during the early 2000s.

Because the nine residential buildings of the resource group stand as generic examples of military residential architecture, each resource, as well as the resource group, were determined National Register–ineligible by the SHPO in 2015 (Davenport 2015a; Davenport 2015b). However, because these resources are significant within the context of the Jupiter Lighthouse Reservation, they are considered contributing resources to the potential district.



Figure 7: The USCG Family Housing for LORAN-C Station Jupiter Resource Group (8PB16191), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), located outside of the APE, photograph from the top of the Jupiter Inlet Lighthouse, facing North

The Jupiter Lighthouse Cemetery (8PB16434/Figure 8) is located south of Coast Guard Way, immediately east-adjacent to previously recorded Unit A of the LORAN-C housing complex (8PB16182). The cemetery is small with an approximate length of 20 feet and approximate width of seven feet. The plot appears to be outlined in stone, and is also enclosed with a non-historic wood picket fence. Contained within the cemetery are three known burials oriented to the east; however, according to Josh Liller, Historian and Collections Manager for the Jupiter Inlet Lighthouse and Museum, there are possibly other unmarked graves (Liller 2016). Two of the graves belong to the still born infants of Captain

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Joseph A. Wells and his wife Katherine Dickerson Armour Wells. Captain Wells served as the first assistant lighthouse keeper from 1894 to 1906 under his father-in-law, head lighthouse keeper James Armour (Lasseter-Drake and White 2003:24). Upon Armour's retirement in 1906, Wells was promoted to head lighthouse keeper, a position he held until he retired in 1919 (Lasseter-Drake and White 2003:24). The dates of the graves are between 1905 and 1906 (Liller 2016). A single stone marker inscribed with the words "Our Babies," flanked by two crosses, is present. Stone curbing signifies the location of the Wells burials.



Figure 8: The Jupiter Lighthouse Cemetery (8PB16434), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), photograph from the top of the Jupiter Inlet Lighthouse, facing Southwest

The third burial is located immediately east of the Wells children and is marked by a marble tombstone inscribed with the words "Richard, Son of J&M Eriksson, Apr. 1904. Sept. 28 1906." Above this inscription is a dove and two olive branches. The dove is the most frequently observed animal symbol in cemeteries and most often an olive branch accompanied this symbol (Keister 2008:162). According to the Christian faith, the dove is a symbol of purity and peace because God had made peace with man (Keister 2008:162). A marble footstone inscribed with the child's initials is present. Richard Eriksson was the son of John Erwin Eriksson and Magnolia "Maggie" G. Eriksson. John Eriksson served as an assistant lighthouse keeper (Lasseter-Drake and White 2003:24). The cemetery can be observed on historic aerial photographs from 1964, appearing as it does currently.

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Figure 9: The Jupiter Inlet Lighthouse Oil House (8PB16435), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing East

The Jupiter Inlet Lighthouse Oil House (8PB16435) is located immediately east of the Jupiter Inlet Lighthouse and was completed under General Edward Yorke in 1859 (Figure 9). The one-story building is rectangular in form and constructed of brick clad in plaster. It is 11 feet wide by 20 feet long. The gabled roof is structured with steel trusses and purlins (Kenneth Smith Architects, Inc. and Bender & Associates, P.A. Associates Architects 2002) and covered with what appears to be corrugated sheet metal. A shaped parapet is located at both the north and south elevations. Incorporated into each parapet are three posts and coping. A single-acting metal door is slightly recessed into the south façade of the building. There are no window openings. According to an 1862 drawing of the Jupiter Inlet Lighthouse and oil house, the current structure was designed to include windows (Figure 10). These may have been enclosed during extensive renovations to the building, or else were never included in the final design and construction. A bronze dedication plaque is affixed to the west of the south entrance. The oil house remains in good condition and currently serves as a staging area for lighthouse tours.

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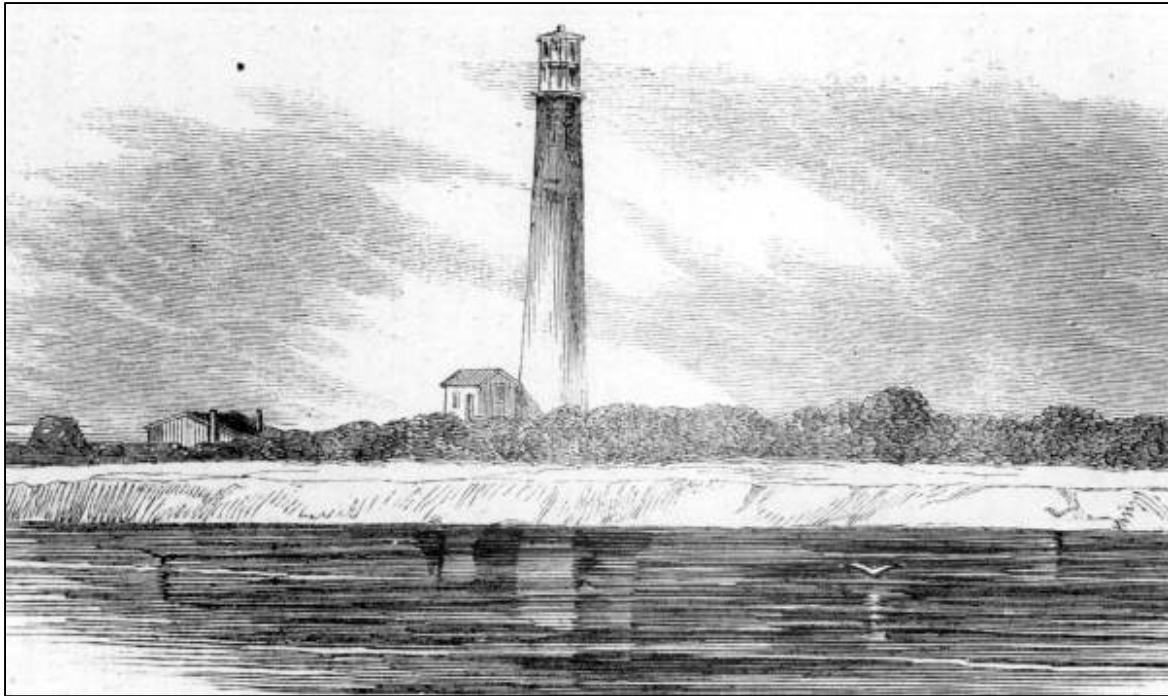


Figure 10: A 1862 Drawing of the Jupiter Inlet Lighthouse and Oil House (*courtesy of Florida Memory*)

This resource is an ancillary feature of the National Register-listed Jupiter Inlet Lighthouse (8PB65); however, the building was not recorded as part of the 1973 National Register nomination for the lighthouse. Once a year, the U.S. Buoy tender would anchor off the inlet to deliver a year's supply of oil, paint, and other necessities of the lighthouse (DuBois 1960:9). Wooden boxes delivered by the U.S. Buoy tender were placed at the foot of the staircase to the lighthouse and oil house, cracked open, and the five-gallon metal cans of oil or paint contained in the boxes were hooked into a yoke that was carried by a man up the stairs to the lighthouse keeper (DuBois 1960:9). Waiting at the door of the oil house, the lighthouse keeper would wipe the cans with a linseed saturated cloth to remove any trace of salt water prior to placing the cans on the shelves of the oil house (DuBois 1960:9). Lard oil was originally used to power the lighthouse. An early 1888 photograph depicting the original light keeper's house (Figure 11) shows the original brick exterior of the oil house. According to Bessie Wilson DuBois, the oil house had been "put in good as new condition" in 1883 (DuBois 1960:11). In 1905, the oil house was remodeled, the same year the fuel for the lighthouse was switched to kerosene (Liller 2016). During the renovation, shaped parapets were added at the north and south elevation, the brick was covered in plastering, and holes were drilled in the floor in case of a kerosene leak (Liller 2016). Figure 12 is a photograph taken prior to 1929 of the lighthouse and oil house, where the oil house shows its 1905 remodeled appearance. In 1928, the Jupiter Inlet Lighthouse was converted to electricity and no longer required oil. After this point, the oil house was used for storage.

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Figure 11: A Photograph Taken Prior to 1883 of the Original c. 1859 Constructed Lighthouse Keeper's House and Jupiter Inlet Lighthouse Which Depicts the Jupiter Inlet Lighthouse Oil House Prior to the 1905 Remodel (*courtesy of Florida Memory*)

In the early 1970s, the oil house was cleaned out, repainted, and air conditioning and display cases were installed (Liller 2016). In 1973, the oil house opened as the "Oil House Museum," headed up by the Loxahatchee River Historical Society (Loxahatchee River Historical Society 2011). This organization was founded in 1972 with the mission of preserving Town of Jupiter history. In conjunction with the museum, sporadic public tours were given by the historical society of the lighthouse with permission of the USCG (Loxahatchee River Historical Society 2011). Restoration of the oil house commenced in 1999 to restore the building back to its appearance in 1915 (Liller 2016).

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Figure 12: A Photograph of the Jupiter Inlet Lighthouse Oil House after the 1905 Remodel, photograph prior to 1929 (*courtesy of Florida Memory*)

The Jupiter Inlet Light Station Wharf (8PB16436) is located to the south of Coast Guard Way at the north bank of the Loxahatchee River (Figure 13). This structure was constructed in 1931 to replace a former wharf which was destroyed by the hurricane of 1928. The wharf ramp is wooden and approximately 170 feet in total length. At the end of the ramp is the wooden head of the wharf (Figure 14). A metal ladder is positioned at the south end of the wharf head. Simple wood hand rails are observed both on the ramp and at the wharf head. The substructure consists of concrete pilings. According to original plans for the wharf, wood cross-ties would have connected the pilings (Weed et al. 1981:47). The wharf remains in fair condition and does not currently appear to be utilized for docking boats.

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Figure 13: The Jupiter Inlet Light Station Wharf (8PB16436), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing East

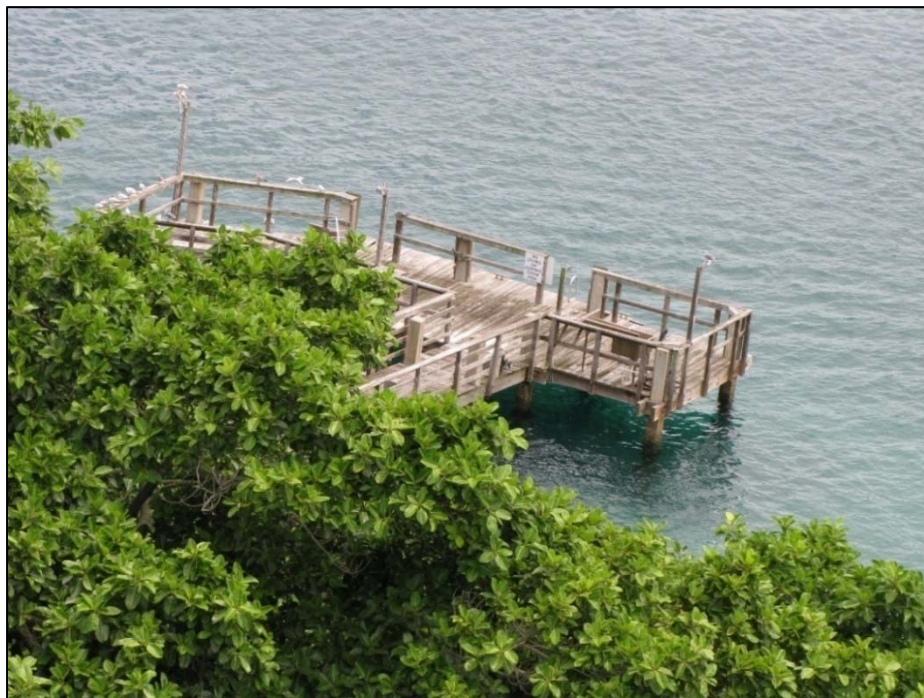


Figure 14: The Wharf Head of the Jupiter Inlet Light Station Wharf, photograph from the top of the Jupiter Inlet Lighthouse, facing Southeast

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The circa-1961 USCG Family Quarters, Unit A (8PB16437) is Masonry Vernacular in style and located at the north side of Coast Guard Way near the north bank of the Loxahatchee River (Figure 15). It should be noted that this unit, in addition to USCG Family Housing Quarters, Unit B (8PB16438), were developed for the primary lighthouse station, and are not related to the previously discussed LORAN-C Station housing. USCG Family Quarters, Unit A is one-story and rectangular in form with a hip roof system covered in composition shingles. The concrete block building rests on a concrete slab foundation. Exterior walls are clad in a stucco treatment. A concrete block stucco clad interior chimney is set north of the roof ridge line. The main entrance is slightly recessed at the north façade and includes a replacement single-acting panel door. The deep overhang of the roof creates a sheltered entrance porch. Windows of the structure are replacement aluminum one-over-one single-hung sash. There is no observed architectural embellishment. It remains in good condition.



Figure 15: The USCG Family Quarters, Unit A (8PB16437), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Southeast

The circa-1961 USCG Family Quarters, Unit B (8PB16438) is Masonry Vernacular in style and located just north of the eastern terminus of Coast Guard Way (Figure 16). This building is one-story and L-shaped in form with a hip roof system covered in composition shingles. The concrete block building rests on a concrete slab foundation. Exterior walls are clad in a stucco treatment. A concrete block stucco clad interior chimney is set north of the roof ridge line. The main entrance is set at the north façade beneath the roof overhang, but features of the entrance could not be observed due to lack of accessibility. Window

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configurations are obscured by the presence of hurricane shutters. There is no observed architectural embellishment and the building remains in good condition.



Figure 16: The USCG Family Quarters, Unit B (8PB16438), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), photograph from the top of the Jupiter Inlet Lighthouse, facing Southeast

The Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439) is Frame Vernacular in style and located at the north side of Coast Guard Way to the southeast of the Jupiter Inlet Lighthouse (Figure 17). According to Jupiter Inlet Lighthouse and Museum information, the building was constructed in 1929 (Jupiter Inlet Lighthouse and Museum 2016). It is one-story and of wood frame construction resting on a concrete block pier system. The exterior of the building is clad in clapboard. It is capped with a hip roof covered in what appears to be drop-point slating. At the south façade are three historic wood panel doors accessed by concrete steps. Windows are wood six-over-six double-hung sash. Exterior ornamentation includes exposed rafter tails, wood window and door surrounds, and cornerboards. The building is in good condition and serves as a permanent exhibit of the Jupiter Inlet Lighthouse and Museum.

The Jupiter Inlet Lighthouse Keeper's Workshop was constructed to replace an earlier pump house/storage building that was damaged in the 1928 hurricane (Jupiter Inlet Lighthouse and Museum 2016). While it was originally divided into three rooms, it had been modified into a one-room structure that contains interpretive materials on the Lighthouse Station. The west room was historically the well room. Within the area of the

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former well room is an 1850s “bucket drawn” well, a 1920s jack pump foundation, and a cast iron “stand pipe” used to draw water (Jupiter Inlet Lighthouse and Museum 2016). Additionally, the building also once contained paint supplies for the lighthouse and a work bench for the lighthouse keepers (Jupiter Inlet Lighthouse and Museum 2016).



Figure 17: The Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Northeast

The Masonry Vernacular style Jupiter Inlet Light Station Radio Beacon Building (8PB16440) is located to the north of Coast Guard Way to the northeast of the workshop building (Figure 18). It was constructed in 1928 when the lighthouse was electrified (Liller 2016) and is visible in a January 16, 1941 photograph of the Jupiter Inlet Light Station (Figure 19). The building was used for sending Morse Code and held clocks and transmitters (Liller 2016). It is one-story and rectangular in form with a low-pitched side gable roof covered in what appears to be built-up material. The concrete constructed building rests on a continuous concrete block foundation. Exterior walls are clad in a stucco treatment. A simple single-acting metal entrance door is set within the south wall beneath a shed roof extension supported by brackets. Windows are replacement aluminum one-over-one sash. The building is unadorned and in good condition.

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Figure 18: The Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Southeast

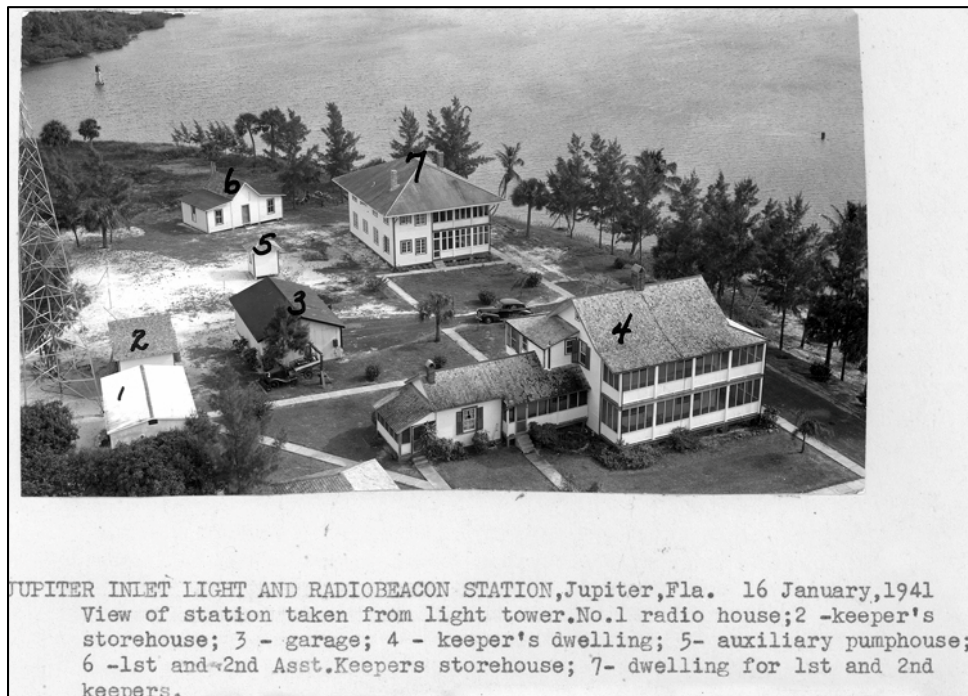


Figure 19: A 1941 Photograph of the Jupiter Inlet Light Station (*courtesy of lighthousefriends.com*)

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The Frame Vernacular style Jupiter Inlet Light Station Garage (8PB16441) is located to the north of Coast Guard Way and to the southeast of the Jupiter Inlet Light Station Radio Beacon Building (Figure 20). It was built circa-1929 for lighthouse keepers after the boat house was destroyed by the 1928 hurricane, and they preferred the construction of a garage over a new boat house (Liller 2016). The garage appears in the January 16, 1941 photograph of the Jupiter Inlet Light Station (Figure 19). During the current survey, the garage was mostly inaccessible and obscured by vegetation, as well as by a west-adjacent non-historic storage building. The garage is one-story and constructed of wood frame resting on a concrete slab foundation. Exterior walls are clad in vertical wood siding. The roof is side gabled and clad in composition shingles. It is a three-bay garage which historically featured side-opening double-doors (Liller 2016). The side-opening doors are visible in an aerial photograph from 1966 (Figure 21). Modern garage doors have replaced these in recent years (Liller 2016). The structure appears to be in good condition.



Figure 20: The Jupiter Inlet Light Station Garage (8PB16441), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing Southeast

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Figure 21: A 1966 Aerial Photograph of the Jupiter Inlet Light Station (*courtesy of lighthousefriends.com*)

The Masonry Vernacular style Jupiter Inlet Light Station Auxiliary Pump House (8PB16444) is located to the north of Coast Guard Way and to the southeast of the Jupiter Inlet Light Station Garage (Figure 22). It appears in the January 16, 1941 photograph of the Jupiter Inlet Light Station (see Figure 19) and was constructed between 1929 and 1960 to supply water to lighthouse keeper housing (Liller 2016). During the survey, the pump house was mostly inaccessible and could only be viewed from the perspective of the top of the Jupiter Inlet Lighthouse. This building is one-story and constructed of concrete resting on a concrete slab foundation. Exterior walls are clad in stucco. The roof system is flat and comprised of built-up materials. The entrance into the pump house could not be observed but appears to be located at the south elevation of the building. There is no exterior ornamentation and the building appears to be in good condition.

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Figure 22: The Jupiter Inlet Light Station Auxiliary Pump House (8PB16444), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), photograph from top of the Jupiter Inlet Lighthouse, facing Southeast

This historic straight-run Jupiter Light Station Staircase (8PB16445) is set in a hillside located to the immediate south of the Jupiter Inlet Lighthouse and Jupiter Inlet Lighthouse Oil House (Figure 23). Steps are concrete and three landings are included. The hand railings of the stairs are zig-zagged and plastered over. These steps appear to be the second to access the lighthouse and oil house. A historic photograph taken prior to 1883 shows the original set of wooden stairs (see Figure 11). A photograph taken prior to 1929 shows the current staircase included wood railings (see Figure 12). The wood handrails were removed and concrete walls of the staircase were raised two feet and plastered over in 1929 (Kenneth Smith Architects, Inc. and Bender & Associates, P.A. Associates Architects 2002; Liller 2016). A benchmark at the top of the stairs bears the year 1929 (Liller 2016). This resource remains in good condition and is utilized for tours of the Jupiter Inlet Lighthouse.

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Figure 23: The Jupiter Inlet Light Station Staircase (8PB16445), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing North

The Head/Assistant Light-Keeper's House Foundation (8PB16068) is located south of the Jupiter Inlet Lighthouse and consists mainly of the foundation and cistern associated with the first Jupiter Light-Keeper's house (Figure 24). The site was identified by the Archeological and Historical Conservancy (AHC) in 2010 (Carr et al. 2014). The structure was built in circa-1860 and burned down in 1926. The structure was initially occupied by the Head Light-Keeper but was occupied by the Assistant after the construction of a new house for the Head Keeper in circa-1883. Archaeological remains identified during the excavation of consisted of a brick foundation, piers, and cistern and brick rubble from the demolition of the house. Artifacts recovered from the excavations included brick, tabby, iron and copper nails, wooden planks, copper mesh screen, a mortise lock, a ceramic door knob, musket balls, .22 and .38 caliber cartridges, shotgun shells, possible engineer's ruler fragment, U.S. Lighthouse Engineers service button, clay pipe fragments, iron tools, domestic ceramics, glass fragments, utensils, personal items, coins, and toys including marbles and doll fragments. Although the site is described in the 2014 AHC report as National Register-eligible, as of December 2016, the FMSF form for the site has not been submitted to the FDHR.

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District



Figure 24: The Head/Assistant Light-Keeper's House Foundation (8PB16068), Considered a Contributing Resource to the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443), facing South

Historical Development of the Jupiter Lighthouse Reservation Mixed Resource District (8PB16443)

The development of the Jupiter Lighthouse Reservation is entwined with the February 21, 1855 reestablishment of Fort Jupiter. The original Fort Jupiter was established at present-day Pennock Point during the Second Seminole War (1835-1842) and "New Fort Jupiter" was located to the southeast of this on the southern shore of the Loxahatchee Estuary, east of the confluence of the South Fork of the Loxahatchee and just to the south of the tip of present-day Pennock Point, in the current Jupiter Plantation development. "New Fort Jupiter" was utilized from February to November of 1855, until it was abandoned due to the constant illness suffered by almost all those stationed there (Janus Research 2013a). The Jupiter Military Reservation was established on 9,000 plus total acres of land (Janus Research 2013a). Within the Jupiter Military Reservation, land was expressly set aside for the construction of a lighthouse by executive order of President Franklin Pierce on October 22, 1854 (Hughes 1992). Construction of a lighthouse here was necessary due to the large number of shipwrecks caused by the strong northbound current that brought ships in towards the inlet (Lasseter-Drake and White 2003:7). The property reserved for the lighthouse supposedly encompassed 61 ½ acres; however, a 1922 resurvey of the property indicated that the total acreage appropriated was 113.22 acres (Weed et al 1981:48). A June 12, 1925 executive order increased the property size to 121.95 acres (DuBois 1960:14).

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

Army Lieutenant George Gordon Meade, a topographical engineer, was charged the task of designing the Jupiter Inlet Lighthouse and the supervision of its construction (Kenneth Smith Architects, Inc. and Bender & Associates, P.A. Associate Architects 2002). This lighthouse was to be of the First Order, meaning that it would be one of the tallest and most powerful lighthouses in the country, and included a costly lens designed by Augustin Jean Fresnel ground in the glassworks of France (DuBois 1960:7). In September of 1856, a work party was organized to work on the lighthouse, but the unsettled state of Native American affairs in southern Florida prevented initiation of the project (Pepe 2000:22). After the Seminole Wars, a new work party was organized for the construction of the lighthouse, and they were ordered to Jupiter at the very end of 1858. The lighthouse and adjacent oil house were eventually completed under Captain Edward York in 1859, following a series of numerous additional delays, and the lighthouse was lit for the first time on July 10, 1860 (Bender & Associates 1996). Thomas Twiner served as the first lighthouse keeper (Hughes 1992). During this time period, the first lighthouse keeper's residence was constructed south of the base of the lighthouse (see Figure 11).

In 1861, during the Civil War, the lighting apparatus of the lighthouse was removed by Confederate sympathizers, so as not to aid U.S. Naval patrols off the eastern coast of Florida (Fryman 1973). This act is related to the fact that much activity in Florida during the War centered on the question of naval control of access by water to Florida (Fryman 1973). The lighthouse remained darkened for the duration of the War. At the conclusion of the Civil War, the illuminating apparatus was found with the help of Captain James A. Armour, head lighthouse keeper at the time, and on June 28, 1866, the lighthouse was relit (DuBois 1960:8-9). General repairs were consistently made to the lighthouse in the following years, while the station around it steadily developed. A telegraph station was established at the lighthouse in 1870. The new Jupiter Wireless Telegraph Station was only the second such facility in the United States. In 1879, a weather observation post was established at the lighthouse. It was determined in the early 1880s that the 1860 constructed lighthouse keeper's house was far too small for the head keeper, two assistant keepers, and their families to live in, so in 1883, work began on a new two-story dwelling for lighthouse personnel (Lasseter-Drake and White 2003:9). The original dwelling was also repaired at this time. Over the course of the years, both keeper's dwellings were substantially modified, incorporating two-tiered wraparound porches and multiple additions. In 1889, the weather observation post was upgraded to a Weather Bureau Station (Loxahatchee River Historical Society n.d.).

In 1890, the lighthouse was transferred from the Seventh Lighthouse District to the Sixth Lighthouse District. It would remain as part of the Sixth District until 1920, when control of it was transferred back to the Seventh District (Weed et al 1981:40). The U.S. Navy established a wireless telegraph (radio) station at the site of the lighthouse in 1905. This was the second of its type in existence, with the first located in Arlington Virginia (Jupiter History Web Committee 2012). This station encompassed 5.4 acres of the lighthouse facility and was chosen for its 1000-mile distance from the station at Arlington, a distance which was realistic and useful for experimentation with the new technology (Weed et al

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

1981:45; Jupiter History Committee 2012). Wooden towers were first used by the Navy, but these were replaced with a 125-foot galvanized metal tower. During the World War I period, ships passing the Navy wireless station were required to maintain radio silence, but would stop to tell a signalman at the open platform of the weather bureau house the ship's name and destination (DuBois 1960:14).

The 1920s ushered in many changes at the Jupiter station. In 1927, the original light keeper's house of 1860 burned down, necessitating the construction of temporary housing facilities for the assistant keepers (Weed et al 1981:45). The following year, in 1928, the lighthouse was converted to electricity, although a diesel motor was installed as a back-up power source. The great 1928 hurricane ripped through southeast Florida soon after the lighthouse was electrified, downing the power. The diesel motor failed to start-up and keeper Captain Charles Seabrook was forced to reinstall the old mineral oil lamps (DuBois 1960:15). The lighthouse swayed an estimated 17 inches during the hurricane as Captain Seabrook tirelessly operated the light by hand (DuBois 1960:15). Over the course of the next two nights, the Seabrook family and lighthouse personnel took turns manually operating the light (DuBois 1960:15). The structure itself suffered minimal damage from the hurricane. Also in 1928, the U.S. Navy requested transfer of properties within the lighthouse station to their jurisdiction (Weed et al 1981:48). The transfer was complete in 1929, giving the Navy jurisdiction over 8.37 acres of land in the reservation, centered around the area of the National Register-eligible World War II U.S. Navy Married Men's Housing Quarters (8PB15991) (Janus Research 2013a).

The Great Depression affected the Jupiter area much as it did the rest of the country. To ameliorate the tough economic times, Franklin D. Roosevelt initiated several national relief programs, such as the Works Progress Administration (WPA). Although not a WPA project, a banyan tree was planted at the site of the first keeper's house in honor of the keepers who had served at the station. WPA Project 50-4-1-212 involved construction of a new roadway within the Jupiter Lighthouse Reservation, one that was shorter and less expensive to maintain than the original roadway that would also connect to US-1 (Weed et al 1981:Appendix 1). The driveway was 1,266 feet in length, extending east from US-1 to the front of the lighthouse keeper's house (Weed et al. 1981:Appendix 1). Beautification of the reservation was built into the WPA project, inclusive of tree and shrubbery plantings along the access road. Additionally, the front of the 1883 lighthouse keeper's dwelling was graded, planted with grass, and beautified (Weed et al. 1981:Appendix 1). The 1938 roadway constructed by the WPA is illustrated in Figure 25, a 1953 aerial. In 1939, all lighthouses in the United States were placed under the jurisdiction of the USCG and lighthouse keepers became part of this branch of service (Snyder 2006; DuBois 1960:15).

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District



Figure 25: A 1953 Aerial of the Jupiter Lighthouse Reservation Which Illustrates the Location of the Roadway Constructed by WPA Project 50-4-1-212

During World War II, the Jupiter Inlet Light Station became a major center of activity. From the lighthouse, Coast Guard personnel watched for signs of submarine activity. The Navy maintained their presence at the lighthouse and established an intelligence listening

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

post. By April of 1940, the Jupiter post was acknowledged as an intercept and Direction Finding (D/F) station. The Communications Radio Intelligence Unit and Radio D/F Station at Jupiter was known as “Station J” and monitored the very low frequencies needed to locate German U-boats. “Station J” intercepted German U-boat radio activity, warned Allied ships, and then forwarded intercepted material to Washington for code breaking and translation. Merchant ships carrying fuel to troops in Europe traveled near the east coast of Florida and German submarines waited with torpedoes to destroy these ships. In February of 1942, two ships, the SS Republic and SS W.D. Anderson, were sunk by German submarines off the Jupiter Inlet, killing at least 40 men. After the Japanese bombing of Pearl Harbor in 1941, the station began an intensive monitoring of enemy radio traffic. Thirty German U-boats were destroyed off the Florida coast in May of 1943 due to “Station J.” Increased importance of the U.S. Navy during World War II necessitated an additional 3.5-acre land transference. As part of the final build-out of the Navy campus, 26 buildings were constructed of typical World War II quality, meant to last five years. The construction of the current World War II U.S. Navy Married Men’s Housing Quarters (8PB15991) was part of the final built-out. “Station J” was decommissioned on July 15, 1945 (Historical Society of Palm Beach County 2009; Loxahatchee Historical Society n.d.; Janus Research 2013a).

Following the War, in 1950, approximately 30 acres of land in the Jupiter Inlet Lighthouse Reservation was leased to the U.S. Air Force under the jurisdiction of Patrick Air Force Base, Cocoa Beach, Florida (Weed et al. 1981:49). On this land, the Jupiter Atlantic Missile Range Tracking Station was established, visible to the north of SR 707/Beach Road on the 1953 aerial (Figure 33). This station was constructed in support of missile and rocket launches from Cape Canaveral. Original emphasis was placed on missile defense, but after 1962, the emphasis was redirected to space flight (Miller 2015). The original Atlantic Missile Range consisted of nine primary tracking sites over a distance of 1,000 miles: Cape Canaveral, Florida; Jupiter, Florida; and the islands of Grand Bahama, Eleuthera, San Salvador, Mayaguana, Grand Turk, Dominican Republic, and Puerto Rico (McCormick 2016:57). The nine stations were built to follow and receive telemetry signals from in-flight vehicles (McCormick 2016:57). The Air Force personnel associated with the Jupiter Atlantic Missile Range Tracking Station lived in the Jupiter Inlet Light Station housing (Liller 2016). As the U.S. developed increasingly complex missiles, the effort required better coordination of a range of technologies, products, and the supplying vendors (Miller 2015). To accommodate this, oversight of the operation was turned over to Pan American Airways through a division of the airline known as the Guided Missiles Range Division (Miller 2015).

In 1956, the Navy requested that the USCG install an experimental LORAN-C Station along the east coast (A.C. Richmond 1960). The hyperbolic radio navigational system known as LORAN-C was developed by the USCG in the 1940s and 1950s. A temporary installation was placed in Jonathon Dickinson Park, approximately three miles from the Jupiter Inlet, on leased State of Florida land (A.C. Richmond 1960). The USCG planned to establish a permanent LORAN-C Station at the Jupiter Inlet Light Station. The site was

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

preferred for both economic and engineering reasons (A.C. Richmond 1960). However, it was recognized that transmissions of the LORAN-C Station would aggravate an existing problem in the Atlantic Missile Range communication cable (A.C. Richmond 1961); therefore, an alternative site was chosen in Hobe Sound within Jonathon Dickinson Park. Although located in Hobe Sound, the LORAN-C Station was officially referred to as the Jupiter LORAN-C Station. A housing complex for families of U.S. Coast Guardsman manning the LORAN-C Station (8PB16191) was planned for the Jupiter Inlet Light Station. The site was recommended as the property was already owned by the USCG, and ideal for family living with nearby shopping, schools, and recreation (Knudsen 1961). The LORAN-C housing was constructed prior to 1962 to coincide with the January 1, 1962 on-air operation date for the Jupiter LORAN-C Station (Knudsen 1961).

Between 1958 and 1961, most of the buildings associated with the USCG portion of the Jupiter Lighthouse Reservation were destroyed because of a plan for a massive renovation of the site (Weed et al 1981:49), which included the development of the LORAN-C housing complex. The only remaining buildings included the oil house (8PB16435), a frame dwelling constructed for the 1st and 2nd lighthouse keepers (located at the site of the former Weather Bureau Station building), Jupiter Inlet Lighthouse Keeper's Workshop (8PB16439), Jupiter Inlet Light Station Radio Beacon Building (8PB16440), Jupiter Inlet Light Station Garage (8PB16441), and the Jupiter Inlet Light Station Auxiliary Pump House (8PB16444). Masonry Vernacular housing units were constructed in the immediate vicinity of the 1883 head lighthouse keeper's house and the 1st and 2nd keeper's storehouse. Figure 26, a 1964 aerial, shows the composition of the Jupiter Lighthouse Reservation after the late 1950s, early 1960s overhaul. The 1st and 2nd lighthouse keeper's dwelling was demolished at some point between 1968 and 1995.

In the mid-1960s, the Navy had relinquished all its properties in the Jupiter Lighthouse Reservation and in 1969, 22.2 acres of the southwestern portion of the Reservation, which had belonged to the Navy, were transferred to the Town of Jupiter (Weed et al 1981:49). Part of this transference included the World War II U.S. Navy Married Men's Housing Quarters (8PB15991). Between the time the Navy relinquished the land to the year 1972, many more World War II structures were demolished (Weed et al. 1981:49). The Jupiter Inlet Lighthouse and oil house also underwent renovations at this time. On October 15, 1973, the lighthouse was nominated to the National Register for its significance in naval commerce and transportation. Also in 1973, the Loxahatchee River Historical Society opened the oil house as a museum and offered tours of the lighthouse to the public for the first time. In 2000, the lighthouse was fully restored via a grant in excess of \$858,000 administered by the Loxahatchee River Historical Society (Loxahatchee River Historical Society n.d.). The Jupiter Inlet Lighthouse and Museum, associated with the Loxahatchee River Historical Society, relocated to the World War II U.S. Navy Married Men's Housing Quarters in 2006. In 2007, the fully restored Tindall House, the oldest remaining home from Jupiter's pioneering days, was relocated to the museum to serve as a permanent exhibit. In 2008, the Jupiter Lighthouse Reservation was designated by congress as an ONA.

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

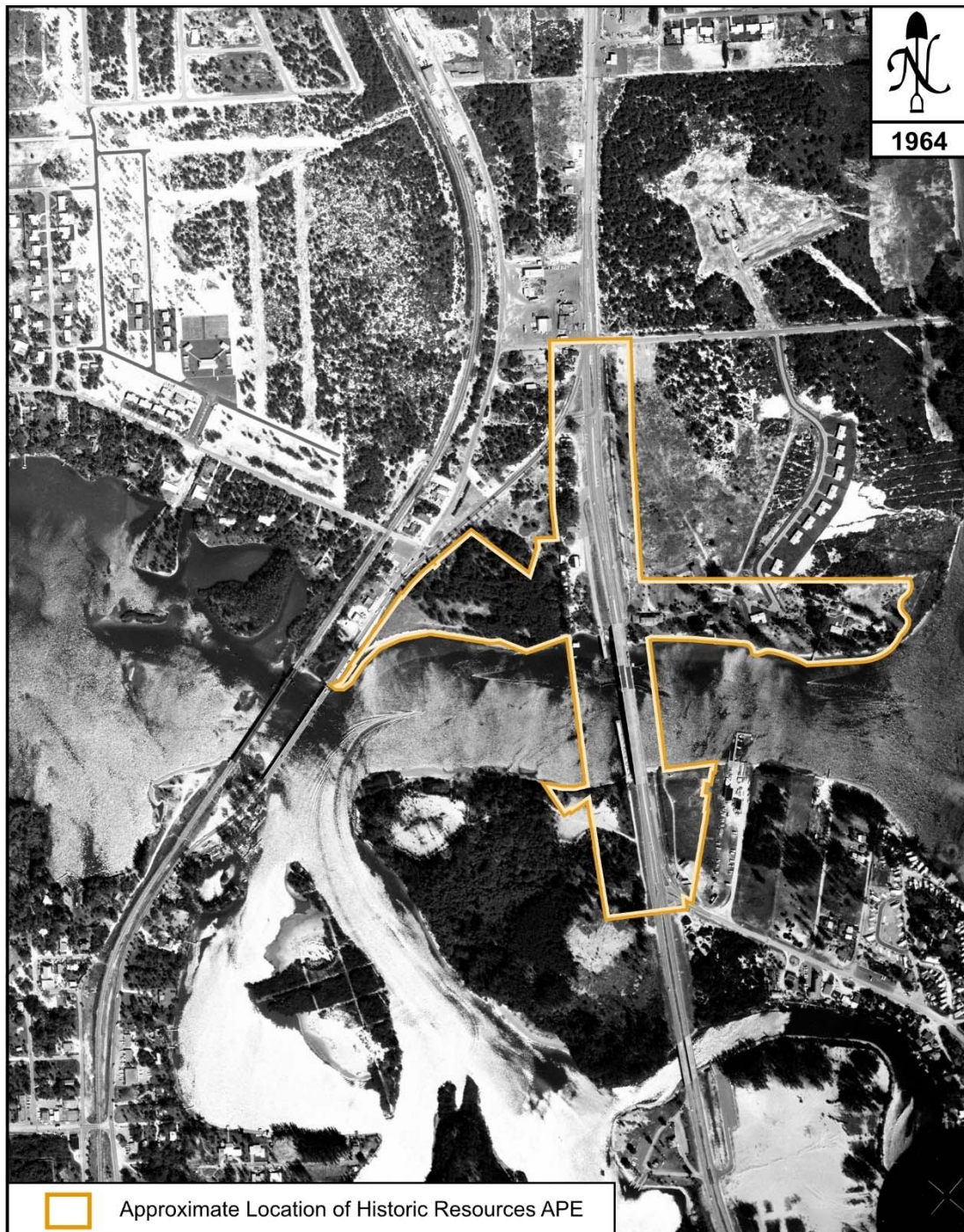


Figure 26: A 1964 Aerial Photograph of the Jupiter Lighthouse Reservation after the 1950s/1960s Alterations

SITE NAME: Jupiter Lighthouse Reservation Mixed Resource District

B. DISCUSSION OF SIGNIFICANCE

As detailed within the historical context, the Jupiter Lighthouse Reservation is associated with the early development of Jupiter and Palm Beach County from the point the Jupiter Inlet Lighthouse was first constructed in 1859 to the post-World War II period. In fact, the construction and lighting of the lighthouse served as the impetus for the pioneer settlement of the area that would become the Town of Jupiter (Lasseter-Drake and White 2003:7). The historical evolution of the area can be traced in this one single site, evident by the existence of remaining and intact historic structures, exhibiting a broad spectrum of construction dates. The alteration of the site over the years, such as through the demolition of buildings in the 1950s/1960s, is part of the evolution of the site to remain relevant, and the area retains its ability to convey its significance. The basic layout of the area has been maintained.

The Reservation is significantly linked to several branches of the U.S. military, having been a site of operations for the U.S. Air Force, USCG, and U.S. Navy. Events related to the Civil War, World War II, and the Cold War, are associated with the Jupiter Lighthouse Reservation. In terms of military significance, the World War II period is paramount, as the interception of intelligence through “Station J” effectively stopped the advancement of German U-boats off the east coast of Florida.

Furthermore, the combined services of the lighthouse facilities were essential to mariners (White 1992) and for well over 100 years, the lighthouse and its related facilities protected both naval commerce and transportation of the area. For the Jupiter Lighthouse Reservation’s demonstrated significance in the areas of Community Planning and Development, Maritime History, Military History, Commerce, and Transportation, it is considered eligible for listing in the National Register under Criterion A. The district is also considered National Register-eligible under Criterion C in the area of Architecture, for the distinguishable collection of structures the site possesses that are associated with the history of the Jupiter Lighthouse Reservation.

C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE

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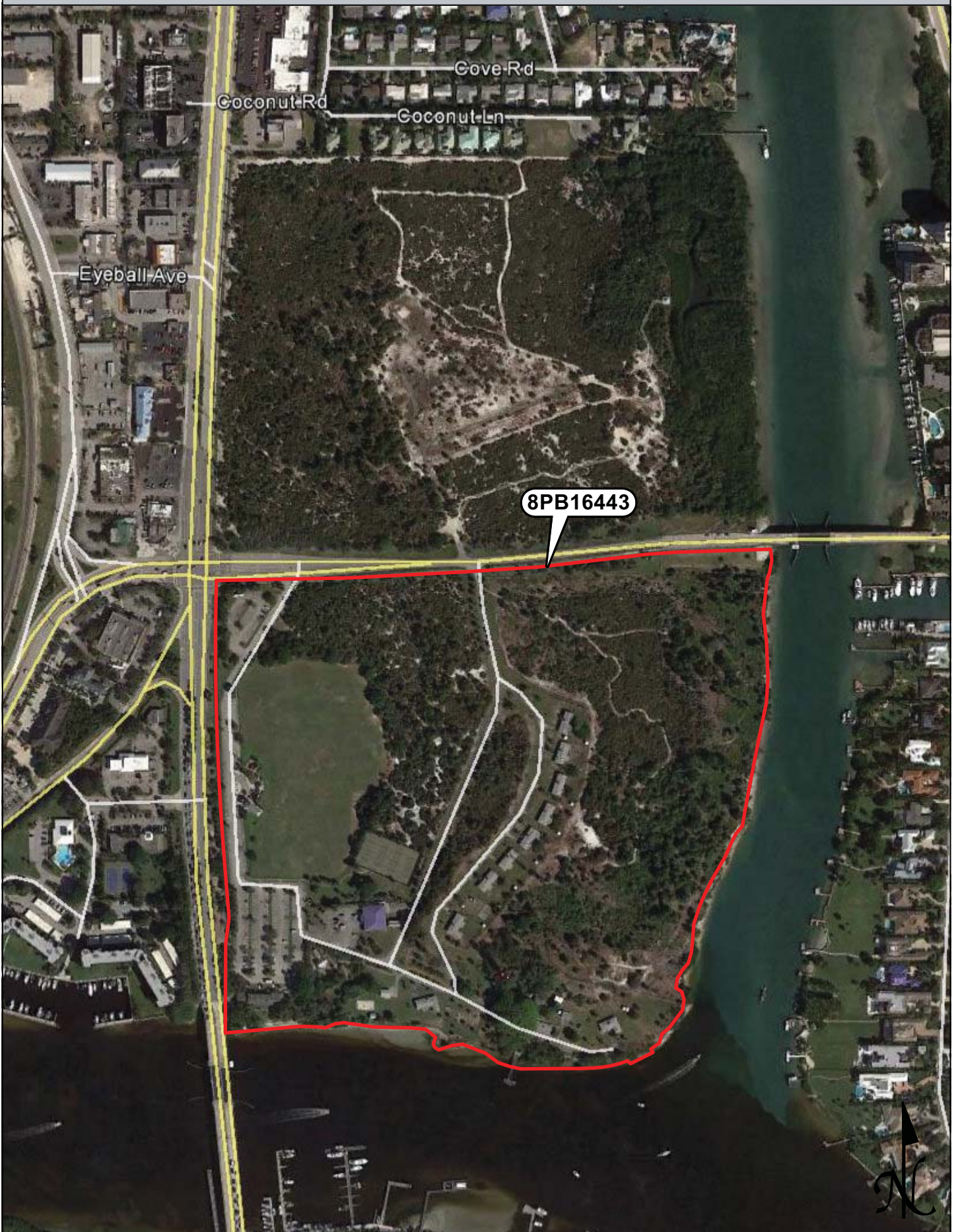
PHOTOGRAPH



PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16444**
 Field Date 8-9-2016
 Form Date 10-21-2016
 Recorder # 11

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Station Auxiliary Pump House Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) N side Coast Guard Way; E of Captain Armour's Way
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591203 Northing 2981016
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1941 ☐ approximately ☒ year listed or earlier ☐ year listed or later
 Original Use Outbuilding From (year): c1941 To (year): c2008
 Current Use Abandoned/Vacant From (year): c2008 To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☐ no ☒ unknown Date: _____ Nature _____
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) United States Coast Guard

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) None observed
 Distinguishing Architectural Features (exterior or interior ornaments) Simple and unadorned

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	

DESCRIPTION (continued)

Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete 2. _____ 3. _____
 Foundation Type(s): 1. Slab 2. _____
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) Appears to be set at the south elevation but this resource was inaccessible during the survey
 Porch Descriptions (types, locations, roof types, etc.) None

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource This MV style pump house is rectangular in form with a flat roof system. The building is associated with the Jupiter Inlet Light Station and is United States Coast Guard owned.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☒ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☒ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☒ other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient information
 Appears to meet the criteria for National Register listing as part of a district? ☒ yes ☐ no ☐ insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This building is of common design/style for its location, era of construction, and type and is not individually National Register eligible. However, it is a contributing resource to the Jupiter Lighthouse Reservation Mixed District (8PB16443).
 Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
 1. Commerce 3. Military 5. Community planning & development
 2. Architecture 4. Transportation 6. Maritime history

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

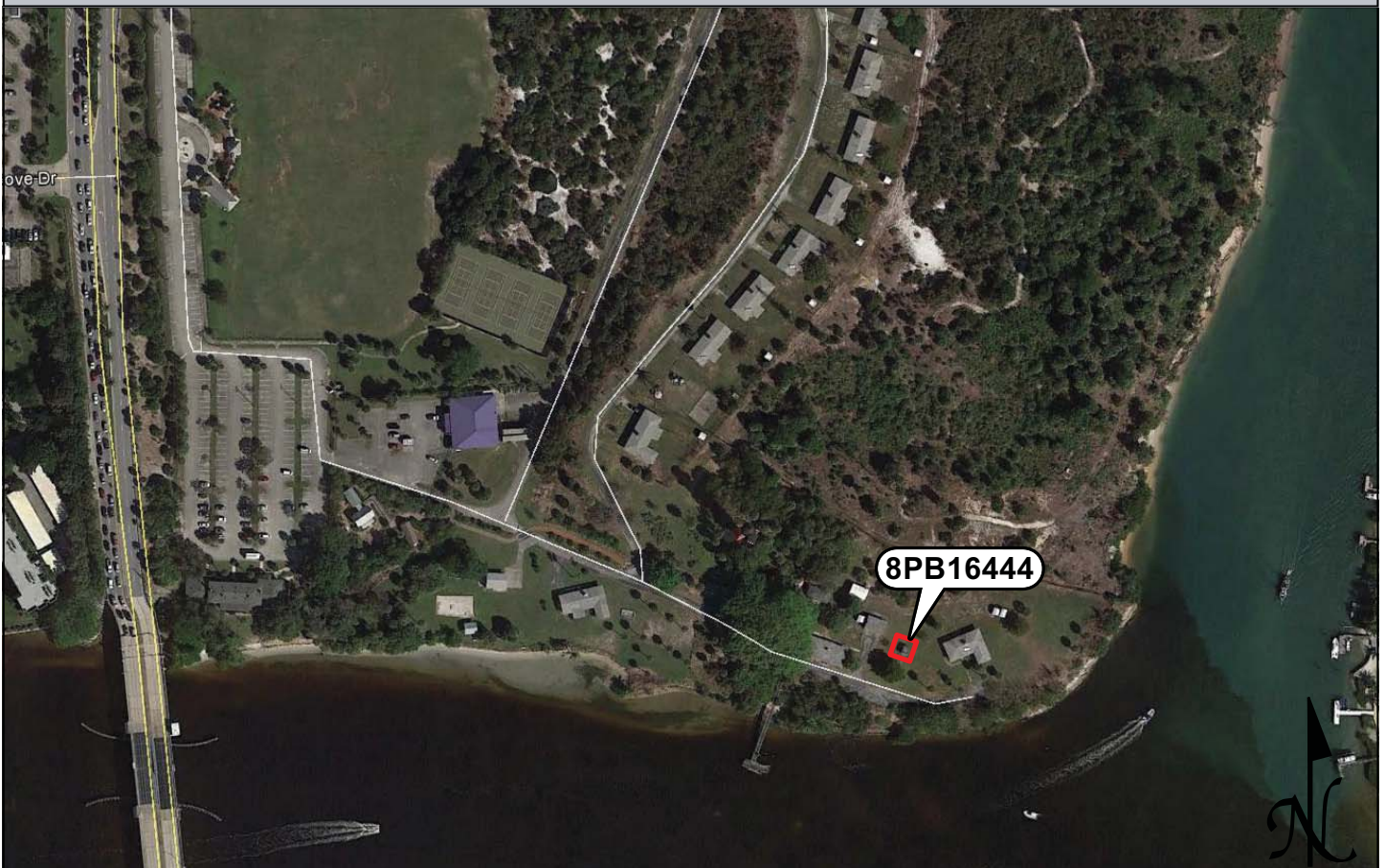
③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

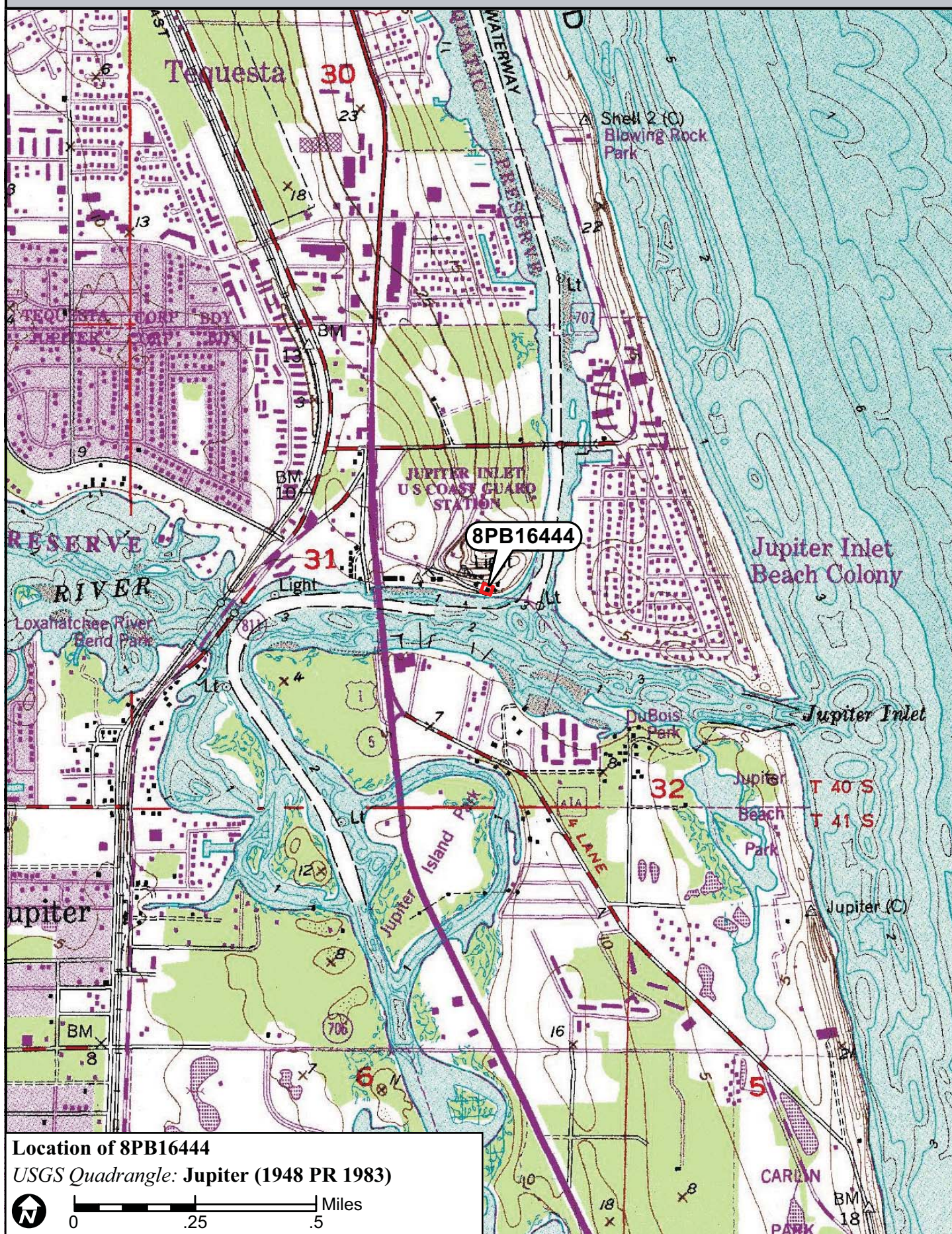
PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PB16445**
 Field Date 8-9-2016
 Form Date 11-2-2016
 Recorder # 12

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Jupiter Inlet Lighthouse Staircase Multiple Listing (DHR only) _____
 Survey Project Name CRAS Addendum Jupiter/US-1 Bridge Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☒ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number Direction Street Name Street Type Suffix Direction
 Cross Streets (nearest/between) B/w Coast Guard Way; N of Loxahatchee River
 USGS 7.5 Map Name JUPITER USGS Date 1983 Plat or Other Map _____
 City / Town (within 3 miles) Jupiter In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 40S Range 43E Section 31 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 30434031000110010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 591123 Northing 2981068
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1915 ☐ approximately ☒ year listed or earlier ☐ year listed or later
 Original Use Other From (year): c1915 To (year): _____
 Current Use Other From (year): _____ To (year): 2016
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: alt in 1929 Nature Handrails altered
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☐ no ☒ unknown Describe _____

DESCRIPTION

Style Not applicable Exterior Plan _____ Number of Stories _____
 Exterior Fabric(s) 1. _____ 2. _____ 3. _____
 Roof Type(s) 1. Not applicable 2. _____ 3. _____
 Roof Material(s) 1. _____ 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.) Not applicable

Distinguishing Architectural Features (exterior or interior ornaments) Plastered handrails

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) Multiple

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Concrete 2. _____ 3. _____
 Foundation Type(s): 1. _____ 2. _____
 Foundation Material(s): 1. _____ 2. _____
 Main Entrance (stylistic details) Not applicable

Porch Descriptions (types, locations, roof types, etc.) Not applicable

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous

Narrative Description of Resource See continuation sheet

Archaeological Remains _____ ☐Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒FMSF record search (sites/surveys) ☐library research ☐building permits ☐Sanborn maps
☒FL State Archives/photo collection ☐city directory ☐occupant/owner interview ☐plat maps
☒property appraiser / tax records ☐newspaper files ☐neighbor interview ☐Public Lands Survey (DEP)
☒cultural resource survey (CRAS) ☒historic photos ☐interior inspection ☐HABS/HAER record search
☒other methods (describe) Aerial photographs

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☒yes ☐no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) This resource is a common concrete staircase and is not individually National Register-eligible. However, it is a contributing resource to the Jupiter Lighthouse Reservation Mixed District (8PB16443).

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Commerce 3. Military 5. Community planning & development
 2. Architecture 4. Transportation 6. Maritime history

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N. Ward St., Tampa FL 33607 / (813) 636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments

① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED

② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)

③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE

If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

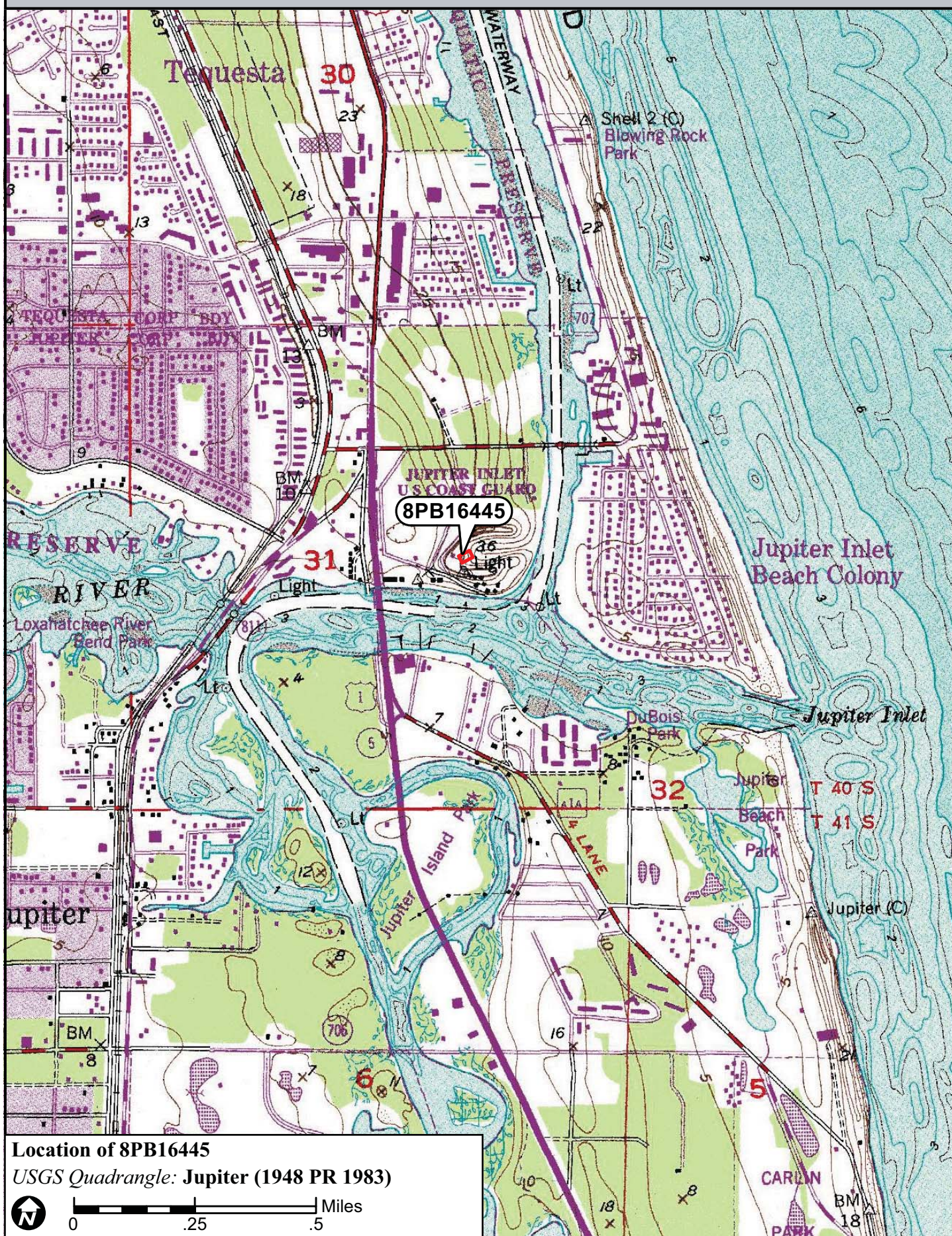
PHOTOGRAPH



SKETCH MAP



USGS QUADRANGLE MAP



Appendix F:

Cultural Resource Committee Meeting Minutes, 2016



Cultural Resources Committee Meeting #1
SR 5/US 1 Bridge from CR-A1A to Beach Road PD&E Study
Palm Beach County
FPID: 428400-2-22-02
May 4, 2016, 1:30 P.M.

On May 4, 2016, a Cultural Resources Committee (CRC) meeting was held at the Jupiter Lighthouse Park in the WWII US Navy Married Men's Housing Quarters building. Below is a list of the attendees. In addition, a list of the CRC members that were invited is attached. The meeting was advertised on April 27, 2016 in the Florida Administrative Register. No members of the general public attended the meeting.

Name	Organization	Phone No.	E-mail
Rita Bulsara	Florida Department of Transportation (FDOT)	954-777-4680	rita.bulsara@dot.state.fl.us
Ann Broadwell	FDOT	954-777-4325	Ann.Broadwell@dot.state.fl.us
Lynn Kelley	FDOT	954-777-4334	lynn.kelley@dot.state.fl.us
Paul Cherry	Kimley Horn and Associates, Inc. (Kimley-Horn)	561-840-0823	paul.cherry@kimley-horn.com
Lynn Kiefer	Kimley-Horn	772-794-4075	lynn.kiefer@kimley-horn.com
Lisa Stone	Kimley-Horn	561-840-0826	lisa.stone@kimley-horn.com
Ken Hardin	Janus Research	727-460-4069	Ken_hardin@janus-research.com
Ian Biava	Transystems	954-200-8264	ibiava@transystems.com
Randall Overton	US Coast Guard (USCG)	305-415-6736	randall.d.overton@uscg.mil
Chris Davenport	Palm Beach County	561-233-5331	cdavenpo@co.palm-beach.fl.us
Dave Kemp	Town of Jupiter	561-741-2452	davidk@jupiter.fl.us
Jamie Stuve	Loxahatchee River Historical Society / Jupiter Lighthouse	561-747-8380 x102	jstuve@jupiterlighthouse.org
Debi Murray	Palm Beach County Historical Society /Town of Jupiter Historical Board	561-832-4164 x105	dmurray@historicalsocietypbc.org
Peter DeWitt	Bureau of Land Management (BLM) / Jupiter Inlet Lighthouse Outstanding Natural Area	561-295-5955	pdewitt@blm.gov
Shawna Damon	BLM	561-295-5953	n/a
Ginny Jones (via phone)	Florida Division of Historic Resources	850-245-6432	Ginny.Jones@dos.myflorida.com
Dan McClarnon (via phone)	Florida Division of Historic Resources	850-245-6372	Daniel.mcclarnon@dos.myflorida.com
Anson Sonnett	FDOT	954-777-4474	Anson.sonnett@dot.state.fl.us
Luis D. Lopez (via phone)	Federal Highway Administration	407-867-6420	Luis.d.lopez@dot.gov
Jorge Padron (via phone)	FDOT	954-777-4320	Gaspar.padron@dot.state.fl.us

The FDOT is conducting a Project Development and Environment (PD&E) Study to evaluate alternatives for replacing the SR 5/US 1 Bridge. The purpose of the meeting was to coordinate the project with parties who have an interest in historic and archaeological resource preservation or whose resources have the potential to be directly affected by the proposed project, and to obtain input on the alternatives evaluated, significance of the resource(s) and the effects to the resource(s). This is part of the Section 106 of the Historic Preservation Act consultation process.

Following introductions, Kimley-Horn and Janus Research shared a PowerPoint presentation (attached) that included an overview of the:

- PD&E study process,
- Existing and proposed typical sections
- Alternatives being evaluated
- Resources identified in the Area of Potential Effect (APE)
- Significance of the resources
- Section 106 Consultation Process

The following is a brief summary of comments or questions received during the meeting:

- David Kemp commented that the Town's Archeology consultant is Advanced Archeology and they may have additional information on archaeological resources in the area.
- Jamie Stuve commented that the WWII Barracks was not a barrack. The building was actually used as the US Navy Married Men's Housing quarters. She suggested that it not be called a "barrack".
- The WWII quarters is also a locally designated resource as well as being eligible for the National Register of Historic Places (NRHP).
- Archaeological resources were discussed and Ken indicated that testing had occurred within FDOT's right-of-way (R/W) and the adjacent archaeological site does not extend into the R/W.
- Jamie Stuve indicated that the Jupiter Lighthouse was not included on the list of significant resources in the PowerPoint presentation and Debi Murray commented that this is the most obvious resource and the oldest resource in the County. *Note: the Jupiter Lighthouse was referenced in the CRAS but the slide presentation focused on the resources adjacent or abutting the bridge.* Ms. Stuve indicated that there is concern about vibration impacts to the lighthouse (e.g. the lenses) and to the WWII quarters (plaster walls, chimneys and the building is on piles). She asked if vibration will be monitored during construction. Paul Cherry indicated that there is a meeting scheduled for Friday, May 6th to look at the structures. Furthermore, FDOT includes in the standard construction specifications requiring the contractor to prepare a plan to address vibration for FDOT review.
- There was a discussion of the Area of Potential Effect (APE) and Peter DeWitt asked if there is a map of the APE. Ken Hardin indicated that that could be provided. The APE is approved by SHPO and for these linear type projects the APE for this project was defined as all historic properties immediately adjacent to the proposed improvements for a distance up to 200 feet. The archaeological APE is the FDOT R/W.
- Mr. DeWitt commented that entire grounds of the Jupiter Inlet Lighthouse Outstanding

Natural Area (ONA) were designated by Congress in May 8, 2008 as a unit within the Bureau of Land Management's National Landscape Conservation System (NLCS) and that all the grounds should possibly be considered in the APE.

- The question was asked about whether some of the buildings on the grounds of the ONA were going to be removed. Mr. DeWitt commented that they are looking at some of the housing and determining what is still useful to the federal government. They will be going through NEPA review and a Section 106 Consultation process for the building removal. This is scheduled for FY 2017 so the NEPA document and decision could be prepared by late 2016. Ann Broadwell asked about the limits of the ONA. Mr. DeWitt indicated that it includes the entire park boundary to the FDOT R/W.
- Ken Hardin indicated that the focus of the Section 106 process is on the NRHP eligible and listed sites. The FDOT has worked with SHPO on defining an APE that is appropriate. There needs to be a balance of what is the appropriate APE to the extent of potential effect. Peter DeWitt indicated that the archaeological work had been completed so a review of the information should be sufficient with no additional testing.
- Brenda Arnold asked about the dock at the ONA. Mr. DeWitt indicated that there are 2 docks, but the USCG had removed the planks for one dock and the 2nd dock is still used by US Army Corps of Engineers (USACE), BLM and USCG.
- Ken mentioned that they are updating the Cultural Resources Assessment Survey (CRAS) and then will be assessing the impacts of the various alternatives.
- Brenda Arnold asked why the typical section has a 19.5 foot median. This is actually reduced from the 22 foot standard and 19.5 feet is the lowest median width for a 45 mph speed. To reduce this further, a speed study would be required, but it is not likely to be reduced from 19.5 feet.
- The overall PD&E schedule was discussed. A second CRC meeting will be held in the fall prior to the Alternatives Public Meeting and additional detail of the alternatives and impacts will be provided. Following the Alternatives Public Meeting, additional analysis and refinement of the alternatives will occur and then the No Build and Preferred Build Alternative will be presented at the Public Hearing in early 2017. The project is funded for design/permitting and construction.
- The question of construction duration was asked. Paul Cherry indicated that the Department is evaluating options now for construction. There are 3 options being considered:
 - Temporary bridge – at this time this does not seem feasible as the site constraints make it difficult to construct a temporary bridge.
 - Phased approach where one of the two existing bridges is used to maintain one lane in each direction and the other bridge removed. After half of the new bridge is constructed, traffic is transferred on to the new portion of the bridge, the existing bridge removed and the remainder of the bridge constructed.
 - Shut down the bridge and detour traffic to Alternate A1A
- Construction could be approximately 3 years. The detour option could potentially reduce the construction timeframe.
- Ginny Jones asked if the rehabilitation alternative has been considered as we are required to look at this alternative. Rehabilitation of the existing bridge will be evaluated but Paul indicated that based on the type of structure (concrete) the rehabilitation is probably not viable especially since the rehabilitation has to extend the useful life of the bridge another 75 years. Lynn Kelley noted that a Feasibility Study was done for widening the bridge. The results of the study showed that the widening and replacement of the bascule components would cost as much as the replacement with the same environmental impacts.

- Debi Murray asked how long Flagler Bridge has been under construction. Flagler Bridge has been under construction approximately 5 years. It was noted that the delays for the Flagler Memorial Bridge which is currently being constructed and is behind schedule occurred as a result of settlement. For this project, we have the pile driving records and are obtaining additional geotechnical information, which is information that was not available when Flagler was designed.
- Jamie Stuve indicated that recent removal of the north-western remains of the first bridge had created new eddies at the shoreline in front of the lighthouse complex, especially in front of the museum building and asked if there had been done on the effects of the removal of the bridge or will a study be completed for the construction of the new bridge. The new eddies have resulted in erosion along the shoreline and of the archaeological materials have been exposed/washed away. This will be discussed with the FDOT.
- Peter DeWitt indicated that one of the 7 values recognized by Congress for the ONA was the scenic values. Mr. DeWitt feels that a view shed analysis should be completed and there are several areas on the property where this analysis should be considered. Lynn Kiefer indicated that visual effects are included in the PD&E study and the areas could be discussed where Mr. DeWitt feels the view shed could be affected.
- In regards to the actual bridge replacement the local CRC members commented on the potential future effects to the lighthouse, the quarters, the archaeological resources and the view shed.

This summary serves to document CRC Meeting #1. If anyone wishes to modify or append to this account, please contact Lynn Kiefer either by phone at 772-794-4075 or by email at lynn.kiefer@kimley-horn.com.



Submitted by:

Lynn Kiefer

cc: Alan Klevens, Transystems
Amy Streelman, Janus Research
Robert Thrower, Poarch Band of Creek Indians
Paul N. Backhouse, Ph.D., Seminole Tribe of Florida
Fred Dayhoff, Miccosukee Tribe of Indians of Florida
Natalie Harjo, Seminole Nation of Oklahoma
RaeLynn Butler, Muscogee (Creek) Nation

Jupiter US 1 PD&E Study
Cultural Resource Committee Members

	Name	Organization	Email	Phone Number
1	Chris Davenport	Palm Beach County	cdavenpo@co.palm-beach.fl.us	561-233-5331
2	Dave Kemp	Town of Jupiter	davidk@jupiter.fl.us	561-741-2452
3	Lynn Kelley	FDOT	lynn.kelley@dot.state.fl.us	954-777-4334
4	Ann Broadwell	FDOT	ann.broadwell@dot.state.fl.us	954-777-4325
5	Rita Bulsara	FDOT	rita.bulsara@dot.state.fl.us	954-777-4680
6	Jorge Padron	FDOT	gaspar.padron@dot.state.fl.us	954-777-4320
7	Dan McClarnon	SHPO	daniel.mcclarnon@dps.myflorida.com	850-245-6372
8	Ginny Jones	SHPO	Ginny.Jones@DOA.MYFlorida.com	850-245-6432
9	Randall Overton	USCG	randall.d.overton@uscg.mil	305-415-6736
10	Mark Clagens	FHWA	mark.clagens@dot.gov	
11	Luis D. Lopez	FHWA	luis.d.lopez@dot.gov	407-867-6420
12	Ken Hardin	Janus Research	Ken_Hardin@janus-research.com	813-636-8200
13	Paul Cherry	KHA	paul.cherry@kimley-horn.com	561-840-0803
14	Lisa Stone	KHA	lisa.stone@kimley-horn.com	561-840-0826
15	Lynn Kiefer	KHA	lynn.kiefer@kimley-horn.com	772-794-4075
	Jamie Stuve	Loxahatchee River Historical Society / Jupiter Lighthouse	istuve@jupiterlighthouse.org	561-747-8380 x102
16	Debbie Murray	Palm Beach County Historical Society / Town of Jupiter Historical Board	dmurray@historicalsocietypbcc.org	561-832-4164 x105
17	Peter DeWitt	BLM Manager / Jupiter Inlet Lighthouse Outstanding Natrual Area	pdewitt@blm.gov	

Federally Recognized Tribes were invited by FHWA.

Robert Thrower	Poarch Band of Creek Indians of
Paul N. Backhouse, Ph.D.	Seminole Indian Tribe of Florida
Fred Dayhoff	Miccosukee Tribe of Indians of Florida
Natalie Harjo	Seminole Nation of Oklahoma
Raelynn Butler	Muscogee (Creek) Nation



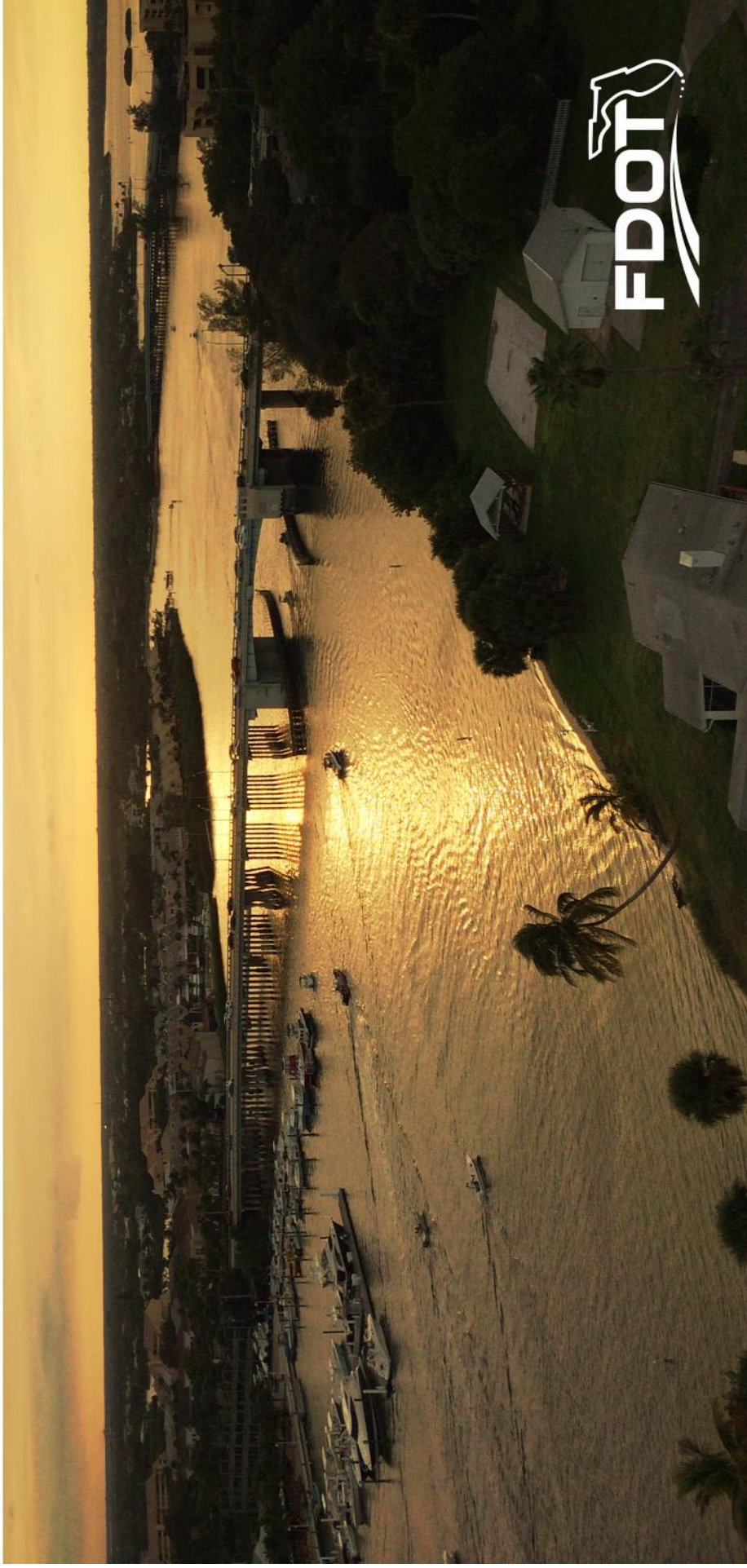
PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

From CR-A1A to Beach Road | Palm Beach County, Florida

Financial Project ID 428400-2-22-01 | ETD# 14199t

CRC Meeting #1



PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

Agenda

- Introductions
- PD&E Overview
- Historic resources
- Significance of the resources
- Section 106 Process
- Questions and Discussion



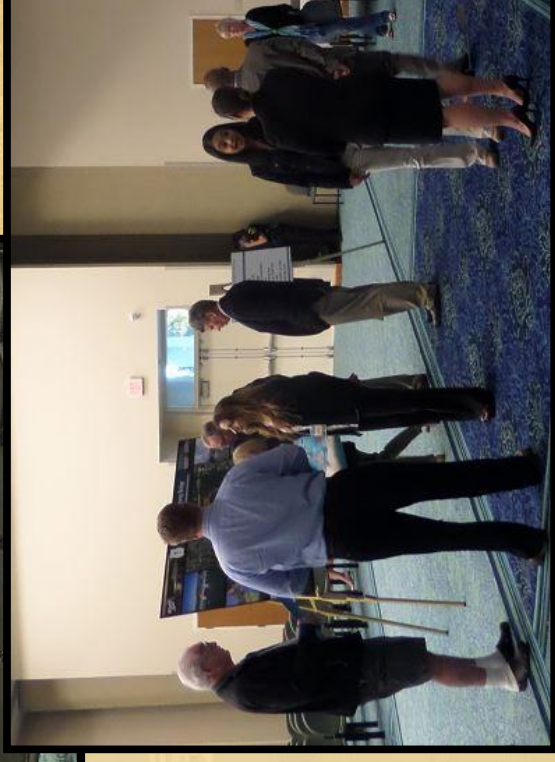
Project Development & Environment (PD&E) Study

The objectives of a PD&E study are to perform necessary social, environmental and engineering studies of a proposed transportation improvement to support decisions concerning if and where it should be built and what will be the basic design concepts.

PROJECT DEVELOPMENT & ENVIRONMENT STUDY SR 5/US-1 Federal Highway Bridge

PD&E Study Components

- Public Involvement
 - ❖ Public and Agency Kickoff
 - ❖ Public Alternatives Meeting
 - ❖ Cultural Resource Committee Meetings
 - ❖ Aesthetics Committee Meetings
 - ❖ Other stakeholder meetings
 - ❖ Public Hearing



PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

PD&E Study Components

- Engineering
 - ❖ Traffic Analysis
 - ❖ Alternatives Development
 - ❖ Bridge Structure



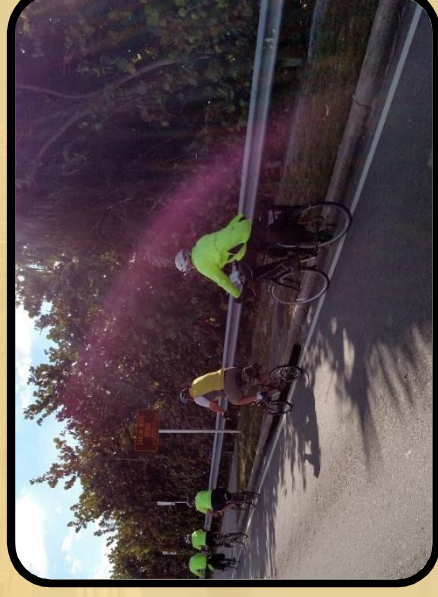
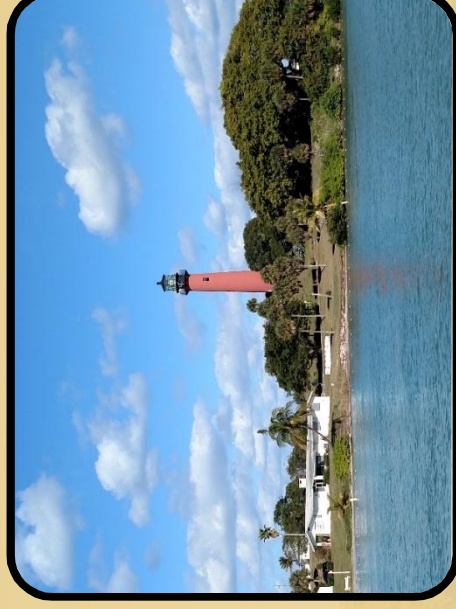
PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

PD&E Study Components

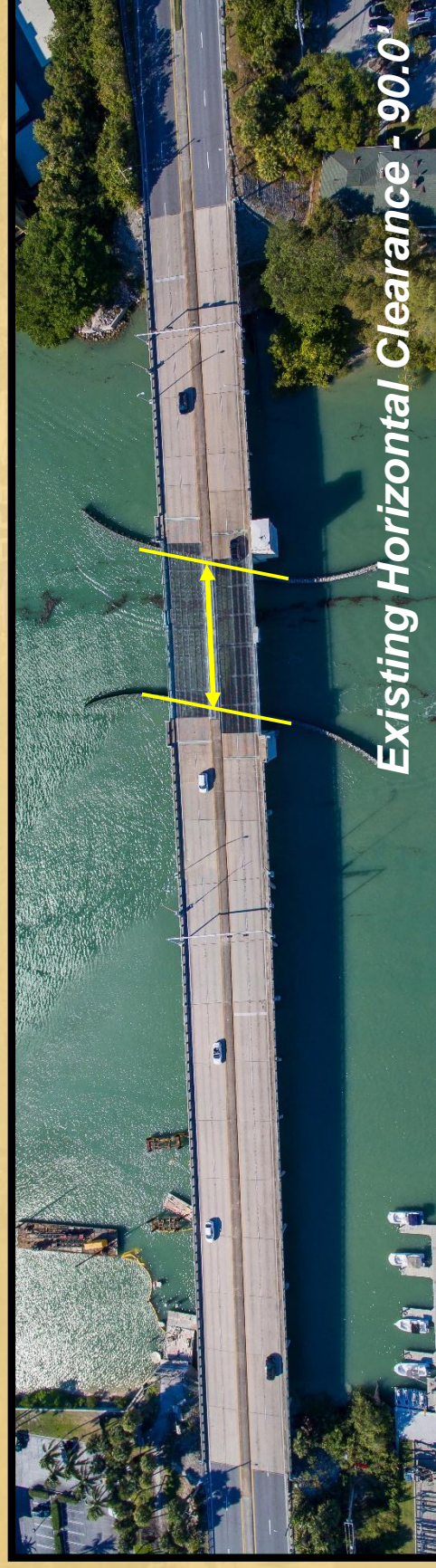
- Environmental

- ❖ Natural
 - ❖ Wetlands/EFH
 - ❖ Listed Species
 - ❖ Water Quality
- ❖ Social
- ❖ Physical
 - ❖ Noise/Air
 - ❖ Contamination
- ❖ Cultural
 - ❖ Historic
 - ❖ Archaeological
 - ❖ Section 4(f)



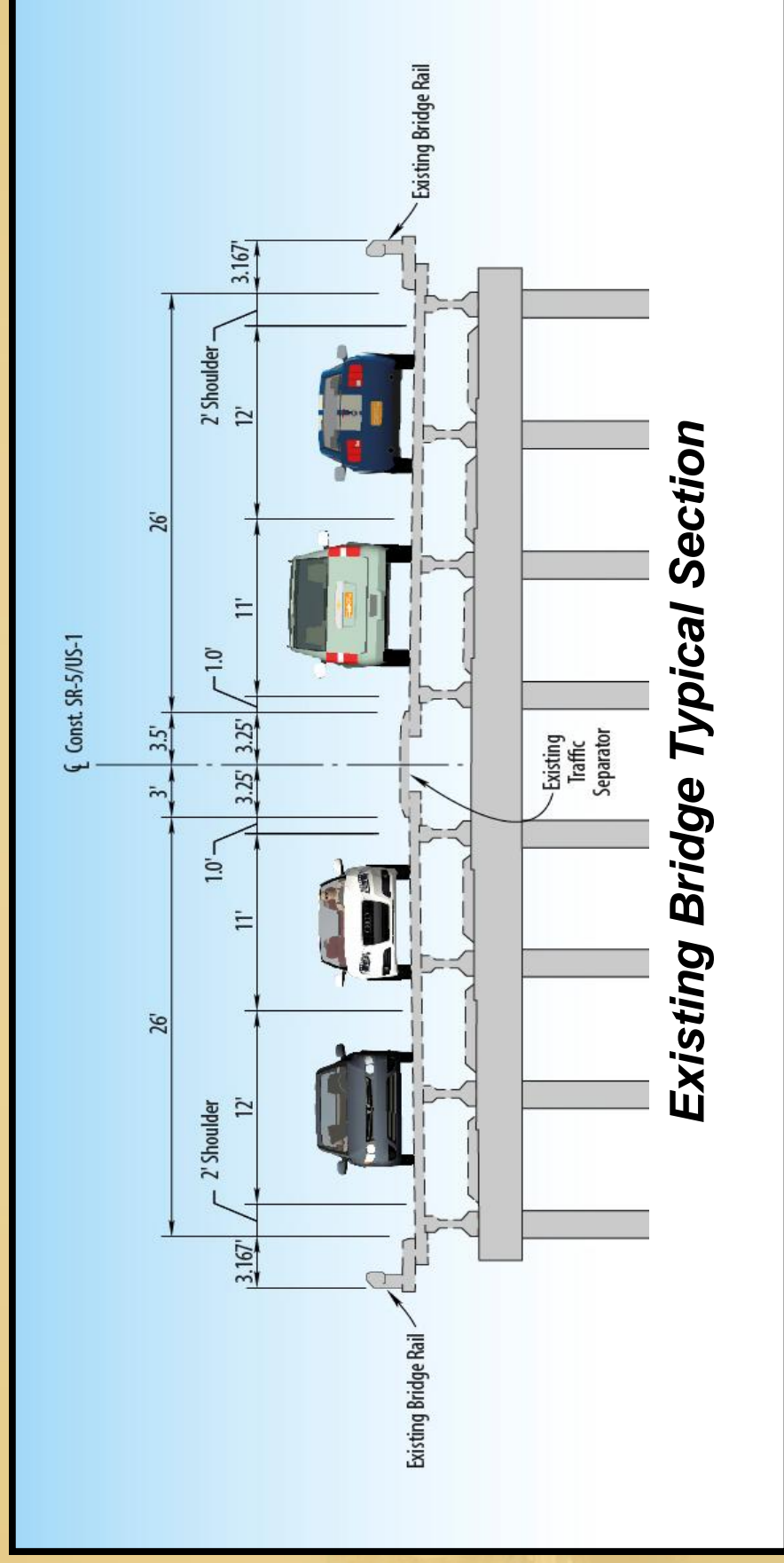
PROJECT DEVELOPMENT & ENVIRONMENT STUDY SR 5/US-1 Federal Highway Bridge

Existing Clearance



PROJECT DEVELOPMENT & ENVIRONMENT STUDY
SR 5/US-1 Federal Highway Bridge

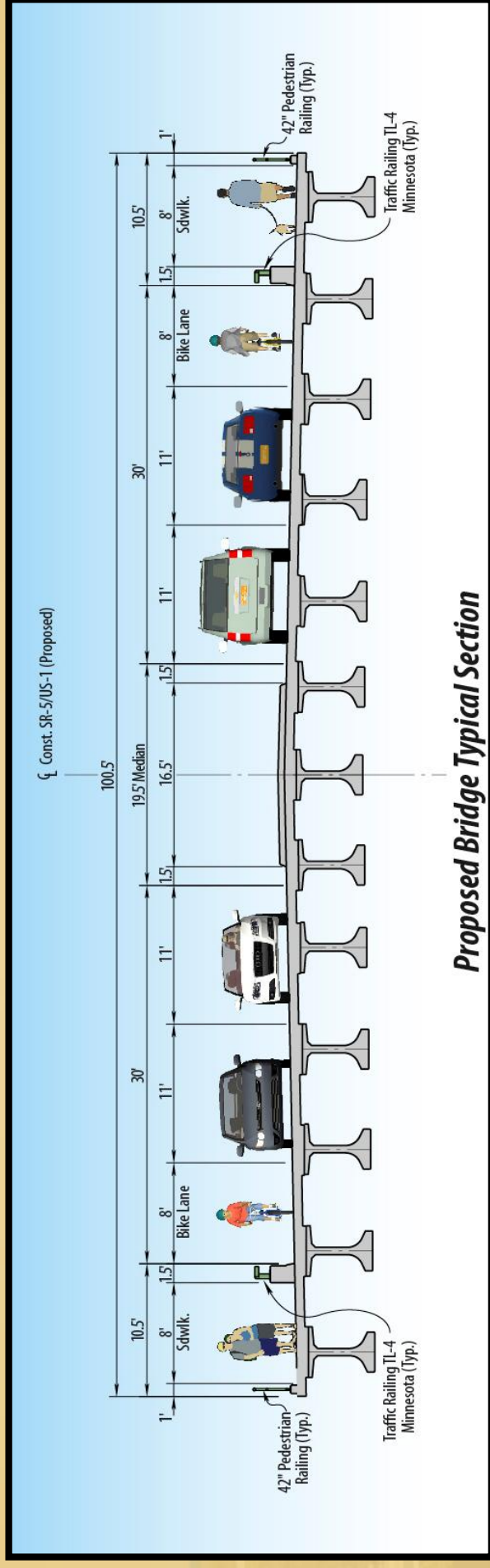
Existing Bridge Typical Section



Existing Bridge Typical Section

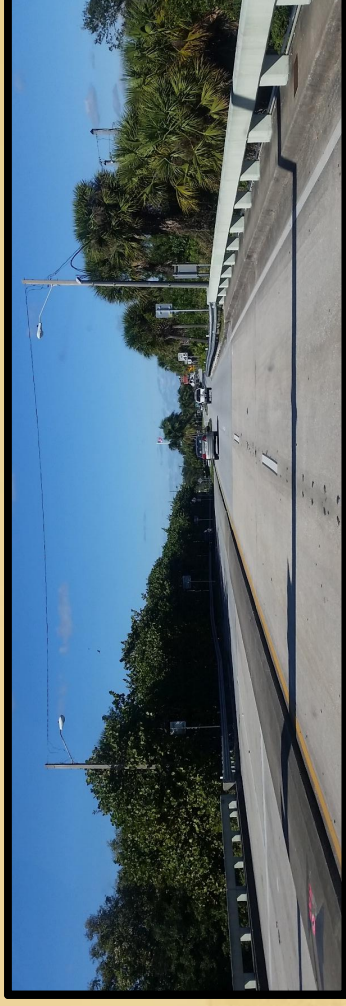
PROJECT DEVELOPMENT & ENVIRONMENT STUDY
SR 5/US-1 Federal Highway Bridge

Proposed Bridge Typical Section



Existing Bridge – Structurally Deficient, Functionally Obsolete

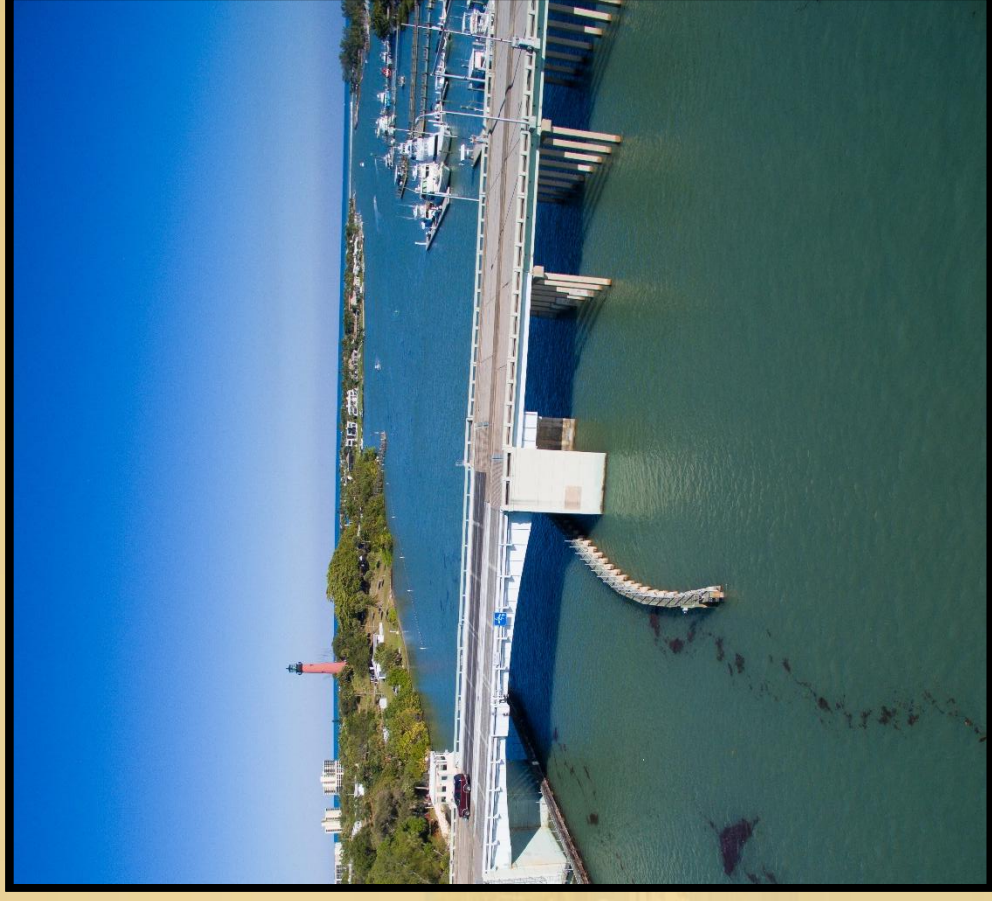
- Substructure rated “poor”
- Superstructure rated “poor”
- Typical section not up to current design standards



PROJECT DEVELOPMENT & ENVIRONMENT STUDY
SR 5/US-1 Federal Highway Bridge

Alternatives Analysis

- No Build Alternative
- Build Alternatives:
 - ❖ Vertical Alignment
 - ❖ Low-Level bascule
 - ❖ Mid-Level bascule
 - ❖ High-Level fixed
 - ❖ Horizontal Alignment
 - ❖ Remain in place
 - ❖ Shift east
 - ❖ Shift west



PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

Historic and Archaeological Resources



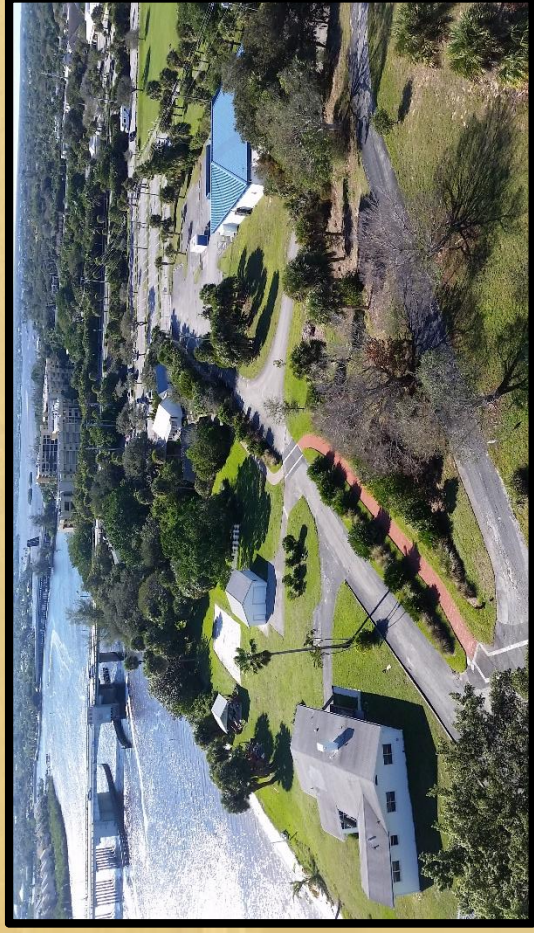
- Significant Resources
 - ❖ WWII Barracks Building
 - ❖ Jupiter Bridge
 - ❖ Jupiter Midden #2
- Not Significant
 - ❖ Old US-1 Loxahatchee Bridge

PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

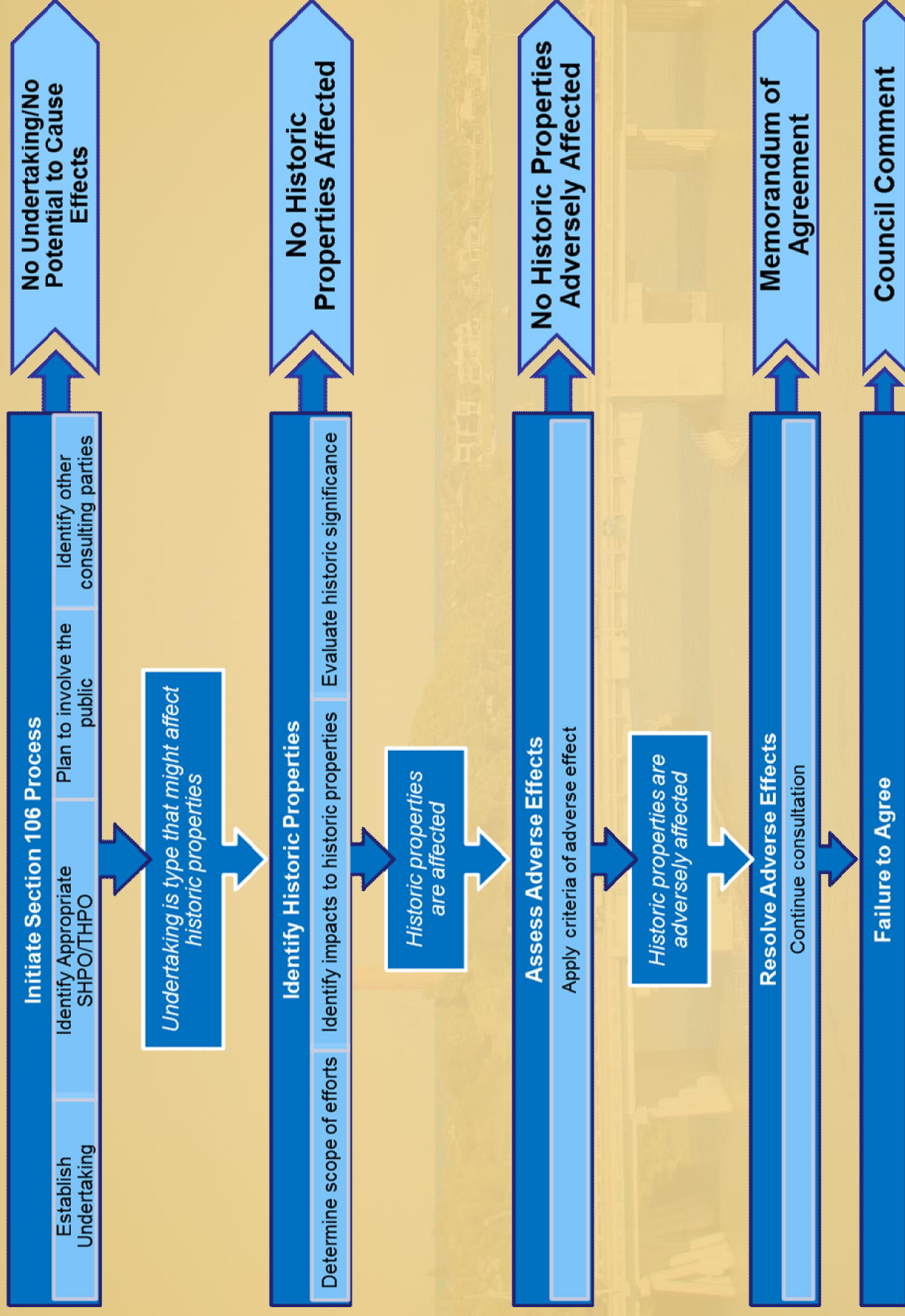
Section 106 Consultation

- Section 106 of the National Historic Preservation Act
- Cultural Resources Committee (CRC) – May 4, 2016



PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge



Next Steps

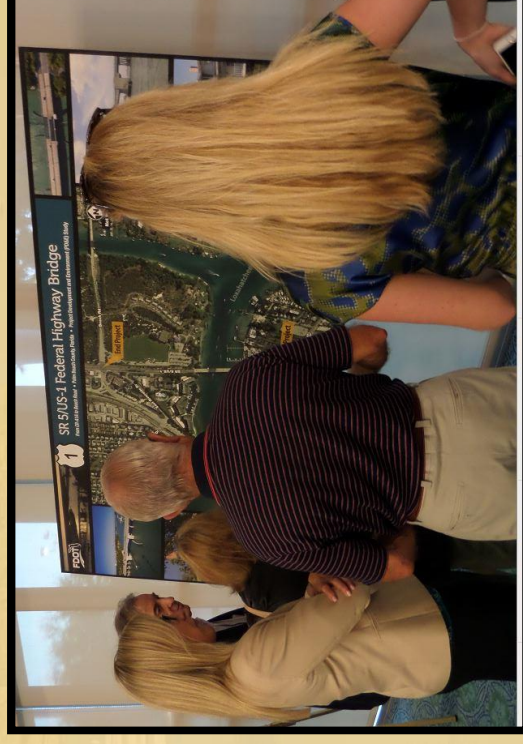
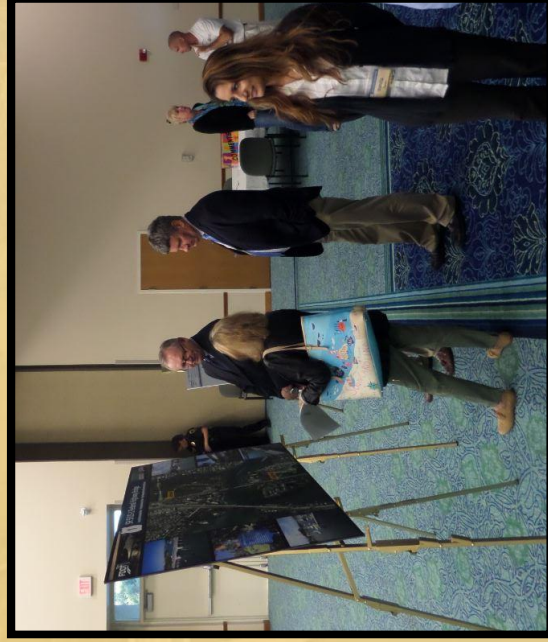
- Prepare alternatives and begin data collection and analysis
- Update CRAS
- Prepare Section 106 Determination of Effects
- Continue Consultation
- Prepare Memorandum of Agreement (MOA)

PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge








Public Involvement Meetings

- Elected Officials/ Agency/Public Kickoff Meetings - February 17, 2016
- CRC Meeting #1 – May 4, 2016
- CRC Meeting #2 – Fall 2016
- Alternatives Public Meeting – late 2016
- Public Hearing – early 2017



PROJECT DEVELOPMENT & ENVIRONMENT STUDY SR 5/US-1 Federal Highway Bridge

Project Schedule

ACTIVITY	2015	2016	2017
Begin Study			
Public Kick-off Meeting			
Public Input			
Develop Build Alternatives			
Alternatives Public Meeting			
Public Hearing No-Build and Build Alternatives Presented			
Study Complete/Location Design Concept Acceptance			

**PROJECT DEVELOPMENT & ENVIRONMENT STUDY
SR 5/US-1 Federal Highway Bridge**

Contact

FDOT Project Manager:

Rita Bulsara, P.E.

Florida Department of Transportation

District Four

3400 West Commercial Blvd.

Fort Lauderdale, Florida 33309

(954) 777-4680 or toll free (866) 336-8435 ext. 4680

www.jupiterus1bridge.com

PROJECT DEVELOPMENT & ENVIRONMENT STUDY
SR 5/US-1 Federal Highway Bridge

Comments





Cultural Resources Committee Meeting #2
SR 5/US 1 Bridge from CR-A1A to Beach Road PD&E Study
Palm Beach County
FPID: 428400-2-22-02
August 23, 2016, 1:30 P.M.

On August 23, 2016, a Cultural Resources Committee (CRC) meeting was held at the Jupiter Lighthouse Park in the WWII US Navy Married Men's Housing Quarters building. Below is a list of the attendees. The meeting was advertised on August 9, 2016 in the Florida Administrative Register. No members of the general public attended the meeting.

Name	Organization	Phone No.	E-mail
Rita Bulsara	Florida Department of Transportation (FDOT)	954-777-4680	rita.bulsara@dot.state.fl.us
Lynn Kelley	FDOT	954-777-4334	lynn.kelley@dot.state.fl.us
Paul Cherry	Kimley Horn and Associates, Inc. (Kimley-Horn)	561-840-0823	paul.cherry@kimley-horn.com
Lynn Kiefer	Kimley-Horn	772-794-4075	lynn.kiefer@kimley-horn.com
Lisa Stone	Kimley-Horn	561-840-0826	lisa.stone@kimley-horn.com
Ken Hardin	Janus Research	727-460-4069	Ken_hardin@janus-research.com
Amy Streelman	Janus Research	727-560-9963	Amy_streelman@janus-research.com
Jim Pepe	Janus Research	813-636-8200	Jim_pepe@janus-research.com
Alan Klevens	TranSystems	954-200-8235	gaklevens@transystems.com
Chris Davenport	Palm Beach County	561-233-5331	cdavenpo@co.palm-beach.fl.us
Stephanie Thoburn	Town of Jupiter	561-741-2342	stepht@jupiter.fl.us
Brenda Arnold	Town of Jupiter	561-741-2261	brendaa@jupiter.fl.us
Kathleen Glover	Loxahatchee River Historical Society / Jupiter Lighthouse	561-747-8380 x105	glover@jupiterlighthouse.org
Josh Liller	Loxahatchee River Historical Society / Jupiter Lighthouse	561-747-8380 x108	jliller@jupiterlighthouse.org
Debi Murray	Historical Society of Palm Beach County /Town of Jupiter Historical Board	561-832-4164 x105	dmurray@historicalsocietytpbc.org
Peter DeWitt	Bureau of Land Management (BLM) / Jupiter Inlet Lighthouse Outstanding Natural Area	561-295-5955	pdewitt@blm.gov
Ginny Jones (via phone)	Florida Division of Historic Resources	850-245-6432	Ginny.Jones@dos.myflorida.com
Dan McClarnon (via phone)	Florida Division of Historic Resources	850-245-6372	Daniel.mcclarnon@dos.myflorida.com

The FDOT is conducting a Project Development and Environment (PD&E) Study to evaluate alternatives for replacing the SR 5/US 1 Bridge. This is the second CRC meeting for this project. The purpose of this meeting was to discuss the Area of Potential Effect, results from

the updated Cultural Resources Survey (CRAS) and to get feedback on the build alternatives for the bridge replacement.

Following introductions, Kimley-Horn and Janus Research shared a PowerPoint presentation (attached) that included an overview of the:

- Project Purpose
- Public Involvement to date - An Alternatives Public Workshop is scheduled for September 20, 2016 at 5:30 pm with a presentation beginning at 6:00 pm.
- Area of Potential Effect and results to date of the CRAS update
- The Section 106 Consultation Process including next steps - After the Alternatives Public Workshop, the analysis of potential effects to the National Register of Historic Places Eligible and Listed resources will be conducted
- Vertical and Horizontal Alternatives being evaluated
- Cross section north of the Bridge

The following is a brief summary of comments or questions received during the meeting:

- Ken Hardin commented that David Kemp had requested a copy of the CRAS for the Town of Jupiter's archaeologist's review. Stephanie Thoburn confirmed the CRAS was received and reviewed. The Town agreed with the findings, but wanted to make sure that archaeological monitoring was conducted during construction. Ken confirmed this can be added as a commitment in the PD&E documentation.
- Regarding the structures within the LORSTA Housing Resource Group area, Peter DeWitt asked when these structures had been determined not eligible for NRHP listing and asked if he could have a copy of the eligibility determination. Amy Streelman indicated that it was several years ago and she will provide this documentation.
- Several comments were made regarding the erosion at the shoreline and the need to evaluate the effects. Jim Pepe indicated that this had been occurring for some time, but Kathleen Glover indicated that it had been much worse since changes were made to the existing bridge in 2012. Paul Cherry confirmed that an analysis was going to be conducted to look at this issue and evaluate the current conditions as well as effects, if any, from the proposed bridge replacement. This study scope and effort is being reviewed by FDOT and will soon be authorized, so it will be a couple of months before data is available. Peter DeWitt suggested that this evaluation look at the changes associated with potential changes in boat traffic with the proposed wider channel and higher bridge profile.
- Kathleen Glover asked where new bridge will be located in relation to the museum building. A roll plot of the proposed bridge was provided and discussed. There will be a retaining wall and the embankment that is currently there will be removed. The retaining wall allows for avoidance of the Lighthouse Park Property. Ms. Glover asked about the existing utilities. These will be relocated.
- Also, within the area between the retaining wall and the Lighthouse Park property, a sidewalk will be constructed as well as drainage. Peter asked about the potential for landscaping in this area. This can be considered as well.
- Stephanie Thoburn suggested that the setback dimensions to the building be shown on the plans and Lynn Kelley suggested that a graphic be prepared for the Alternatives Public Workshop to illustrate visually how the bridge will look in relation to the Lighthouse Park Property and the museum building.
- Kathleen Glover asked about the potential vibration effects. Alan Klevens indicated that the piers will be deeper and the vibration will not be any more than currently

experienced.

- Brenda Arnold asked if a historic mural could be considered on the wall. This is possible or historic plaques, variable surface treatments, etc. This will be a design decision.
- Brenda also commented that sidewalks next to these high walls can be heat sinks and therefore not used. This can be looked at further as well.
- Stephanie Thoburn asked if the area under the new bridge can be available for event space similar to the Indiantown Bridge. Paul Cherry mentioned that space for stormwater treatment is needed, but this could be considered.
- Peter DeWitt asked about when BLM can review the environmental documentation. The documents will be made available when prepared and can be sent to Peter then. It was clarified that specifically Peter would like to see the reports on cultural resources, threatened and endangered species, visual effects, hydrologic analysis and the socioeconomic effects analysis. BLM staff that would review the documents are not all located in Jupiter so they would need time to send to the appropriate reviewers.

This summary serves to document CRC Meeting #2. If anyone wishes to modify or append to this account, please contact Lisa Stone either by phone at 561-840-0826 or by email at lisa.stone@kimley-horn.com.

Submitted by: _____
Lisa Stone, P.E.

cc: Ann Broadwell, FDOT
Anson Sonnett, FDOT
Jorge Padron, FDOT
Luis Lopez, FHWA
Randall Overton, USCG
Dave Kemp, Town of Jupiter
Jamie Stuve, Loxahatchee River Historical Society/Jupiter Lighthouse
Robert Thrower, Poarch Band of Creek Indians
Paul N. Backhouse, Ph.D., Seminole Tribe of Florida
Fred Dayhoff, Miccosukee Tribe of Indians of Florida
Natalie Harjo, Seminole Nation of Oklahoma
RaeLynn Butler, Muscogee (Creek) Nation



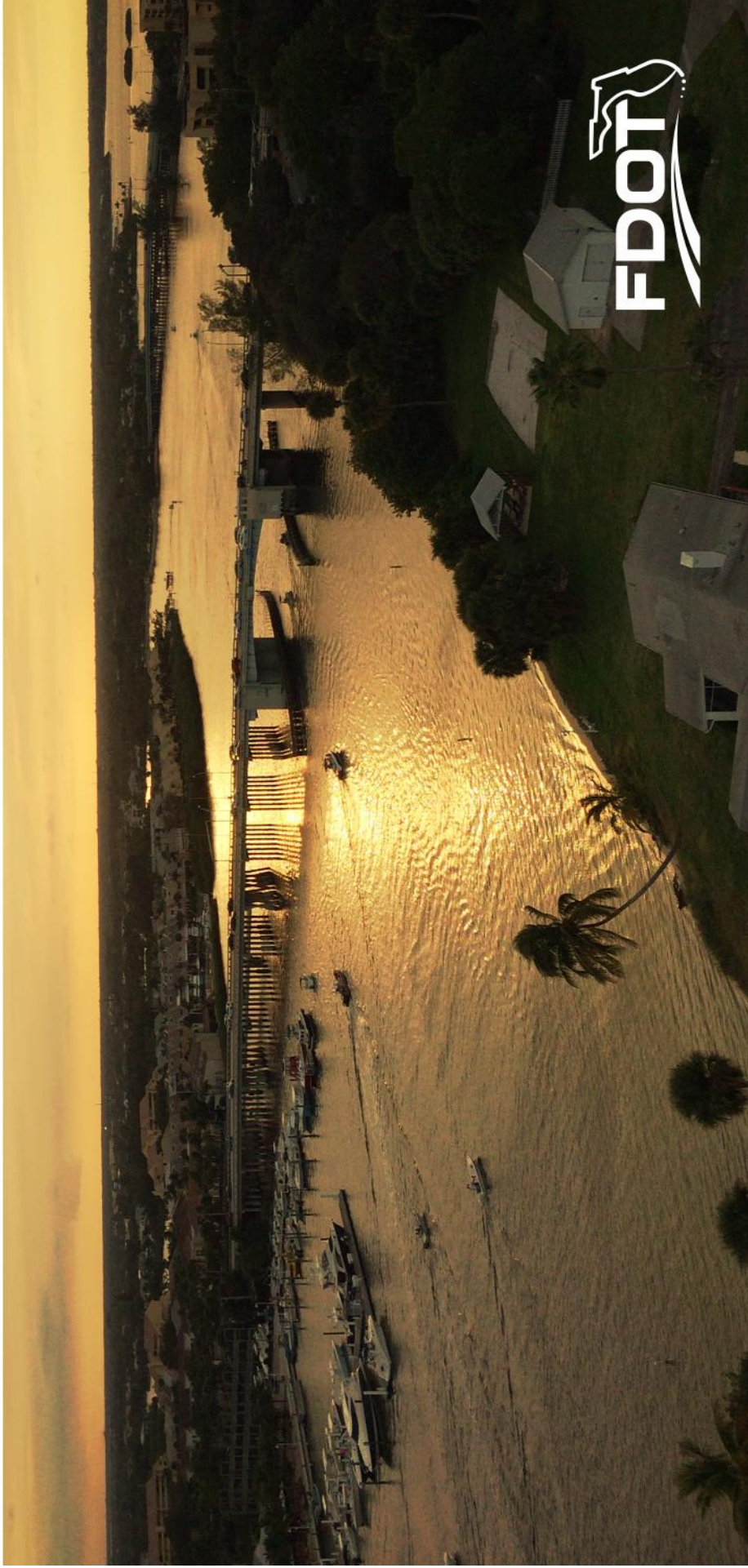
PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

From CR-A1A to Beach Road | Palm Beach County, Florida

Financial Project ID 428400-2-22-01 | ETD# 14199t

CRC Meeting #2



Introduction

- Bridge Structurally Deficient and Functionally Obsolete
- FDOT evaluating alternatives for the replacement of the NRHP-eligible US 1 Bridge over the Loxahatchee River
- Rehabilitation work started this summer

PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

Public Involvement Meetings

- Elected Officials/ Agency Kickoff Meeting - February 17, 2016
- Public Kick-off Meeting - February 17, 2016
- CRC Kick-off Meeting - May 4, 2016
- **CRC Meeting #2 – Today (August 23, 2016)**
- Alternatives Public Meeting – September 20, 2016
- Public Hearing – early 2017



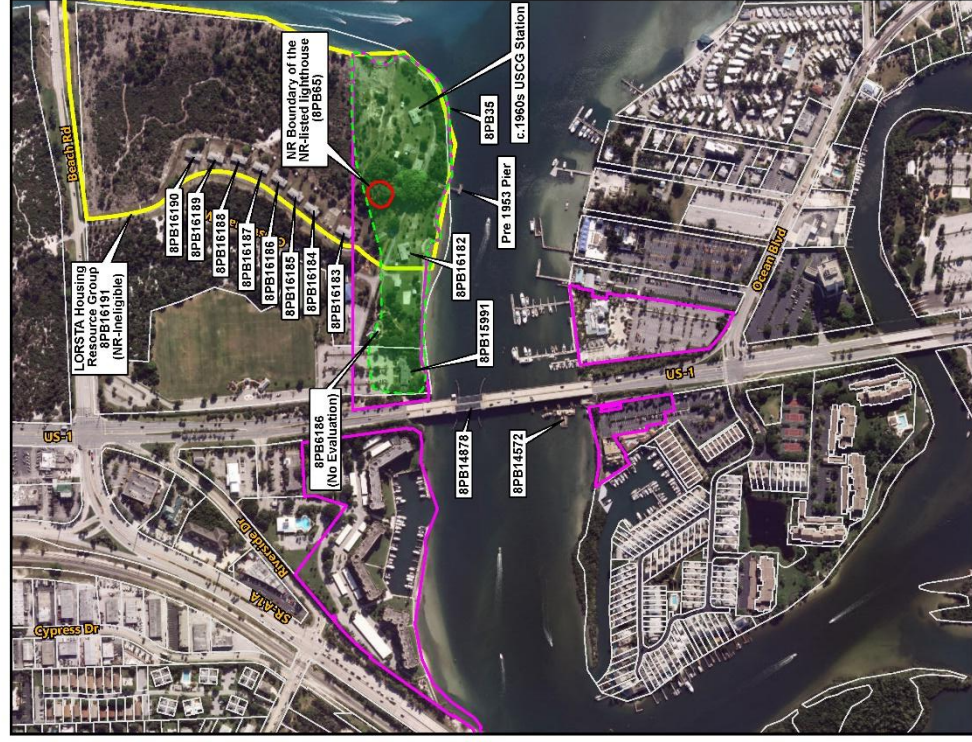
Purpose of Meeting

- Area of Potential Effects (APE) Boundary Discussion
- Findings of Cultural Resources Assessment Update
- Review of Typical Section and Alternatives
- Identify path to allow for the removal of the existing bridge
- Comments/Questions

PROJECT DEVELOPMENT & ENVIRONMENT STUDY SR 5/US-1 Federal Highway Bridge

Area of Potential Effect

- APE was revised based on input at previous CRC meeting and proposed project improvements
- Includes Jupiter Lighthouse and historic properties located at each of the bridge approaches



Cultural Resources

- Archaeological survey work included testing at 8PB35 and no evidence of this site was found
- Additional historic resources survey work took place within the expanded APE
- CRAS Addendum is currently underway to address the addition of the lighthouse within the APE
- Significant Resources effects evaluation next step in the Section 106 process

PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

Section 106 Process

Step 1:

Initiate Section 106 Process

Establish undertaking
Identify appropriate SHPO/THPO
Plan to involve the public
Identify other consulting parties

Undertaking is type that might affect historic properties

▶ No undertaking / no potential to cause effects.

Step 2:

Identify Historic Properties

Determine scope of efforts
Identify historic properties
Evaluate historic significance

Historic properties are affected.

▶ No historic properties affected

Step 3:

Assess Adverse Effects

Apply criteria of adverse effect

Historic properties are adversely affected.

▶ No historic properties adversely affected

Step 4:

Resolve Adverse Effects

Continue consultation

FAILURE TO AGREE

▶ Memorandum of Agreement

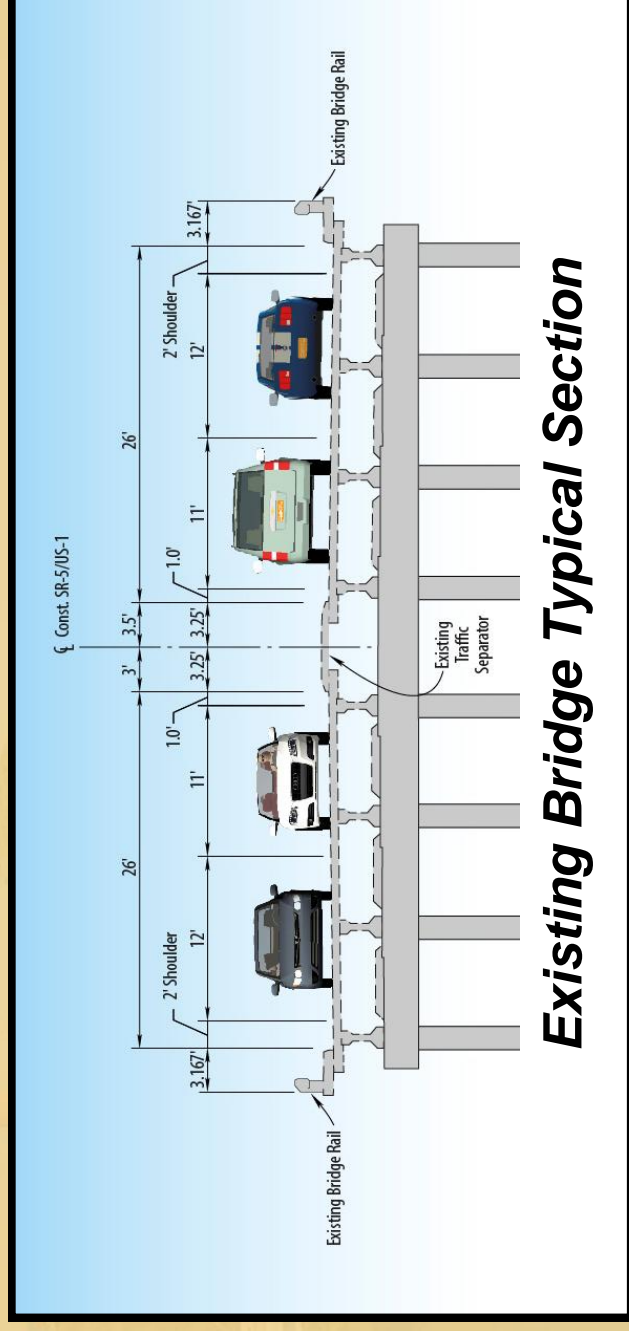
▶ COUNCIL COMMENT

PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

Data Collection and Analysis

- Vehicular Traffic
- Boat Traffic
- Typical Section

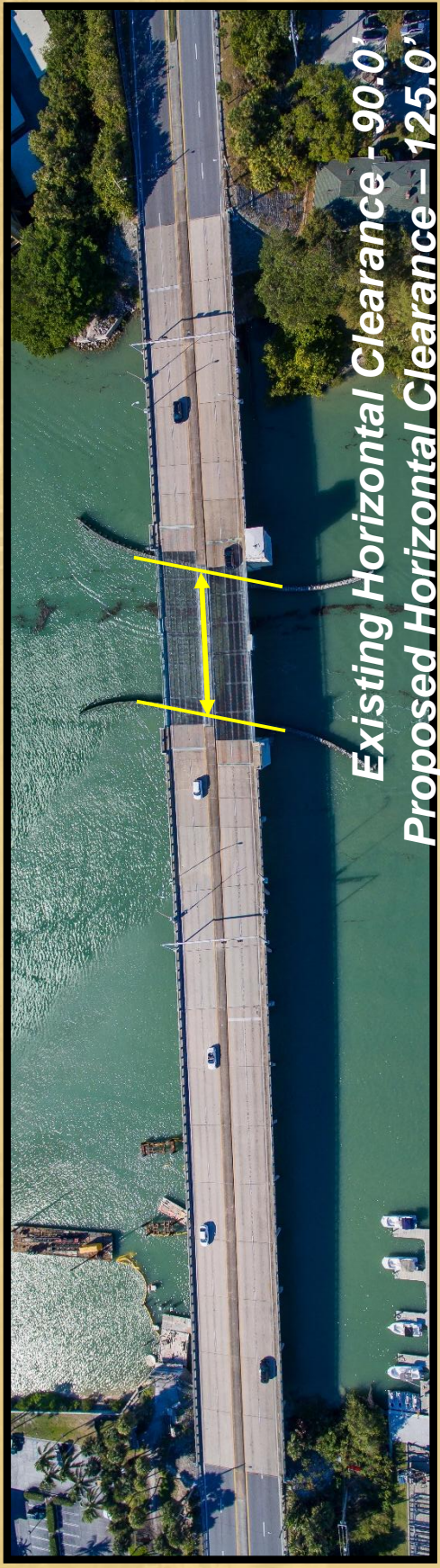


Existing Bridge – Structurally Deficient, Functionally Obsolete

- Substructure rated “poor”
- Superstructure rated “poor”
- Typical section not up to current design standards

PROJECT DEVELOPMENT & ENVIRONMENT STUDY SR 5/US-1 Federal Highway Bridge

Existing Clearance



Proposed Bascule Bridge Typical Section



PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

Alternatives Analysis

No Build Alternative

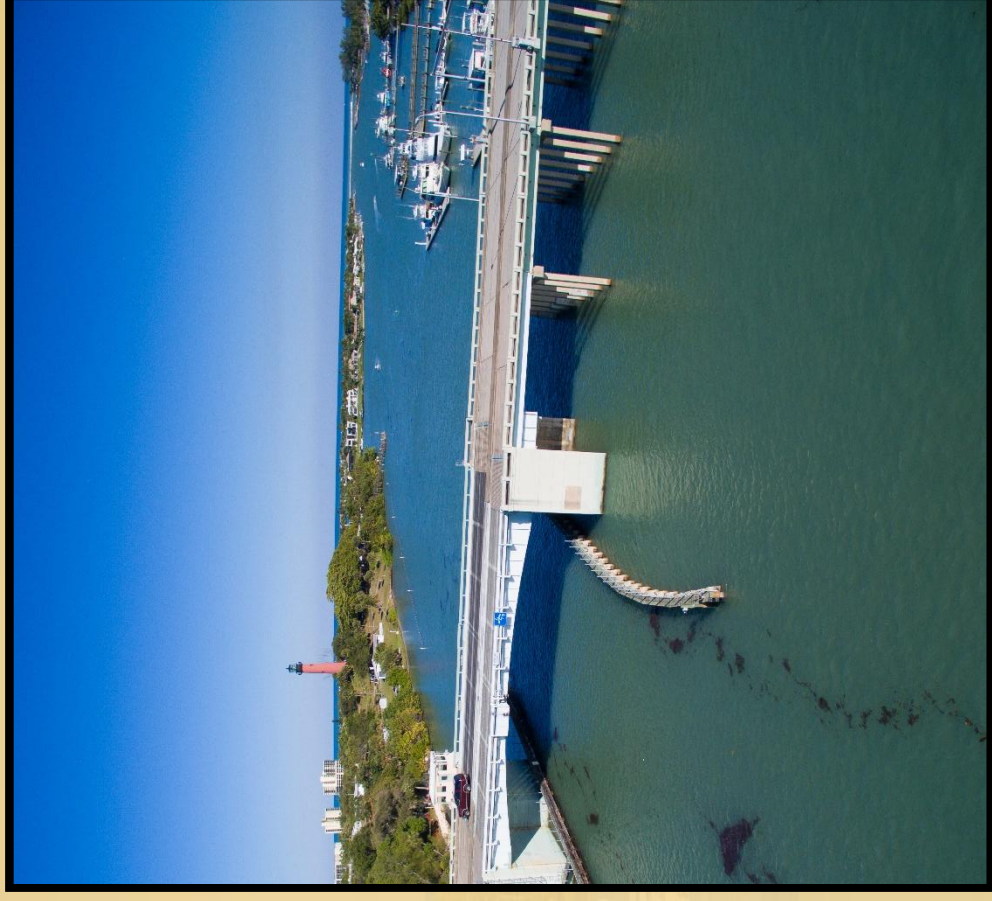
Build Alternatives:

Vertical Alignment

- Evaluating 25' (similar to Existing), 30', 35' and 40' Bascule
- High-Level Fixed – Eliminated from further consideration

Horizontal Alignment

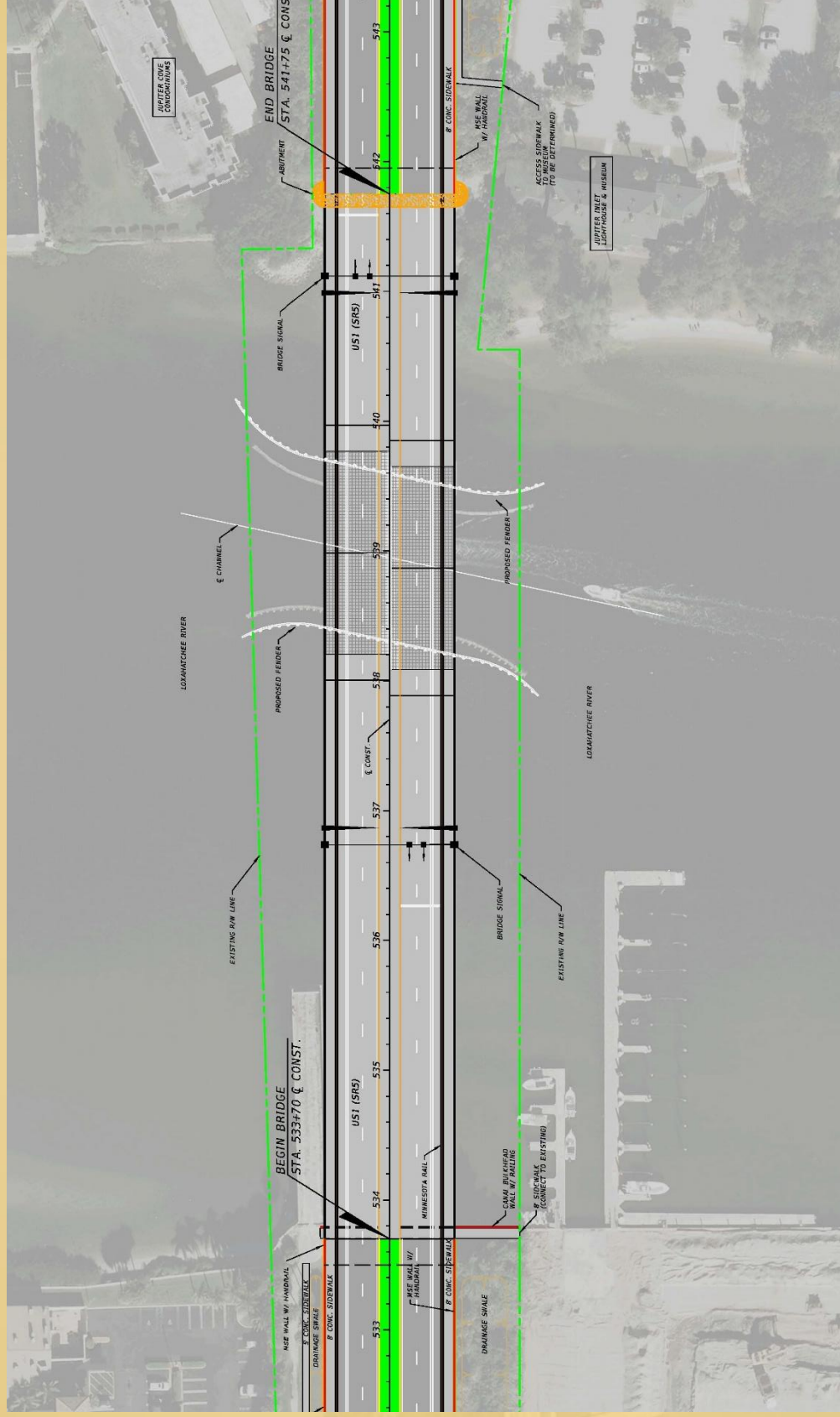
- Centerline unchanged



PROJECT DEVELOPMENT & ENVIRONMENT STUDY

SR 5/US-1 Federal Highway Bridge

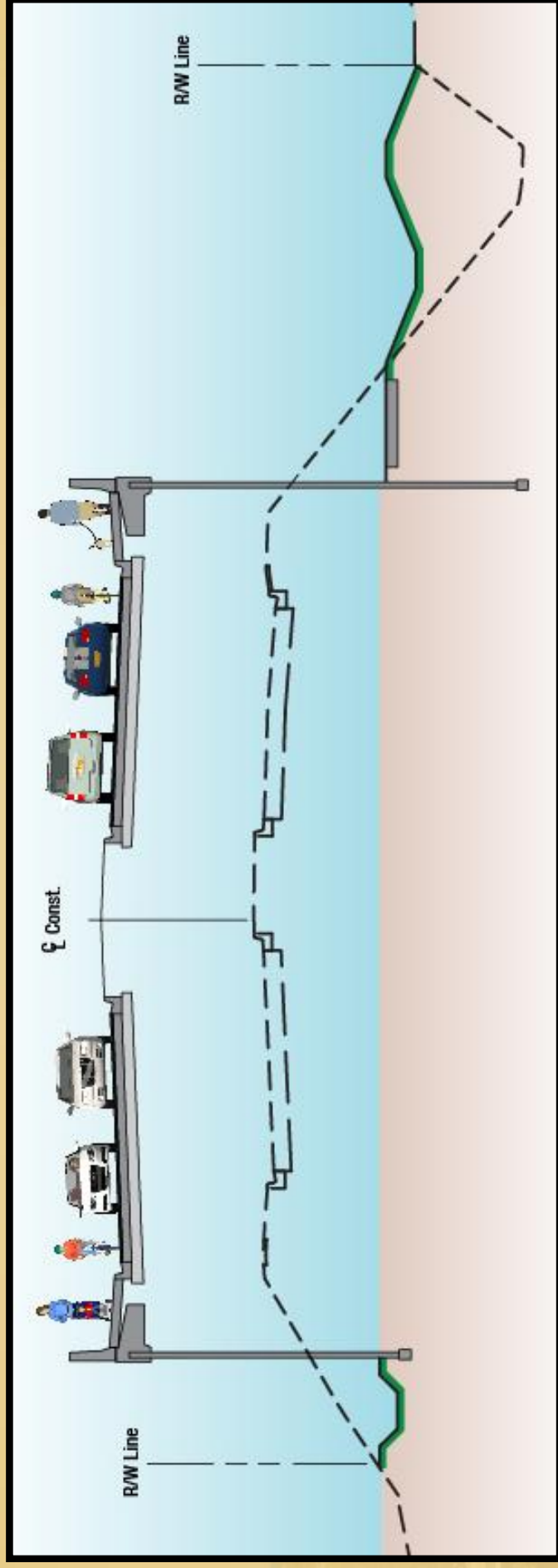
Horizontal Alternative



PROJECT DEVELOPMENT & ENVIRONMENT STUDY








SR 5/US-1 Federal Highway Bridge

Cross Section North of Bridge



PROJECT DEVELOPMENT & ENVIRONMENT STUDY SR 5/US-1 Federal Highway Bridge

Project Schedule

ACTIVITY	2015	2016	2017
Begin Study			
Public Kick-off Meeting			
Public Input			
Develop Build Alternatives			
Alternatives Public Meeting			
Public Hearing No-Build and Build Alternatives Presented			
Study Complete/Location Design Concept Acceptance			

What's Next

- Alternatives Public Meeting – September 20, 2016
 - Evaluate future traffic levels and operational performance
 - Finalize horizontal and vertical alignments
 - Evaluate environmental effects
- Continuous Public Involvement
 - Palm Beach Metropolitan Planning Organization
 - Stakeholders
 - Project team available for presentations

**PROJECT DEVELOPMENT & ENVIRONMENT STUDY
SR 5/US-1 Federal Highway Bridge**

Contact

FDOT Project Manager:

Rita Bulsara, P.E.

Florida Department of Transportation

District Four

3400 West Commercial Blvd.

Fort Lauderdale, Florida 33309

(954) 777-4680 or toll free (866) 336-8435 ext. 4680

www.jupiterus1bridge.com

PROJECT DEVELOPMENT & ENVIRONMENT STUDY
SR 5/US-1 Federal Highway Bridge

Comments



Appendix G:
Survey Log Sheet

Ent D (FMSF only) _____



Survey Log Sheet

Florida Master Site File
Version 4.1 1/07

Survey # (FMSF only) _____

Consult *Guide to the Survey Log Sheet* for detailed instructions.

Identification and Bibliographic Information

Survey Project (name and project phase) CRAS Addendum Jupiter US-1/Intracoastal Waterway Bridge from Ocean Boulevard to Beach Road

Report Title (exactly as on title page) Cultural Resource Assessment Survey State Road (SR) 5/US-1 Federal Highway Bridge From CR A1A to Beach Road, Palm Beach County, Florida

Report Authors (as on title page, last names first) 1. Janus Research 3. _____
2. _____ 4. _____

Publication Date (year) 2017 Total Number of Pages in Report (count text, figures, tables, not site forms) 85

Publication Information (Give series, number in series, publisher and city. For article or chapter, cite page numbers. Use the style of *American Antiquity*.)
Janus Research, 1107 N. Ward Street, Tampa FL 33607

Supervisors of Fieldwork (even if same as author) Names Pepe, James P., Streelman, Amy Groover

Affiliation of Fieldworkers: Organization Janus Research City Tampa

Key Words/Phrases (Don't use county name, or common words like *archaeology, structure, survey, architecture, etc.*)

1. US 1 3. Jupiter Bridge 5. _____ 7. _____
2. Loxahatchee River 4. Jupiter Lighthouse 6. _____ 8. _____

Survey Sponsors (corporation, government unit, organization or person directly funding fieldwork)

Name _____ Organization Florida Dept of Transportation - District 4

Address/Phone/E-mail 3400 West Commercial Blvd. Ft. Lauderdale, FL 33309

Recorder of Log Sheet Janus Research Date Log Sheet Completed 12-20-2016

Is this survey or project a continuation of a previous project? ☐ No ☒ Yes: Previous survey #s (FMSF only)

Mapping

Counties (List each one in which field survey was done; attach additional sheet if necessary)

1. Palm Beach 3. _____ 5. _____
2. _____ 4. _____ 6. _____

USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name JUPITER Year 1983 4. Name _____ Year _____
2. Name _____ Year _____ 5. Name _____ Year _____
3. Name _____ Year _____ 6. Name _____ Year _____

Description of Survey Area

Dates for Fieldwork: Start 8-9-2016 End 8-9-2016 Total Area Surveyed (fill in one) _____ hectares 53 acres

Number of Distinct Tracts or Areas Surveyed 1

If Corridor (fill in one for each) Width: _____ meters _____ feet Length: _____ kilometers _____ miles

Research and Field Methods

Types of Survey (check all that apply): ☒ archaeological ☒ architectural ☐ historical/archival ☐ underwater
☐ damage assessment ☐ monitoring report ☐ other(describe): _____

Scope/Intensity/Procedures Pedestrian survey

Preliminary Methods (check as many as apply to the project as a whole)

☐ Florida Archives (Gray Building) ☐ library research- *local public* ☐ local property or tax records ☐ other historic maps
☐ Florida Photo Archives (Gray Building) ☐ library-special collection - *nonlocal* ☐ newspaper files ☒ soils maps or data
☐ Site File property search ☒ Public Lands Survey (maps at DEP) ☐ literature search ☐ windshield survey
☒ Site File survey search ☒ local informant(s) ☐ Sanborn Insurance maps ☒ aerial photography
☒ other (describe): Janus Library

Archaeological Methods (check as many as apply to the project as a whole)

☐ Check here if **NO** archaeological methods were used.
☐ surface collection, controlled ☐ shovel test-other screen size ☐ block excavation (at least 2x2 m)
☐ surface collection, uncontrolled ☐ water screen ☐ soil resistivity
☐ shovel test-1/4" screen ☐ posthole tests ☐ magnetometer
☐ shovel test-1/8" screen ☐ auger tests ☐ side scan sonar
☐ shovel test 1/16" screen ☐ coring ☒ pedestrian survey
☐ shovel test-unscreened ☐ test excavation (at least 1x2 m) ☐ unknown
☐ other (describe): _____

Historical/Architectural Methods (check as many as apply to the project as a whole)

☐ Check here if **NO** historical/architectural methods were used.
☐ building permits ☐ demolition permits ☐ neighbor interview ☐ subdivision maps
☐ commercial permits ☐ exposed ground inspected ☐ occupant interview ☐ tax records
☐ interior documentation ☒ local property records ☐ occupation permits ☐ unknown
☒ other (describe): Contacted local historian; aeriels

Survey Results (cultural resources recorded)

Site Significance Evaluated? ☒ Yes ☐ No

Count of Previously Recorded Sites 4 Count of Newly Recorded Sites 11

Previously Recorded Site #'s with Site File Update Forms (List site #'s without "8". Attach additional pages if necessary.) PB65, PB6186, PB15991, PB16182

Newly Recorded Site #'s (Are all originals and not updates? List site #'s without "8". Attach additional pages if necessary.) PB16434-PB16441, PB16443-PB16445

Site Forms Used: ☐ Site File Paper Form ☒ Site File Electronic Recording Form

*****REQUIRED: ATTACH PLOT OF SURVEY AREA ON PHOTOCOPY OF USGS 1:24,000 MAP(S)*****

SHPO USE ONLY

SHPO USE ONLY

SHPO USE ONLY

Origin of Report: ☐ 872 ☐ CARL ☐ UW ☐ 1A32 # _____ ☐ Academic ☐ Contract ☐ Avocational
☐ Grant Project # _____ ☐ Compliance Review: CRAT # _____
Type of Document: ☐ Archaeological Survey ☐ Historical/Architectural Survey ☐ Marine Survey ☐ Cell Tower CRAS ☐ Monitoring Report
☐ Overview ☐ Excavation Report ☐ Multi-Site Excavation Report ☐ Structure Detailed Report ☐ Library, Hist. or Archival Doc
☐ MPS ☐ MRA ☐ TG ☐ Other: _____
Document Destination: _____ Plotability: _____



Survey Log Graphic



Survey Area



0 0.5 Miles

USGS Quadrangle Map:
Jupiter (1948 PR 1983)